



11333 N. Cedarburg Road
Mequon, WI 53092
Phone: 262-236-2914
Fax: 262-242-9655

www.ci.mequon.wi.us

Office of the City Clerk
Taped and Televised

COMMON COUNCIL
Regular Meeting
Tuesday, January 9, 2024 - 7:30 PM
Christine Nuernberg Hall

Agenda

- 1) Call to Order**
- 2) Pledge of Allegiance**
- 3) Roll Call**
- 4) Public Hearing:**
 - a) **ORDINANCE 2023-1657** - An Ordinance Amending Chapter 58 of the Mequon Municipal Code to Rezone the Property Located at 11743 N. Port Washington Road from R3 (Single-Family 1-Acre) to R5 (Single-Family 1/2 Acre) with a PUD (Planned Unit Development) Overlay and Amend the City's Land Use Plan Map from Residential (1-1.5 Acre) to Residential Plex, in Connection with the Development of a 19-Lot Cluster Subdivision; **Recommended by Planning Commission December 4, 2023; First Reading at Common Council December 12, 2023.**
 - 1) Public Hearing
 - 2) Consideration of ordinance
- 5) Personal Appearances and Public Comment:**

Citizens wishing to address the Council on any matter **not** on the agenda may do so at this time. If you desire to be heard on agenda items, you may be heard when that item is considered on the agenda. Please speak into the microphone at the podium. The time limit is **FIVE** minutes. **To speak or to have your opinion recorded, please complete a registration slip found on the table in the lobby and return it to the bin in the Council Chambers.**
- 6) Public Officials' Reports:**
 - a) Mayor
 - b) City Administrator
- 7) Consent Agenda:**
 - a) Common Council meeting minutes of December 12, 2023
 - b) Architectural Board meeting minutes of October 9, 2023

- c) Finance-Personnel Committee meeting minutes of November 14, 2023
- d) Public Works Committee meeting minutes of November 14, 2023
- e) Zoning Enforcement and Site Compliance Report Through January 1, 2024

8) Ordinances: None.

9) Resolutions: None.

10) Specified Unfinished Business From Prior Meetings: None.

11) Specified New Business:

- a) Aldermanic Appointment District 3- Ethics Board Member, Matthew Frise

12) Potential Closed Sessions:

- a) Venture Properties Claim: The Common Council may convene into closed session pursuant to Wis. Stat. §19.85(1)(g) for the purpose of conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved and then may reconvene into open session to take such action as deemed appropriate.
- b) Personnel Evaluation of City Administrator: The Common Council may convene into closed session pursuant to Wis. Stat. § 19.85(1)(c), considering employment, promotion, compensation or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility and then may reconvene into open session to take such action as deemed appropriate.

13) Adjourn

Dated: January 4, 2024

/s/ Andrew Nerbun, Mayor

.....
 Notice is hereby given that a quorum of other governmental bodies may be present at this meeting to present, discuss and/or gather information about a subject over which they have decision-making responsibility, although they will not take formal action thereto at this meeting. Persons with disabilities requiring accommodation for attendance at this meeting should contact the City Clerk's Office at 262-236-2914, twenty-four (24) hours in advance of the meeting.

Any questions regarding this agenda may be directed to the City Clerk's Office at 262-236-2914, Monday through Friday, 8:00 AM – 4:30 PM



11333 N. Cedarburg Road
 Mequon, WI 53092-1930
 Phone: 262-236-2902
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www.ci.mequon.wi.us

Office of Community Development

TO: Common Council
FROM: Kim Tollefson, Director of Community Development
DATE: December 12, 2023
SUBJECT: ORDINANCE 2023-1657 An Ordinance Amending Chapter 58 of the Mequon Municipal Code to Rezone the Property Located at 11743 N. Port Washington Road from R3 (Single-Family 1-Acre) to R5 (Single-Family 1/2 Acre) with a PUD (Planned Unit Development) Overlay, and Amend the City's Land Use Plan Map from Residential (1-1.5 Acre) to Residential Plex, in Connection with the Development of a 19-Lot Cluster Subdivision

Background

The applicant, Lakeside Development Company, is requesting rezoning and concept plan approval for a 19-unit conservation condominium development on 9.8 acres located at 11743 N. Port Washington Road, along with adjoining lands to the east and west. The property is currently zoned R-3 (Residential 1-Acre). The property is vacant and recently contained a single-family home that has been razed.

Analysis

The concept plan shows 19 single-family condominium units served by a public road with access to Port Washington Road. There is a large, wooded area to the rear that will remain undisturbed with the exception of a community trail system. The proposed condominium units include a 2,700 square foot pad (45 x 60) and a 196 square foot limited common area (14 x 14) for decks and patios. The plan calls for a 20-foot offset to the neighboring parcels and a 50-foot setback from Port Washington Road. There will be a minimum 15-foot distance between building pads and a zero setback off the new public road. The layout is similar to the Highlands of Ville du Parc which is also a single-family condominium development along Fairway Heights Drive. While staff supports the setback reduction of the condominium unit pad from the proposed road, a zero setback to the proposed right-of-way does not provide any margin when transitioning to/from a condominium unit to the right-of-way. Staff recommends a minimum 10-foot front yard setback.

In other previously approved residential developments and in several of the City's newer zoning districts, the City has required the following regulations for the location of garage doors:

- No less than 50 percent of residential buildings shall present a side loading garage, a courtyard garage entry or a 15-degree turned garage entry.
- Of the remaining 50 percent that is allowed to present a front loading garage, the following shall apply: 1) no more than two garage stalls shall present on the same linear

plane; 2) all front loading garages shall contain architectural details consistent with the front elevation; 3) none of the front loading garages shall have a consistent setback to that of the habitable portion of the building; and 4) no more than 30 percent of the front loading garages shall project further into the front yard than the habitable portion of the building.

- There shall be no more than three residential buildings with front-loading garages in a row.

Staff recommends that the same requirements be applicable to this development as well, with one modification. Staff is supportive of reducing the minimum side loading garage threshold to 40 percent, due to the narrowness of the development area. That would equate to 8 of the units having a side loading garage, courtyard or 15-degree turned entry.

The proposed concept plan shows access to Port Washington Road at the north end of the site adjacent to the existing driveway. The concept plan provides access to the parcel to the north similar to the requirements to the R-1 conservation subdivision, which shows dedicated right-of-way that is 60 feet wide and runs from the eyebrow to the property line. The developer shall install bollards on each side of the right-of-way. The bollards shall be placed at the property line and halfway to the eyebrow. The owners shall maintain the bollards in good condition and repair and replace them as necessary until such time as a street is constructed over the right-of-way.

The site seems appropriate for a conservation subdivision development in that it contains floodplain, wetlands and a primary environmental corridor that contains a large woodland area. The City Forester has walked the site and has determined there are 2 specimen trees located near the footprint of the recently razed dwelling, a stand of significant trees located at the rear of the site in the proposed common area, and a line of White Pines along the north property line. The only trees that may be impacted by the development are two trees located to the south of the razed house. There is a 31" Basswood and a 11" Ironwood that are in good condition and are near the location of the proposed pond. Planning Commission approval of any specimen tree removal is required in accordance with the City's tree preservation ordinance.

Proposed Yield Plan:

As part of the PUD process, a yield plan is required to establish the number of achievable lots that are compliant with the Zoning Code. The yield plan shows 19 lots, conforming to the R-5 Zoning District. The plan would include the use of a private road with access from Port Washington Road.

Fiscal Impact

The developer states that home/unit packages will be approximately \$750,000, with annual tax revenue of \$195,000 at full build-out.

Recommendation

On December 4, 2023, the Planning Commission approved a recommendation in favor of adopting the proposed ordinance by a vote of 6-2.

Attachments:

Exhibit A: Zoning Map (PDF)

Exhibit B: Concept Plan (PDF)

COMMON COUNCIL
OF THE
CITY OF MEQUON

ORDINANCE 2023-1657

An Ordinance Amending Chapter 58 of the Mequon Municipal Code to Rezone the Property Located at 11743 N. Port Washington Road from R3 (Single-Family 1-Acre) to R5 (Single-Family 1/2 Acre) with a PUD (Planned Unit Development) Overlay, and Amend the City's Land Use Plan Map from Residential (1-1.5 Acre) to Residential Plex, in Connection with the Development of a 19-Lot Cluster Subdivision

RECITALS

A. The applicant desires to develop a 19-unit conservation condominium development on 9.8 acres located at 11743 N. Port Washington Road and lands to the east and west.

B. The property is currently zoned R-3 (Residential 1-Acre).

C. In order to complete the proposed development, the applicant has sought to rezone the property to R5 (Single-Family 1/2-Acre) with a PUD (Planned Unit Development) Overlay and an Amendment to the Land Use Plan Map from Residential 1-1.5 Acre to Residential Plex.

D. The Planning Commission by majority vote adopted a recommendation to approve the rezoning request on the 4th day of December, 2023.

E. Pursuant to Section 62.23(3) of the Wisconsin Statutes, the City of Mequon is authorized to prepare and adopt a comprehensive plan, or amendment thereof, as defined in Section 66.1001(1)(a) and 66.1001(2) and 66.1001(4)(c) and 66.1001(4)(d).

F. Based upon the Planning Commission's recommendation and following a public hearing before the Common Council on January 9, 2024, the Common Council has determined that amendments to the City's Zoning Map and Land Use Plan Map within Chapter 58 of the Mequon Municipal Code, are appropriate.

BASED UPON THE FOREGOING RECITALS, the Common Council of the City of Mequon, Wisconsin, do ordain as follows:

SECTION I

1. The City of Mequon Land Use Plan Map is hereby amended to designate the property illustrated in Exhibit A as "Residential Plex".

2. The City of Mequon Zoning Map is hereby amended so as to change the zoning

classification of the property illustrated in Exhibit A as R-5/PUD subject to the following conditions:

1. Common Council approval of the rezoning.
2. The concept plan shall include the north connection point to Port Washington Road. The access is also subject to Ozaukee County approval.
3. The preliminary condominium plat shall show all delineated wetlands and surveyed floodplain.
4. All existing wetlands shall be contained in common area.
5. The unit pads shall be 2,700 square feet and at least 15 feet from an adjacent unit.
6. All buildings shall maintain a minimum building setback of 50' from the Port Washington Road right-of-way, 20' from adjacent parcels, a minimum 10' setback from the proposed public road, and offsets to wetlands as established by the Department of Natural Resources (DNR).
7. The future road shall be designated as right-of-way, shall be at least 60 feet wide, and the eyebrow shall be within 150' of the property line. The developer shall install bollards on each side of the right-of-way. The bollards shall be placed at the property line and halfway to the eyebrow. The owners shall maintain the bollards in good condition and repair and replace them as necessary until such time as a street is constructed over the right-of-way.
8. No less than 40 percent of residential buildings shall present a side loading garage, a courtyard garage entry or a 15-degree turned garage entry. Of the remaining 60 percent that is allowed to present a front loading garage, the following shall apply: 1) no more than two garage stalls shall present on the same linear plane; 2) all front loading garages shall contain architectural details consistent with the front elevation; 3) none of the front loading garages shall have a consistent setback to that of the habitable portion of the building; and 4) no more than 30 percent of the front loading garages shall project further into the front yard than the habitable portion of the building. There shall be no more than three front-loading garage residential buildings in a row.
9. An open space plan with a natural trail shall be submitted for Planning Commission approval.
10. The development shall comply with preliminary condominium plat, development agreement, and final plat requirements.
11. Architectural design of residential buildings shall comply with the Architectural Board's publication entitled "Guidelines for Residential Structures" and are subject to the Architectural Review Board.
12. Street trees are subject to the approval of the Tree Board and Planning Commission.
13. Street lighting, if proposed, is subject to the approval of the Planning Commission.
14. Entryway signage and landscaping are subject to the approval of Planning Commission.
15. Any substantial change to the general concept plans illustrated in the attached exhibits shall require appropriate amendment to this ordinance.

16. The entire property is subject to the City of Mequon Tree Preservation Ordinance and necessary preservation easements, if any.
17. The development shall connect to public water and sewer with appropriate road reparations where existing pavement is impacted. Water connection shall adhere to the City of Mequon Water Connection Policy.
18. The wetland delineation report with WDNR concurrence should be submitted with the preliminary plat application. The wetland boundaries and protective areas should be shown on the preliminary plat. Assuming wetland fill is required, the developer shall submit the permitting documents from the WDNR prior to application for preliminary condominium plat.
19. The applicant shall submit a Development Agreement at the time of preliminary plat application.

SECTION II

The terms and provisions of this ordinance are severable. Should any term or provision of this ordinance be found to be invalid by a court of competent jurisdiction, the remaining terms and provisions shall remain in full force and effect.

SECTION III

All other ordinances or parts of ordinances contravening the terms of this ordinance are hereby and to that extent repealed.

SECTION IV

This ordinance shall take effect and be in full force upon its passage and the day after its publication.

Approved by: Andrew Nerbun, Mayor

Date Approved: January 9, 2024

I certify that the foregoing Ordinance was adopted by the Common Council of the City of Mequon, Wisconsin, at a meeting held on January 9, 2024.

Caroline Fochs, City Clerk

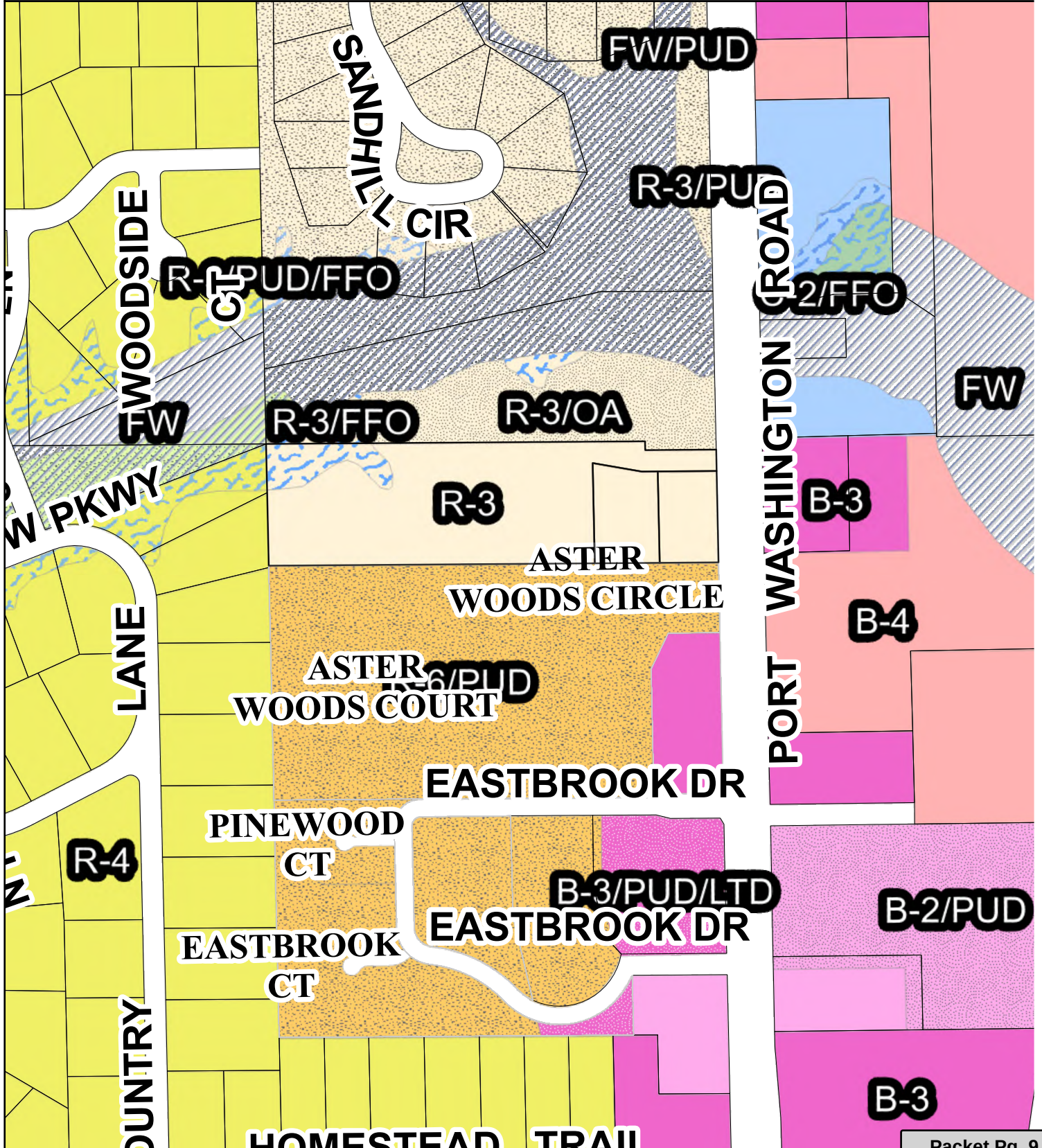
Published: _____

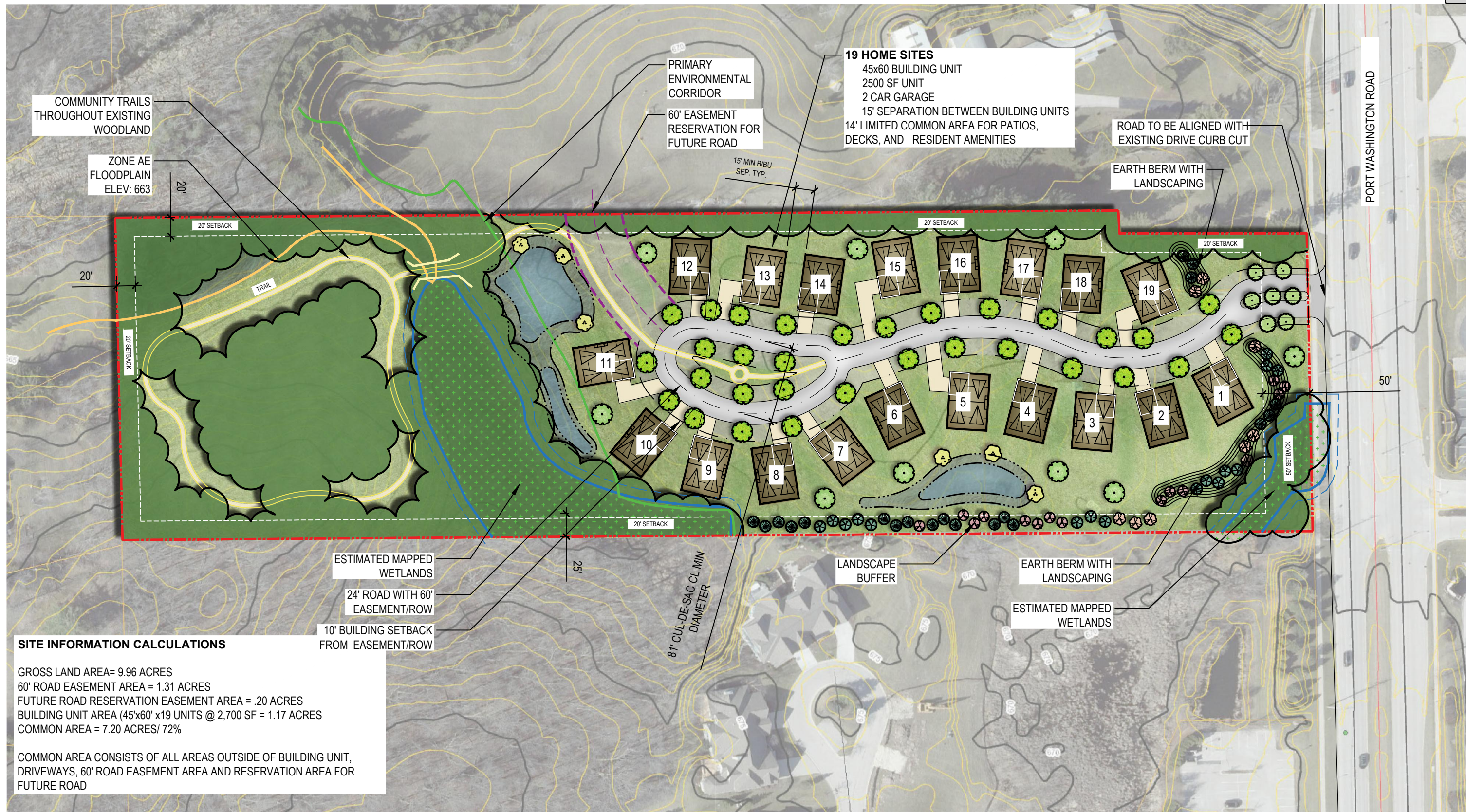
LAKESIDE DEVELOPMENT COMPANY

Exhibit A

AC Arrival Corridor
 A-1 Agricultural Preserve
 A-2 General Agricultural
 B-1 Neighborhood Business
 B-2 Community Business
 B-3 Office & Service Business
 B-4 Business Park
 B-5 Light Industrial
 B-6 Rural Industrial
 B-7 Rural Business
 C-1 Shoreland/Wetland Conservancy
 C-2 General Conservancy
 CGO Central Growth Overlay
 FFO Flood Fringe Overlay
 FW Floodway
 IPS Institutional & Public Service

IPS Institutional & Public Service
 NC Neighborhood Commercial
 OA Agricultural Overlay
 PUD Planned Unit Development Overlay
 P-1 Park & Recreation
 R-1 Single-Family Residential (5 Ac. Min.)
 R-1B Single-Family Residential (2.5 Ac. Min.)
 R-2 Single-Family Residential (2 Ac. Min.)
 R-2B Single-Family Residential (1.5 Ac. Min.)
 R-3 Single-Family Residential (1 Ac. Min.)
 R-4 Single-Family Residential (3/4 Ac. Min.)
 R-5 Single-Family Residential (1/2 Ac. Min.)
 R-6 Single-Family Residential (4 DU/Ac.)
 RM Multi-Family Residential
 TC Town Center
 TDR Transfer of Development Rights





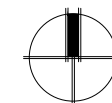
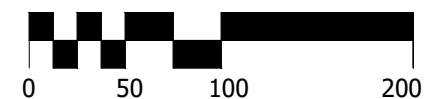
PRELIMINARY SITE PLAN - ALTERNATIVE B - NORTH ENTRANCE

11743 N. PORT WASHINGTON ROAD

MEQUON, WISCONSIN

REISSUED: NOVEMBER 28, 2023

50 SCALE AT 22X34
100 SCALE AT 11X17



Lakeside Development
Company
The finest in architecture & construction management





draft

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Mequon, WI 53092
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Office of the City Clerk
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**COMMON COUNCIL
Regular Meeting
Tuesday, December 12, 2023 - 7:30 PM
Christine Nuernberg Hall**

Minutes

1) Call to Order

Mayor Nerbun called the meeting to order at 7:34 PM.

2) Pledge of Allegiance

3) Roll Call

Present:

Mayor Andrew Nerbun
Alderman Robert Strzelczyk
Alderman Kelly Tolocko - Excused
Alderman Dale Mayr
Alderman Jeffrey Hansher
Alderman Gregg Bach
Alderman Brian Parrish
Alderman Kathleen Schneider
Alderman William Gebhardt

Also present: City Administrator Jones, City Attorney Sajdak, City Clerk Fochs, Finance Director Engroff, City Engineer/Public Works Director Lundeen, City Forester Gies, City Assessor-Elect, Lester Ahrens, press and interested public.

4) Personal Appearances and Public Comment:

5) Public Officials' Reports:

- a) Mayor: Mayor Nerbun announced that Winter Wonderland was a big success and thanked the Festivals Committee for their efforts in planning this year's event. He extended Happy Holiday wishes to all.
- b) City Administrator: Mr. Jones announced that property tax bills were mailed last week to all residents and businesses. There are four options to pay: online at the city web site, Port Washington State Bank at the Mequon and Thiensville locations, in-person at City Hall, and by mail. City Hall will be closed December 22nd, December 25th and January 1st. December 29th City Hall will close at noon.

Attachment: 12-12-23_Draft CC Minutes (9046 : Common Council meeting minutes of December 12, 2023)

6) Consent Agenda:

- a) Common Council meeting minutes of November 14, 2023.
- b) Economic Development Board meeting minutes of October 31, 2023.
- c) Festivals Committee meeting minutes of October 18, 2023.
- d) Finance-Personnel Committee meeting minutes of October 10, 2023.
- e) Joint Mequon-Thiensville Bike and Pedestrian Way Commission meeting minutes of October 12, 2023.
- f) Park and Open Space Board meeting minutes of August 16 and September 20, 2023.
- g) Planning Commission meeting minutes of October 23, 2023.
- h) Public Safety Committee meeting minutes of October 10, 2023.
- i) Public Welfare Committee meeting minutes of October 10, 2023.
- j) Public Works Committee meeting minutes of October 10, 2023.
- k) Zoning Enforcement and Site Compliance Report through December 1, 2023.
- l) **RESOLUTION 4094** - A Resolution Authorizing the Final Plat for an 11-Lot Single-Family Residential Subdivision Located at 10766 Torrey Drive.
- m) Ordinance First Readings

NOTE: First reading of Ordinances will not be acted upon unless a suspension of the rules is approved by a recorded vote of two-thirds majority of all aldermen.

- 1) **ORDINANCE 2023-1657** - An Ordinance Amending Chapter 58 of the Mequon Municipal Code to Rezone the Property Located at 11743 N. Port Washington Road from R3 (Single-Family 1-Acre) to R5 (Single-Family 1/2 Acre) with a PUD (Planned Unit Development) Overlay and Amend the City's Land Use Plan Map from Residential (1-1.5 Acre) to Residential Plex, in Connection with the Development of a 19-Lot Cluster Subdivision.

RESULT: First Reading

The Common Council draft minutes of November 14, 2023 should read Alderman Strzelczyk attended virtually, not Mayor Nerbun.

Motion to approve the Consent Agenda, as amended, Items A-L.

RESULT: Approved as Amended by Voice Acclamation [Unanimous]
MOVED BY: Alderman Schneider
SECONDED BY: Alderman Strzelczyk

AYES: Strzelczyk, Mayr, Hansher, Bach, Parrish, Schneider, Gebhardt

7) Ordinances: None.

8) Resolutions:

- a) **RESOLUTION 4095** - A Resolution Approving the City of Mequon's Insurance Program for Fiscal Year 2024 with the League of Wisconsin Municipalities Mutual Insurance, in the Estimated Amount of \$395,308.

RESULT: **Approved by Roll Call Vote [Unanimous]**
MOVED BY: Alderman Strzelczyk
SECONDED BY: Alderman Parrish

AYES: Strzelczyk, Mayr, Hansher, Bach, Parrish, Schneider, Gebhardt

- b) **RESOLUTION 4096** - A Resolution Appointing Lester Ahrens as the Statutory City Assessor through December 31, 2025.

RESULT: **Approved by Voice Acclamation [Unanimous]**
MOVED BY: Alderman Bach
SECONDED BY: Alderman Mayr

AYES: Strzelczyk, Mayr, Hansher, Bach, Parrish, Schneider, Gebhardt

- c) **RESOLUTION 4097** - A Resolution Awarding a Contract for Long Term Disability Insurance and Employee Assistance Program Services to Sun Life Assurance Company of Canada for an Annual Estimated Premium of \$23,690.

RESULT: **Approved by Roll Call Vote [Unanimous]**
MOVED BY: Alderman Gebhardt
SECONDED BY: Alderman Hansher

AYES: Strzelczyk, Mayr, Hansher, Bach, Parrish, Schneider, Gebhardt

- d) **RESOLUTION 4098** - A Resolution Approving Award of a Contract for Construction of the Combined Concession and Restroom Facility at Lemke Park to Altius Building Company of Milwaukee, Wisconsin in an Amount Not-to-Exceed \$984,500.

RESULT: **Approved by Roll Call Vote [Unanimous]**
MOVED BY: Alderman Schneider
SECONDED BY: Alderman Hansher

AYES: Strzelczyk, Mayr, Hansher, Bach, Parrish, Schneider, Gebhardt

9) Specified Unfinished Business From Prior Meetings: None.

10) Specified New Business:

- a) Appointment of Election Inspectors for the Period of January 1, 2024 - December 31, 2025

RESULT: **Approved by Voice Acclamation [Unanimous]**

MOVED BY: Alderman Parrish

SECONDED BY: Alderman Mayr

AYES: Strzelczyk, Mayr, Hansher, Bach, Parrish, Schneider, Gebhardt

11) Potential Closed Session:

- a) Personnel Evaluation of City Administrator: The Common Council may convene into closed session pursuant to Wis. Stat. § 19.85(1)(c), considering employment, promotion, compensation or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility and then may reconvene into open session to take such action as deemed appropriate.

Motion to go into Closed Session at 7:46 PM to Discuss the Personnel Evaluation of the City Administrator.

RESULT: **Approved by Roll Call Vote [Unanimous]**

MOVED BY: Alderman Hansher

SECONDED BY: Alderman Bach

AYES: Strzelczyk, Mayr, Hansher, Bach, Parrish, Schneider, Gebhardt, Nerbun

12) Adjourn

Hearing no objection, the meeting adjourned at 8:45 PM.

Respectfully Submitted,
Kathy Andrykowski
Deputy Clerk



www.ci.mequon.wi.us

11333 N. Cedarburg Road
 Mequon, Wisconsin 53092
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INSPECTION DIVISION

ARCHITECTURAL BOARD MINUTES
Monday, October 9, 2023
6:00 PM
Lower-Level Conference Room

Minutes

1. Call to Order, Roll Call:

Present: Chairman Scott Reed

Members at Large: Paul Apfelbach, John Mikkelson, Michael Wade,
 Tom Irvin, Anthony LaGalbo

Building Inspector: Greg Golden

2. Meeting Minutes

Minutes from the September 11, 2023, meeting were approved by District Representative Tom Irvin and seconded by Vice-Chairman Paul Apfelbach.

Minutes were approved unanimously.

3. Application Submittals:

No.	Alder. District /Time	Type of App	Owner(s) / Project Address	Contractor
1)	Dist. 3 6:00 pm	Addition: Second Floor Bedroom	Sam Mugurdumov 10874 N. Tartan Court Subd: Highlander Estates	Cont: Angels Dream Renov. Arch: David Koz
Moved to Approve: <u>Irvin</u> Seconded by: <u>Reed</u> Approved: <u>Yes</u> Vote: <u>Unanimously</u> Conditions: Plan approved as submitted.				
2)	Dist. 7 6:10 pm	New Single-Family Residence	Peter & Katie Graf Lot #7 Torrey Drive Subd: Torrey Drive Estates	Cont: Victory Homes of WI Arch: David Pluim
Moved to Approve: <u>Reed</u> Seconded by: <u>LaGalbo</u> Approved: <u>Yes</u> Vote: <u>Unanimously</u> Conditions: Plan approved as submitted.				
3)	Dist. 8 6:15 pm	Addition: First Floor Suite and Remodel	Andy & Laurie Hobbs 416 E. Maple Lane Subd: Fairy Chasm	Cont: Bartelt, Inc. Arch: Bartelt, Inc.
Moved to Approve: <u>Irvin</u> Seconded by: <u>Apfelbach</u> Approved: <u>Yes</u> Vote: <u>Unanimously</u> Conditions: Plan approved as submitted with the condition that all windows are consistent per guidelines; first floor windows required to have grids on top (6 over 1), second floor windows remain as is, with grids.				

Attachment: Arch Brd minutes_10-09-23 (9037 : Architectural Board meeting minutes of October 9, 2023)

4)	Dist. 8 6:25 pm	Shed	Aderonke Oluwatosin 10729 N. San Marino Drive	Cont: Owner
			Subd: Fox Trace	Arch: Menards

Moved to Approve: Mikkelson
 Seconded by: Irvin
 Approved: Yes
 Vote: Approved-4, Nay-1 (Reed)

Conditions: Plan approved as submitted with the following conditions:

1. Increase roof pitch to 8'12.
2. Color and material to match house.
3. Add double-hung grided windows on Sidewall C and D.
4. Add shutters on windows to match house.
5. Add corner boards to all corners of the shed.

5)	Dist. 8 6:35 pm	Detached Garage	David Alvarado 1014 W. El Patio Lane	Cont: Owner
			Subd: Town & Country #1	Arch: Menards

Moved to Approve: Irvin
 Seconded by: Wade
 Approved: Yes
 Vote: Approved-4, Nay-1 (Reed)

Conditions: Plan approved as submitted with the condition that windows and shutters that match the house are added to Sidewall C and D.

4. **Action:**

Chairman Scott Reed made a motion to adjourn the meeting.
 District Representative Michael Wade seconded the motion.

A vote was taken; vote passed unanimously.

Meeting adjourned at 6:32 p.m.



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 Fax: 262-242-9655

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Office of the City Administrator

FINANCE-PERSONNEL COMMITTEE

Tuesday, November 14, 2023

5:45 PM

North Conference Room

Minutes

1) Call to Order, Roll Call

Present:

Mayor Andrew Nerbun

Alderman William Gebhardt

Alderman Brian Parrish

Alderman Robert Strzelczyk, via Electronic Meeting Attendance 6:01 PM

Also present: William Jones, City Administrator, Jennifer Engroff, Finance Director, Marie Keyser, Assistant Finance Director, Caroline Fochs, City Clerk, Kimberly Tollefson, Community Development Director, Brian Sajdak, City Attorney, Ellen Roberts, Dana Investment Advisors, Matthew Slowinski, Dana Investment Advisors and Fred Wahlen, Sybaris.

2) Approve Meeting Minutes

a. October 10, 2023 Finance-Personnel Meeting Minutes

RESULT: **Approved by Voice Acclamation [Unanimous]**

MOVED BY: Alderman Parrish

SECONDED BY: Alderman Gebhardt

AYES: Gebhardt, Parrish

NOT PRESENT: Strzelczyk

3) License Applications

a. November, 2023 Licenses

RESULT: **Approved by Voice Acclamation [Unanimous]**

MOVED BY: Alderman Gebhardt

SECONDED BY: Alderman Parrish

AYES: Gebhardt, Parrish
NOT PRESENT: Strzelczyk

4) Vouchers Paid

a. October 2023 Vouchers Paid List

RESULT: **Approved by Voice Acclamation [Unanimous]**

MOVED BY: Alderman Gebhardt

SECONDED BY: Alderman Parrish

AYES: Gebhardt, Parrish
NOT PRESENT: Strzelczyk

5) Presentation

a. 2023 YTD Dana Investment Advisors Presentation & YTD Cash & Investment Report as of 09/30/2023

Ellen Roberts and Matthew Slowinski, Senior Vice Presidents and the City's Portfolio Managers from Dana Investment Advisors were in attendance to review the City's investment portfolio and provide an update on the state of the economy. Since Dana started managing the portfolio in 2019, the total market gain after fees is about \$555,000. The portfolio security allocations and durations were discussed as well as the Federal Funds rate expectation in the coming year and how that impacts the different security types. Also discussed was how often the City's current investment financial policy is reviewed and updated. It has not been reviewed in the last few years, but staff will put that in the work plan for 2024. There was a consensus among the Committee members to have Mr. Slowinski and Ms. Roberts come back in about six months to provide another portfolio update with a focus on analyzing the City's asset allocation especially as it relates to having a proper balance of risk and return.

6) Resolutions

Action requested: review and recommend approval

a. **RESOLUTION 4085** A Resolution Adopting the City of Mequon's Annual Fee Schedule for Fiscal Year 2024

RESULT: **Approved by Voice Acclamation [Unanimous]**

MOVED BY: Alderman Gebhardt

SECONDED BY: Alderman Parrish

AYES: Gebhardt, Parrish, Strzelczyk

b. **RESOLUTION 4086** A Resolution Amending the Allocation of \$2,552,000 in Funding Received through the American Rescue Plan Act

As part of the 2024 budget process, two adjustments to the current spending plan were recommended by the Appropriations Committee. These include allocating \$40,000 in non-designated funds to the five-year update to the City's Park & Open Space Plan, and \$20,000

in non-designated funds to support efforts in deterring vehicle speeding within the community.

RESULT: **Approved by Voice Acclamation [Unanimous]**

MOVED BY: Alderman Parrish

SECONDED BY: Alderman Gebhardt

AYES: Gebhardt, Parrish, Strzelczyk

c. **RESOLUTION 4087** A Resolution Adopting the 2024 Pay Plan for Non-Represented Employees

The 2024 General Fund Budget to be adopted by the Common Council at its November 14 meeting provides a 2.75% cost-of-living wage adjustment for non-represented employees. All non-represented employees will receive a base adjustment of 2%, starting on January 1, 2024. Further, employees who complete a 2023 performance review in December will receive an additional adjustment of 0.75%, also effective January 1.

Also noted in the 2024 General Fund Budget, a one-time salary adjustment between 1-3% for non-represented employees who have worked for the City for at least three years (as of January 1, 2024) was included as well.

RESULT: **Approved by Voice Acclamation [Unanimous]**

MOVED BY: Alderman Strzelczyk

SECONDED BY: Alderman Gebhardt

AYES: Gebhardt, Parrish, Strzelczyk

d. **RESOLUTION 4088** A Resolution Authorizing a Development Agreement with DJS Land Management LLC for a Tax Increment District No. 5 Development Incentive (Tier 2) in the Estimated Amount of \$808,500, for the Property Located at 10404 North Port Washington Road

Director Tollefson explained DJS Land Management LLC is requesting a Tax Increment Financing District No. 5 incentive under the Fast Track Formula, which is a pay-as-you-go reimbursement of expenditures associated with demolition. This project runs concurrent with a redevelopment proposal for the property located at 10404 N Port Washington Road. The project is scheduled for building and site plan approval by the Planning Commission on December 4, 2023. The criteria of the Fast Track incentive formula for Tier 2 is as follows:

- Tier 2 incentives are designated for a project that combines multiple parcels or is located within a high priority area as determined by the Economic Development Board. A 15% incentive is authorized for such high priority sites.
- The payback period may extend for the duration of the subject TID's life cycle.
- The maximum incentive allowed is the "gap", which is defined as the removal of the property's base improvement value, plus the cost of site demolition and a 15% incentive.

Discussion was had regarding if 15% was too high of an incentive percentage. Also, Committee members made sure the building and site plan were subject to Planning Commission approval and asked if the word "estimate" was placed before "incentive amount of \$808,500."

Director Tollefson expressed the Economic Development Board approved a recommendation in favor of approving the proposed incentive amount of \$808,500 by a vote of 8-0.

RESULT: **Approved with Amendments [2 to 1]**

MOVED BY: Alderman Parrish

SECONDED BY: Alderman Gebhardt

AYES: Gebhardt, Strzelczyk

NAYS: Parrish

7) Information Items

- a. 2023 YTD Budget Report as of September 30, 2023
- b. Finance & Personnel Work Plan

8) Adjourn

A motion to adjourn was made at 6:52 PM by Alderman Parrish, seconded by Alderman Gebhardt. All voted in favor "aye."

Respectfully Submitted,

Marie Keyser

Assistant Finance Director



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Public Works Department

PUBLIC WORKS COMMITTEE

Tuesday, November 14, 2023

6:30 PM

South Conference Room

Minutes

1) Call to Order, Roll Call

Meeting called to order at 6:30 PM.

Present:

Chair Kathleen Schneider
Alderman Jeffrey Hansher
Alderman Kelly Tolocko

Also present: Director of Public Works/City Engineer Kristen Lundeen, Assistant City Engineer Cole McCraw, Engineering Technician Jeremy Dandy and Administrative Assistant Ren Schlereth. *

2) Approval of Minutes

a. October 10, 2023, Minutes

RESULT: **Approved by Voice Acclamation [Unanimous]**

MOVED BY: Alderman Hansher

SECONDED BY: Alderman Tolocko

AYES: Schneider, Hansher, Tolocko

3) Resolutions

Action requested: review and recommend approval

- a. **RESOLUTION 4091** A Resolution Authorizing Execution of a Memorandum of Understanding Between the City of Mequon and the Village of Brown Deer, in Connection with Completing Design Services for a Portion of County Line Road in the Amount of \$33,600

The City has had a good experience previously working with Vierbicher.

RESULT: Approved by Voice Acclamation [Unanimous]
MOVED BY: Alderman Schneider
SECONDED BY: Alderman Hansher

AYES: Schneider, Hansher, Tolocko

4) Discussion Items

Discussion and Possible Action

a. 2023 Road Improvements Contract Summary

Minor restoration and repairs continue to be completed.

Ravine Farms was not interested in any modifications to their water system at this time and executed the memorandum of understanding. The road work done in the Ravine Farms area was not affected by the water system and was completed without issues. *

b. Public Works Work Plan (11.14.23)

5) Adjourn

a. Motion to Adjourn at 6:47 PM

Respectfully Submitted,

Ren Schlereth
Administrative Assistant

**City Administrator Jones requested the following minute changes on 12/13/2023.*

-Administration changed to Administrative

-Farm changed to Farms

-Were changed to was

	A	B	C	D	E	F	G	I	J	K
1										
2										
3	0									
4	DIST.	PARCEL #	ADDRESS	OWNER	VIOLATION TYPE/COMPLAINT	OTC ISSUED	REQUIREMENT DATE	COURT DATE	COMMENTS (See Key Column)	ACTIVE YES/NO
5	8	151050504000	10843 N PEBBLE LANE	ABBAS OR FATIMA ALI	YARD WASTE LEAVES AND BRANCHES	1/21/2022	6/1/2022		1	NO
6	4	140341500100	6110-6112 W COUNTY LINE ROAD	JEFFERY KRETZ	PARKING	12/1/2021	12/15/2021		#5 CITATION 1,2	NO
7	1	140300600500	12323 W MEQUON ROAD	JONATHAN SCHOTTE	PARKING	10/21/2021	11/4/2021		1	NO
8	3	140221000600	11512 N WAUWATOSA ROAD	RICK OR PATRICIA FREYMUTH	TEMPORARY STRUCTURE	10/22/2021	11/5/2021		1	NO
9	4	EXEMPT	110010 N BUNTROCK AVENUE	WILSON SCHOOL	ELECTRONIC MESSAGE SIGN ILLUMINATION	12/8/2021	12/17/2021		1	NO
10	1	141550010000	13760 N BONNIWELL COURT	GALINA OR MISHA SHEPSHELEVICH	PARKING	ONGOING	ONGOING	NOT SET	#5, CIRCUIT COURT	YES
11	3	RENTAL	6200 W MEQUON ROAD	ST PAULS FISH	BANNER/SIGNS	11/17/2021	11/20/2021		1	NO
12	2	140820648000	2916 W SHOLES DRIVE	DAVID OR ELIZABETH SANDE	HOME BUSINESS	11/22/2021	12/5/2021		1	NO
13	1	141550011000	13702 N BONNIWELL COURT	MICHAEL OR SHELLEY OLSON	PARKING	11/22/2021	11/5/2021		1	NO
14	4	140270101200	10910 INDUSTRIAL DRIVE	SUPER STEEL LLC	BANNER/SIGNS	11/17/2021	11/20/2021		1	NO
15	8	RENTAL	10042 N PORT WASHINGTON ROAD	NEARLY NEW CONSIGNMENT SHOP	BANNER	11/17/2021	11/20/2021		1	NO
16	4	RENTAL	11035 INDUSTRIAL DRIVE	CENTRAL BARK	BANNER/SIGNS	11/17/2021	11/20/2021		1	NO
17	5	EXEMPT	13460 N PORT WASHINGTON ROAD	CHRIST CHURCH	BANNER	11/17/2021	11/20/2021		1	NO
18	4	140340500100	6809 W DONGES BAY ROAD	MEQUON LAWN AND GARDEN	BANNER	11/17/2021	11/20/2021		1	NO
19	6	150191301600	11357 N PORT WASHINGTON ROAD	KOHLER CREDIT UNION	FLAG	11/17/2021	11/20/2021		1	NO
20	8	RENTAL	11018 N PORT WASHINGTON ROAD	MATHNASIUM	BANNER	11/17/2021	11/20/2021		1	NO
21	5	150201001800	11522 N PORT WASHINGTON ROAD	SHELL GAS STATION	BANNER	11/17/2021	11/20/2021		1	NO
22	6	RENTAL	10945 N PORT WASHINGTON ROAD	SPINE PAIN DIAGNOSTICS ASSOCIATES SUITE 101	BANNER	11/17/2021	11/20/2021		1	NO
23	8	RENTAL	10930 N PORT WASHINGTON ROAD	SENDIK'S	BANNER	11/17/2021	11/20/2021		1	NO
24	6	RENTAL	10945 N PORT WASHINGTON ROAD	WISCONSIN RADIOLOGY SPECIALISTS	BANNER	11/17/2021	11/20/2021		1	NO
25	8	RENTAL	10984 N PORT WASHINGTON ROAD	MARSHALLS	BANNER/SIGNS	11/17/2021	11/20/2021		1	NO
26	8	RENTAL	10526 N PORT WASHINGTON ROAD	DERIAH BOUTIQUE	BANNER	11/17/2021	11/20/2021		1	NO
27	6	RENTAL	10501 N PORT WASHINGTON ROAD	ALLSTATE INSURANCE	FLAG	11/17/2021	11/20/2021		1	NO
28	8	RENTAL	10916 N PORT WASHINGTON ROAD	ELITE NUTRITION	BANNER	11/17/2021	11/20/2021		1	NO
29	6	RENTAL	11649 N PORT WASHINGTON ROAD	MEQUON SMILE DESIGN	BANNER	11/17/2021	11/20/2021		1	NO
30	6	RENTAL	11042 N PORT WASHINGTON ROAD	X GOLF MEQUON	FLAG	11/17/2021	11/20/2021		1	NO
31	8	150290600200	11150 N PORT WASHINGTON ROAD	CULVER'S	BANNER/SIGN	11/17/2021	11/20/2021		1	NO
32	4	140270201000	11130 N BUNTROCK AVENUE	ARTESA APARTMENTS	BANNER/SIGN	11/17/2021	11/20/2021		1	NO
33	8	RENTAL	10992 N PORT WASHINGTON ROAD	GREAT CLIPS	BANNER	11/17/2021	11/20/2021		1	NO
34	3	RENTAL	6330 W SPUR ROAD	SPUR 16	FLAG	11/17/2021	11/20/2021		1	NO
35	4	RENTAL	10503 N CEDARBURG ROAD	THE COLOUR BOWL SALON AND WELLNESS	FLAG	11/17/2021	11/20/2021		1	NO
36	4	140500612000	5616 W DONGES BAY ROAD	LIBBY MONTANA	BANNER	11/17/2021	11/20/2021		1	NO
37	6	150300600500	2635 W MEQUON ROAD	THE RANGE LINE INN	BANNER/SIGN	11/17/2021	11/20/2021		1	NO
38	6	151530001000	1505 W MEQUON ROAD	EAST TOWNE SQUARE MALL	FLAG	11/17/2021	11/20/2021		1	NO
39	6	RENTAL	1339 W MEQUON ROAD	SOVEREIGN SELECT LLC	BANNER	11/17/2021	11/20/2021		1	NO
40	3	RENTAL	7602 W MEQUON ROAD	IN BALANCE YOGA	BANNER	11/17/2021	11/20/2021		1	NO
41	6	RENTAL	1340 W MEQUON ROAD	AC ZUKERMAN JEWELERS	BANNER	11/17/2021	11/20/2021		1	NO
42	6	RENTAL	1300 W MEQUON ROAD	PANERA BREAD	BANNER/SIGNS	11/17/2021	11/20/2021		1	NO
43	6	RENTAL	1424 W MEQUON ROAD	NORTH SHORE COMPUTER	BANNER	11/17/2021	11/20/2021		1	NO
44	6	RENTAL	1402 W MEQUON ROAD	KUMON MATH AND READING	BANNER	11/17/2021	11/20/2021		1	NO
45	8	RENTAL	10530 N PORT WASHINGTON ROAD	FIDDLEHEADS COFFEE	BANNER/SIGNS	11/17/2021	11/20/2021	4/6/2022	#5, CITATION 1	NO
46	6	RENTAL	11525 N PORT WASHINGTON ROAD	JIMMY JOHNS	BANNER/FLAGS	11/17/2021	11/20/2021	3/2/2022	#5, CITATION 1	NO
47	6	RENTAL	11511 N PORT WASHINGTON ROAD	TACO BELL	BANNER	11/17/2021	11/20/2021	4/6/2022	#5, CITATION 1,2	NO
48	4	140500903002	10360 N CEDARBURG ROAD	KWIK TRIP	TRASH/LITTER	12/23/2021	12/27/2021	4/6/2022	#5, CITATIONS 1,2,3	NO
49	4	140500903002	10360 N CEDARBURG ROAD	KWIK TRIP	BANNER/FLAGS	11/17/2021	11/20/2021	3/2/2022	#5, CITATION 1,2	NO
50	8	150291100500	10500 N PORT WASHINGTON ROAD	HOLD HOLDINGS	PUBLIC NUISANCE	4/14/2021	4/23/2021	4/6/2022	#5, CITATIONS 1,2,3	NO
51	4	140840107000	9712 N MEQUON PLACE	TOUJA YANG	PARKING	10/25/2021	11/5/2021	4/6/2022	#5 CITATIONS 1, 2,3,4, 5,6	YES
52	7	140250600600	11050 N RIVER ROAD	ROBERT STERN	OUTSIDE STORAGE	11/17/2021	11/24/2021		#5 CITATION 1	NO
53	4	140501204000	10056 N CEDARBURG ROAD	WILLIAM WISTH	OUTSIDE STORAGE	ONGOING	ONGOING	NOT SET	#5 CIRCUIT COURT	YES
54	3	140870805000	11715 N SILVER AVENUE	LUJESS	PARKING	ONGOING	ONGOING	NOT SET	#5 CIRCUIT COURT	YES
55	6	151000203000	12539 N ISLAND DRIVE	WILLIAM WISTH	OUTSIDE STORAGE	ONGOING	ONGOING	NOT SET	#5 CIRCUIT COURT	YES
56	8	151070412000	819 W SIERRA LANE	VANN FAMILY TRUST	OUTSIDE STORAGE	2/25/2022	3/11/2022		1	NO
57	8	151070412000	819 W SIERRA LANE	VANN FAMILY TRUST	PARKING	2/25/2022	3/11/2022		1	NO
58	2	140241201000	11249 N RIVERLAND ROAD	PAUL FREDERICK	OUTSIDE STORAGE	2/25/2022	3/11/2022		1	NO
59	2	140241201000	11249 N RIVERLAND ROAD	PAUL FREDERICK	PARKING	2/25/2022	3/11/2022		#5 CITATION 1	NO
60	1	140121200300	3500 W HIGHLAND ROAD	THOMAS LEMENS	OUTSIDE STORAGE	2/25/2022	3/11/2022		1	NO
61	1	140121200300	3500 W HIGHLAND ROAD	THOMAS LEMENS	PARKING	2/25/2022	3/11/2022		1	NO

	A	B	C	D	E	F	G	I	J	K
62	1	140191500200	11206-11210 W MEQUON ROAD	JORDON OR KRISTY LARSON	PARKING	2/25/2022	3/11/2022		1	NO
63	1	140191500200	11206- 11210 W MEQUON ROAD	JORDON OR KRISTY LARSON	OUTSIDE STORAGE	2/25/2022	3/11/2022		1	NO
64	1	140191500200	11206-11210 W MEQUON ROAD	JORDON OR KRISTY LARSON	OUTSIDE MAINTANCE	2/25/2022	5/30/2022		1	NO
65	2	140950607000	3033 W RENEE COURT	IGOR OR MARGARITA LETKIN	PARKING	3/8/2022	3/22/2022		1	NO
66	6	150300800400	10841 N ORIOLE LANE	NICHOLAS OR LAURA MEYER	OUTSIDE STORAGE	3/14/2022	3/31/2022		1	NO
67	6	150300800400	10841 N ORIOLE LANE	NICHOLAS OR LAURA MEYER	GENERAL MAINTENANCE	3/14/2022	5/30/2022		1	NO
68	6	140950607000	2030 W SUNNYDALE LANE	DIANNE MCCLELLAN	PARKING	3/14/2022	3/31/2022		1	NO
69	6	140950607000	2030 W SUNNYDALE LANE	DIANNE MCCLELLAN	OUTSIDE STORAGE	3/14/2022	3/31/2022		1	NO
70	4	140271200400	6926 W DONGES BAY ROAD	GO RITEWAY	PARKING	3/17/2022	3/21/2022		1	NO
71	4	140271200400	6926 W DONGES BAY ROAD	GO RITEWAY	ADVERTISING FLAG	3/17/2022	3/21/2022		1	NO
72	4	140840205000	9612 W MEQUON PLACE	LEWIS OR JEAN BIRKEL	OUTSIDE MAINTENANCE	3/23/2022	6/1/2022		1	NO
73	7	150850000002	3100 W COUNTRY CLUB DRIVE	NORTH SHORE COUNTRY CLUB	LANDSCAPING	3/23/2022	6/1/2022		1	NO
74	4	140500709001	1863/461 N 1/2 LOT 9 BLK 7 CEDARBURG ROAD	WILLIAM CONLEY	MAINTENANCE	3/24/2022	7/1/2022		1	NO
75	4	140270901200	10541-10601 N COMMERCE STREET	MEGAL DEVELOPMENT CORPORATION	BUSINESS OCCUPANCY PERMIT	3/31/2022	4/8/2022		1	NO
76	2	140240701200	11610 N RIVER ROAD	MARILYN MANKE	OUTSIDE STORAGE	3/31/2022	4/7/2022		1	NO
77	5	RENTAL	11700 N PORT WASHINGTON ROAD	MARCUS NORTH SHORE CINEMA	LITTER	4/6/2022	4/13/2022		1	NO
78	5	150200701100	11616 N PORT WASHINGTON ROAD	ELITE HIGHLANDER MEQUON INC	LITTER	4/6/2022	4/13/2022		1	NO
79	5	RENTAL	11558 N PORT WASHINGTON ROAD	METRO MARKET	LITTER	4/6/2022	4/13/2022		1	NO
80	3	140860207000	11345 N SOLAR AVE	JEFFREY MCCLONE	PARKING	4/21/2022	4/28/2022		#5 CITATION 1,2	NO
81	3	140892402000	11425 N VEGA AVE	DENNIS HERRERA	PARKING	4/21/2022	4/28/2022		1	NO
82	3	140210101000	11932 N VEGA AVE	JOHN OR STACEY MURRAY	PARKING	4/21/2022	4/28/2022		1	NO
83	3	141220004000	11912 N SOLAR AVE	JAMES MCNICHOL	PARKING	4/21/2022	4/28/2022		#5 CITATION 1,2	NO
84	3	140870708000	11625 N VEGA AVE	ROBERT MACKIEWICZ	PARKING	4/21/2022	4/28/2022		1	NO
85	3	140881402000	8509 W POPLAR DR	WILLIAM BLATZ	PARKING	4/21/2022	4/28/2022		1	NO
86	4	140840509000	4808 W HIAWATHA DR	PAUL SCHUMACHER	HOOP HOUSE	4/21/2022	5/5/2022		1	NO
87	2	141160010000	12335 N WOODFIELD CT	JEFFREY OR SUSAN POMERANTZ	OUTSIDE STORAGE	4/22/2022	4/29/2022		1	NO
88	3	140500102002	6714 W MEQUON ROAD	MICHAEL OR TRACY LALONDE	OUTSIDE STORAGE	4/28/2022	5/13/2022		#5 CITATION 1,2	NO
89	7	150560205000	1425 W ZEDLER LANE	BRADFORD FIGG	GARBAGE	5/10/2022	5/13/2022		#5 CITATION 1	NO
90	2	141160010000	12335 N WOODFIELD COURT	JEFFERY OR SUSAN POMERANTZ	PARKING	5/17/2022	5/24/2022		1	NO
91	5	RENTAL	11740 N PORT WASHINGTON ROAD	BANK FIRST	BANNER	5/17/2022	5/21/2022		1	NO
92	5	EXEMPT	13800 N PORT WASHINGTON ROAD	UNITARIAN CHURCH	BANNER/FLAG	5/17/2022	5/21/2022		1	NO
93	3	RENTAL	6006 W MEQUON ROAD	SPUR 16	BANNER/FLAG	5/17/2022	5/21/2022		1	NO
94	8	RENTAL	10900 N PORT WASHINGTON ROAD	THE FEED BAG	BANNER	5/17/2022	5/21/1955		1	NO
95	2	EXEMPT	3906 W MEQUON ROAD	ST BONIFACE CHURCH	BANNER	5/17/2022	5/21/2022		1	NO
96	5	151001214000	1630 W DOROTHY PLACE	DAVID OR SHELLY HAUGH	OUTSIDE MAINTENANCE	5/25/2022	6/18/2022		1	NO
97	5	151001214000	1630 W DOROTHY PLACE	DAVID OR SHELLY HAUGH	OUTSIDE STORAGE	5/25/2022	7/1/2022		1	NO
98	9	140870504001	11733 N WAUWATOSA ROAD	DELORES FILLAFER	OUTSIDE STORAGE	5/25/2022	6/15/2022		1	NO
99	3	140870504001	11733 N WAUWATOSA ROAD	DELORES FILLAFER	OUTSIDE MAINTENANCE	6/7/2022	7/5/2022		1	NO
100	4	140941600200	BAEHR AND COUNTY LINE/ NO ADDRESS	BILL FINE/COUNTY LINE HOLDINGS	PARKING	6/13/2022	6/29/2022		#5 CITATION 1,2	NO
101	6	150570602000	1424 W ZEDLER LANE	ROSEMARY KOLLER	GRASS	6/15/2022	6/22/2022		1	NO
102	8	151070412000	819 SIERRA LANE	VANN FAMILY TRUST	GRASS	6/15/2022	6/22/2022		1	NO
103	7	141510000500	9853 N RANGE LINE ROAD	CYNTHIS COAKLEY	OUTSIDE STORAGE	6/15/2022	6/29/2022		1	NO
104	5	151030214001	12707 N EAST SHORELAND DRIVE	GARMAN LIVING TRUST	PARKING	6/15/2022	6/29/2022		1	NO
105	5	151030211000	12731 N EAST SHORELAND DRIVE	TED RUEHL	OUTSIDE STORAGE	6/15/2022	6/29/2022		1	NO
106	4	140640202000	10811 N SHERWOOD DRIVE	CHARLES CONRAD	YARD WASTE BRANCHES	6/21/2022	6/28/2022		1	NO
107	8	151070412000	819 W SIERRA LANE	VANN FAMILY TRUST	TRASH/LITTER	6/21/2022	6/28/2022		1	NO
108	6	150710411000	11604 N HILLSIDE LANE	MICHAEL GMIREK OR SUZANNE PEPLINSKI	TURF GRASS	6/21/2022	6/28/2022		1	NO
109	6	150710405000	11433 N COUNTRY LANE	WILLIAM GENSRIK	TEMPORARY STRUCTURE	6/21/2022	6/28/2022		1	NO
110	6	150710405000	11433 N COUNTRY LANE	WILLIAM GENSRIK	PARKING	6/21/2022	6/28/2022		1	NO
111	6	150630108000	11320 N VALLEY DRIVE	JONATHAN SCHULTZ	PARKING	6/21/2022	6/28/2022		1	NO
112	7	140700083000	3327 BURGANDY COURT	LYNN VORBECK	PARKING	6/21/2022	6/28/2022		1	NO
113	6	150990701000	12345 N EAST SHORELAND DRIVE	ANDREW OR WENDY PETZOLD	OUTSIDE MAINTENANCE	6/23/2022	7/29/2022		1	NO
114	6	150990701000	12345 N EAST SHORELAND DRIVE	ANDREW OR WENDY PETZOLD	TURF GRASS	6/23/2022	7/14/2022		1	NO
115	5	150060901900	13804 N MARTIN WAY SUITE 2400	13804 N MARTIN WAY LLC	POOL FENCE	7/7/2022	7/29/2022		#5 CITATION 1	YES
116	5	150061500900	1908 W BONNIWELL ROAD	RAVI NARAYAN OR SOWMYA SUBRAMANIAN	POOL FENCE	8/11/2021	8/26/2022		1	NO
117	2	150911001000	2517 W CHESTNUT ROAD	TAOFIKI OR KERRY ALABI	PARKING	7/15/2022	7/22/2022		1	NO
118	4	140501305007	9807 N CEDARBURG ROAD	RYAN OR KATHERINE KAUTZER	TURF GRASS	7/15/2022	7/22/2022		1	NO
119	6	XXXXXXXXXX	NORTH SHORE ESTATES	DEBRA NEWELL PRESIDENT	OUTSIDE STORAGE	7/14/2022	8/5/2022		1	NO
120	3	142010051000	10879 N WILDCAT WAY	AMBER SCHROEDER	FENCE	5/16/2022	5/27/2022		#5 CITATION 1,2	YES
121	3	140860205000	11413 N SOLAR AVENUE	DUANE OR JULIE WAGNER	PARKING	7/21/2022	8/4/2022		1	NO
122	8	RENTAL	10930 N PORT WASHINGTON ROAD	SENDIKS	BANNERS	7/21/2022	7/28/2022		1	NO

	A	B	C	D	E	F	G	I	J	K
123	1	XXXXXXXXXX	HIGHLANDS LOT 8	KINGS WAY HOMES	OUTSIDE MAINTENANCE	7/22/2022	7/29/2022		1	NO
124	4	140270201500	6835 W MEQUON ROAD	RESERVE FRONT LOT	LANDSCAPING	7/22/2022	8/16/2022		1	NO
125	4	140270200200	6729 W MEQUON ROAD	STORYPOINT SENIOR LIVING	SIGNS	7/22/2022	8/19/2022		1	NO
126	7	150850000002	3100 W COUNTRY CLUB DRIVE	NORTH SHORE COUNTRY CLUB	LANDSCAPING	7/22/2022	10/5/2022		1	NO
127	8	XXXXXXXXXX	10930 N PORT WASHINGTON ROAD	MEQUON PAVILIONS	FLAGS	7/22/2022	7/29/2022		1	NO
128	2	140820210001	3015 W SHOLES DRIVE	THOMAS OR CAPTOLA BACHER	2 SHEDS	8/11/2022	9/11/2022		1	NO
129	5	151120203000	13837 N LAKE SHORE DRIVE	GREGORY OR NICOLE PATERSON	OUTDOOR STORAGE	8/11/2022	8/26/2022		1	NO
130	6	150300802300	2212 W SUNNYDALE LANE	AARON OR PETER KINNEY	POOL FENCE	8/11/2022	8/26/2022		1	NO
131	8	RENTAL	10806 N PORT WASHINGTON ROAD	NORTH SHORE BANK	BANNER	8/19/2022	8/25/2022		1	NO
132	6	RENTAL	1606 W MEQUON ROAD	EAST TOWNE SQUARE MALL	FLAGS	8/19/2022	8/25/2022		1	NO
133	6	RENTAL	1606 W MEQUON ROAD	FAYE'S MEQUON	FLAGS	8/19/2022	8/25/2022		1	NO
134	6	RENTAL	1606 W MEQUON ROAD	THE LEMON TREE	FLAGS	8/19/2022	8/25/2022		1	NO
135	6	RENTAL	1616 W MEQUON ROAD	ZARLETTI MEQUON	FLAGS	8/19/2022	8/25/2022		1	NO
136	6	RENTAL	1330 W MEQUON ROAD	COCOA TREE CONFECTIONARY	BANNER	8/19/2022	8/26/2022		1	NO
137	6	RENTAL	1402 W MEQUON ROAD	KUMON MATH AND READING	BANNER	8/19/2022	8/25/2022		1	NO
138	6	RENTAL	1650 W MEQUON ROAD	FIFTH MAIN	A FRAME	8/19/2022	8/25/2022		1	NO
139	6	RENTAL	11035 N PORT WASHINGTON ROAD	PICARDY SHOE PARLOUR	BANNER	8/19/2022	8/25/2022		1	NO
140	4	140271601200	10433 N BAEHR ROAD	NORTH SHORE DANCE	SIGNS	7/7/2022	7/29/2022		#5 CITATION 1	NO
141	1	141440022001	7421 RIDGEVIEW DRIVE	YOUSSEF BERRADA	PLUMBING PERMIT	8/24/2022	9/7/2022		EXTENSION	YES
142	1	141440022001	7421 RIDGEVIEW DRIVE	YOUSSEF BERRADA	ELECTRIC PERMIT	8/24/2022	9/7/2022		EXTENSION	YES
143	1	141440022001	7421 RIDGEVIEW DRIVE	YOUSSEF BERRADA	BUILDING PERMIT	8/24/2022	9/7/2022		EXTENSION	YES
144	1	141440022001	7421 RIDGEVIEW DRIVE	YOUSSEF BERRADA	FILL PERMIT	8/24/2022	9/7/2022		EXTENSION	YES
145	1	141440022001	7421 RIDGEVIEW DRIVE	YOUSSEF BERRADA	SURVEY	8/24/2022	9/7/2022		EXTENSION	YES
146	7	150500116000	1828 W FIESTA LANE	CHARLES MAYER	GRASS	8/31/2022	9/8/2022		1	NO
147	7	140700145000	3531 W LEGRANDE BLVD	WILLIAM GRUBER	HOME BUSINESS	9/6/2022	9/16/2022		1	NO
148	4	RENTAL	10601 N COMMERCE STREET	GOOD LAND PREMIUM FOODS PROVISIONS INC	BUILDING AND SITE PLAN AMENDMENT	9/6/2022	9/19/2022		1	NO
149	6	RENTAL	1339 W MEQUON ROAD	REMAX LAKESIDE	WALL SIGN	9/8/2022	10/28/2022		1	NO
150	5	151010106001	12666 N SHORELAND PARKWAY	NANCY TOLOCKO	DECK	9/13/2022	12/14/2022		1	NO
151	5	150970019000	12648 N RIVER FOREST CIRCLE	JOHN OR JULIE HENNINGS	PARKING	9/13/2022	9/23/2022		1	NO
152	5	150970019000	12648 N RIVER FOREST CIRCLE	JOHN OR JULIE HENNINGS	OUTSIDE MAINTENANCE	9/13/2022	9/27/2022		1	NO
153	8	EXEMPT	10370 N WILDWOOD COURT	OZAUKEE WASHINGTON COUNTY LAND TRUST	OUTSIDE MAINTENANCE	9/14/2022	10/14/2022		1	NO
154	3	RENTAL	7160 W DONGES BAY ROAD	WARREN BARNETT INTERIORS	CONDITIONAL USE GRANT	9/20/2022	10/4/2022		#5 CITATION 1	NO
155	6	150190400400	11743 N PORT WASHINGTON ROAD LOT 1	SHELY 2012 IRREVOCABLE TRUST	GRASS	9/22/2022	10/7/2022		1	NO
156	6	150190400500	11743 N PORT WASHINGTON ROAD LOT 2	SHELY 2012 IRREVOCABLE TRUST	GRASS	9/22/2022	10/7/2022		1	NO
157	6	150190400600	11743 N PORT WASHINGTON ROAD LOT 3	SHELY 2012 IRREVOCABLE TRUST	GRASS	9/22/2022	10/7/2022		1	NO
158	6	RENTAL	1550 W MEQUON ROAD	FIFTH MAIN	MONUMENT SIGN	9/29/2022	10/13/2022		#5 CITATION 1,2,3	NO
159	8	150740120000	317 E CIRCLE ROAD	JEFFREY OR JENNIFER PARULSKI	PARKING	9/29/2022	10/13/2022		#5 CITATION 1	NO
160	4	140840306000	4904 W COUNTY LINE ROAD	SHAWN OR RUTH RUBINSTEIN	SUMP PUMP	9/29/2022	10/7/2022		1	NO
161	6	RENTAL	11431 N PORT WASHINGTON ROAD SUITE 207	DAYALUV COSMETICS	CONDITIONAL USE GRANT	10/5/2022	11/14/2022		1	NO
162	6	RENTAL	11431 N PORT WASHINGTON ROAD SUITE 135	EMBRACE YOUR FACE	CONDITIONAL USE GRANT	10/5/2022	11/14/2022		1	NO
163	6	RENTAL	11431 N PORT WASHINGTON ROAD SUITE 101E	CEDAR CREEK MASSAGE	CONDITIONAL USE GRANT	10/5/2022	11/14/2022		1	NO
164	6	RENTAL	11431 N PORT WASHINGTON ROAD SUITE 106A	JANET HALONEN-ACUESTICS	CONDITIONAL USE GRANT	10/5/2022	11/14/2022		1	NO
165	6	RENTAL	11431 N PORT WASHINGTON ROAD SUITE 108	DRAGON FLY MEDITATION AND WELLNESS	CONDITIONAL USE GRANT	10/5/2022	11/14/2022		1	NO
166	6	RENTAL	11431 N PORT WASHINGTON ROAD SUITE 101	THERPUTIC MASSAGE AND WELLNESS CENTER	CONDITIONAL USE GRANT	10/5/2022	11/14/2022		1	NO
167	6	RENTAL	11431 N PORT WASHINGTON ROAD SUITE 212	WYNTER CO. BEAUTY	CONDITIONAL USE GRANT	10/5/2022	11/14/2022		1	NO
168	6	150300600900	2505 W MEQUON ROAD	NORTH SHORE DENTAL	BANNER	10/6/2022	10/13/2022		1	NO
169	3	RENTAL	7606 W MEQUON ROAD	HOMESTEAD FAMILY DENTISTRY	BANNER	10/6/2022	10/13/2022		1	NO
170	6	150710405000	11433 N COUNTRY LANE	WILLIAM OR CAROL GENSIRCK	OUTSIDE STORAGE	10/6/2022	10/27/2022		1	NO
171	6	150710405000	11433 N COUNTRY LANE	WILLIAM OR CAROL GENSIRCK	OUTSIDE MAINTENANCE	10/6/2022	11/10/2022		1	NO
172	6	150310101100	10355 N PORT WASHINGTON ROAD	CLARK GAS STATION	OUTSIDE MAINTENANCE	10/12/2022	11/12/2022		#5 CITATION 1	NO
173	1	140200600700	10505 W FREISTADT ROAD	HERMAN OR SANDRA STERN	PARKING	10/19/2022	11/11/2022		1	NO
174	1	140171101100	10516 W FREISTADT ROAD	JENNIFER JOHNSON OR JOSHUA COMFORT	PARKING	10/19/2022	11/11/2022		1	NO
175	4	140500404000	11155 N CEDARBURG ROAD	MEQUON AUTO TECH	WATER TO FACILITY	10/19/2022	11/25/2022		#5 CITATION 1	YES
176	5	150170800500	12531 N LAKESHORE DRIVE	STEVEN OR KIMBERLY BROWN	SHED PERMIT	10/19/2022	11/4/2022		EXTENSION	YES
177	4	140271601200	10433 N BAEHR ROAD	NORTH SHORE DANCE STUDIO	MONUMENT SIGN	10/21/2022	11/30/2022		1	NO
178	4	RENTAL	11120 N BUNTROCK AVENUE	PRESTIGE AUTO SERVICE	PARKING COMMERCIAL	10/26/2022	11/2/2022		EXTENSION	YES
179	5	150920201000	11404 N PINEHURST CIRCLE	US BANK	GRASS	10/27/2022	11/4/2022		1	NO
180	5	150920201000	11404 N PINEHURST CIRCLE	US BANK	OUTSIDE MAINTENANCE	10/27/2022	11/27/2022		1	NO
181	8	151070112002	1027 W DONGES BAY	MARY JOHNSON	OUTSIDE MAINTENANCE	10/27/2022	11/27/2022		EXTENSION NEW OWNER	YES
182	6	151260105000	10451 N STRATFORD PLACE	STEFAN OR SARAH GENDELMAN	BUILDING PERMIT	10/28/2022	11/21/2022		1	NO
183	5	151200017000	11633 N LAKE SHORE DRIVE	BARBARA PFAFF	OUTSIDE MAINTENANCE	1/19/2022	5/30/2022		# 5 CITATION 1	YES

	A	B	C	D	E	F	G	I	J	K
184	5	151200017000	11633 N LAKE SHORE DRIVE	BARBARA PFAFF	OUTSIDE STORAGE	1/19/2022	2/9/2022		#5 CITATION 1	YES
185	1	140030300200	14015 N CEDARBURG ROAD	WHITE RABBIT RESTAURANT	MONUMENT SIGNS	11/9/2022	11/23/2022		1	NO
186	6	150191602200	1400 W MEQUON ROAD	CONCORD 37 LLC	OUTSIDE MAINTENANCE	11/10/2022	12/2/2022		1	NO
187	6	150191602300	1350 W MEQUON ROAD	CONCORD 37 LLC	OUTSIDE MAINTENANCE	11/10/2022	12/2/2022		1	NO
188	8	150320700200	10000 N PORT WASHINGTON ROAD	PARK AVENUE PLAZA OF MEQUON	OUTSIDE MAINTENANCE	11/10/2022	12/2/2022		1	NO
189	6	151850001000	1511 MARKET STREET	LAKESIDE DEVELOPMENT COMPANY	OUTSIDE MAINTENANCE	11/10/2022	12/2/2022		1	NO
190	5	150201101000	11300 N PORT WASHINGTON ROAD	(PNS) SCHMIDT MEQUON LLC	OUTSIDE MAINTENANCE	11/15/2022	12/16/2022		EXTENSION NEW OWNER	YES
191	7	140501403003	10015 N RIVER ROAD	JEFF OR BETH ASTEMBORSKI	OUTSIDE STORAGE	11/17/2022	12/2/2022		1	NO
192	4	140341100400	9716 N WAUWATOSA ROAD	ANDREW BERGMAN	PARKING	11/17/2022	12/2/2022		1	NO
193	4	140341100400	9716 N WAUWATOSA ROAD	ANDREW BERGMAN	OUTSIDE STORAGE	11/17/2022	12/2/2022		1	NO
194	4	140340500800	10146 N WAUWATOSA ROAD	ROBERT PETZOLD JR	PARKING	11/17/2022	12/2/2022		1	NO
195	4	140340500800	10146 N WAUWATOSA ROAD	ROBERT PETZOLD JR	OUTSIDE STORAGE	11/17/2022	12/2/2022		1	NO
196	1	140181300800	12031 N GRANVILLE ROAD	LINDENWOOD FARMS	PARKING	11/17/2022	12/2/2022		1	NO
197	1	140181300800	12031 N GRANVILLE ROAD	LINDENWOOD FARMS	OUTSIDE STORAGE	11/17/2022	12/2/2022		1	NO
198	8	RENTAL	10840 N PORT WASHINGTON ROAD	TOBIN JEWELERS	BANNER	11/30/2022	12/8/2022		1	NO
199	6	151530001000	1505 W MEQUON ROAD	EAST TOWNE SQUARE MALL	BANNER/FLAGS	11/30/2022	12/8/2022		1	NO
200	3	140860219000	11428 N VEGA AVENUE	MARK KRUEGER	OUTSIDE STORAGE	12/6/2022	12/20/2022		1	NO
201	3	140860219000	11428 N VEGA AVENUE	MARK KRUEGER	PARKING	12/6/2022	12/20/2022		1	NO
202	3	140860220000	7907 W WILLOWBROOK DRIVE	BENJAMIN AHANGER	OUTSIDE STORAGE	12/6/2022	12/20/2022		1	NO
203	6	150191500300	1836 W MEQUON ROAD	REGINALD FLETCHER	OUTSIDE STORAGE	12/6/2022	12/20/2022		1	NO
204	3	140881604000	11329 N MEADOWBROOK DRIVE	JEREMY GONZALES	PARKING	12/7/2022	12/14/2022		1	NO
205	3	140881602000	11309 N MEADOWBROOK DRIVE	KIMBERLY SCIDMORE OR KERRY HANSEN	PARKING	12/7/2022	12/14/2022		1	NO
206	3	140870807000	11730 N RIDGEWAY AVENUE	DAVID WOZNAK	PARKING	12/7/2022	12/14/2022		1	NO
207	3	140881708000	11310 N MEADOWBROOK DRIVE	GREEN HILL PROPERTIES	PARKING	12/7/2022	12/14/2022		#5 CITATION 1,2	YES
208	3	140871001000	11932 N SILVER AVENUE	DANIEL MUELLER	PARKING	12/7/2022	12/14/2022		1	NO
209	4	140270201200	11030 N BUNTROCK AVENUE	SANG WOO NAM	PARKING	12/9/2022	12/16/2022		1	NO
210	5	150830013001	13560 N LAKESHORE DRIVE	MICHAEL COLE	PARKING	12/13/2022	12/27/2022		1	NO
211	2	150180600500	12750 N SHORELAND PARKWAY	GRANTIT REMODELS LLC	PARKING	12/14/2022	12/29/2022		1	NO
212	8	RENTAL	10038 N PORT WASHINGTON ROAD	MOMS ALTERATIONS	BANNER	12/22/2022	12/30/2022		#5 CITATION 1,	NO
213	2	140140400100	12435 N RIVER ROAD	JOSEPH OR MELANIE DEVORKIN	BUILDING PERMIT	12/22/2022	1/6/2023		#5 CITATION 1	YES
214	1	141440022001	7421 RIDGEVIEW DRIVE	YOUSSEF BERRADA	ACCESSORY STRUCTURE (2)	12/29/2022	1/27/2023		#5 CITATION 1	YES
215	1	141440022001	7421 RIDGEVIEW DRIVE	YOUSSEF BERRADA	SURVEY	12/29/2022	1/12/2023		1	NO
216	6	150600216000	10212 SUNNYCREST DRIVE	HPA III ACQUISITIONS 1 LLC	PARKING	1/6/2023	1/19/2023		1	NO
217	4	140340600900	7227 W DONGES BAY ROAD	ANTOINETTE JACKSON	PARKING	1/11/2023	1/27/2023		1	NO
218	4	140340600900	7227 W DONGES BAY ROAD	ANTOINETTE JACKSON	OUTSIDE STORAGE	1/11/2023	1/27/2023		1	NO
219	3	140510104000	11201 N SOLAR AVENUE	CHRISTOPHER BESLER	OUTSIDE MAINTENANCE	1/12/2023	1/19/2023		#5 CITATION #1	NO
220	8	151790001000	10526 N PORT WASHINGTON ROAD	CONCORD 34 LLC	ELECTRIC	1/19/2023	2/17/2023		1	NO
221	8	151790001000	10526 N PORT WASHINGTON ROAD	CONCORD 34 LLC	DUMPSTER DOORS	1/19/2023	4/15/2023		1	NO
222	8	151790001000	10526 N PORT WASHINGTON ROAD	CONCORD 34 LLC	STORAGE CONTAINER	1/19/2023	2/17/2023		1	NO
223	4	140500506000	11100 N GREEN BAY ROAD	EW DEVELOPMENT CORP	REFUSE	1/20/2023	2/3/2023		5 CITATION 1	YES
224	4	140500506000	11100 N GREEN BAY ROAD	EW DEVELOPMENT CORP	OUTSIDE MAINTENANCE	1/20/2023	5/1/2023		1	NO
225	6	150190400400	11743 N PORT WASHINGTON ROAD	SHELY 2012 IRREVOCABLE TRUST	OUTSIDE MAINTENANCE	1/26/2023	2/7/2023		#5 CITATION 1,2	YES
226	3	140510104000	11201 N SOLAR AVENUE	CHRISTOPHER BESLER	PARKING	2/2/2023	2/9/2023		1	NO
227	6	151290001000	11001 N PORT WASHINGTON ROAD	ACE HARDWARE	COMMUNITY SPIRIT LETTER	2/9/2023	OPEN		1	NO
228	5	150300100700	1425 W MEQUON ROAD	BMO HARRIS BANK	COMMUNITY SPIRIT LETTER	2/9/2023	OPEN		1	NO
229	6	151290017000	1317 W TOWNE SQUARE ROAD	MEQUON UNIT 17 LLC	COMMUNITY SPIRIT LETTER	2/9/2023	OPEN		1	NO
230	8	151750010144	10144 N PORT WASHINGTON ROAD	SSRF LLC	COMMUNITY SPIRIT LETTER	2/9/2023	OPEN		1	NO
231	6	151710002000	10602 N PORT WASHINGTON ROAD	PJL 10335 LLC	COMMUNITY SPIRIT LETTER	2/9/2023	OPEN		1	NO
232	5	150200600100	1025 W GLEN OAKS LANE	GLEN OAKS OFFICE PARK LLC	COMMUNITY SPIRIT LETTER	2/9/2023	OPEN		1	NO
233	3	140500202001	6200 W MEQUON ROAD	ST PAULS FISH COMPANY	OUTSIDE STORAGE	2/14/2023	2/28/2023		1	NO
234	4	140271600600	6130 W DONGES BAY ROAD	JWI LLC	OUTSIDE STORAGE	2/16/2023	3/10/2023		1	NO
235	4	140261100700	10412 N BAEHR ROAD	MEHTA PROPERTIES LLC	COMMUNITY SPIRIT LETTER	2/16/2023	OPEN		1	NO
236	4	RENTAL	5900 W MEQUON ROAD	CAFÉ HOLLANDER	BANNER	2/21/2023	2/28/2023		1	NO
237	6	151001310000	12510 N PILOT DRIVE	JEAN GORSKI	OUTSIDE MAINTENANCE	2/22/2023	5/31/2023		1	NO
238	1	141440022001	7421 RIDGEVIEW DRIVE	YOUSSEF BERRADA	BUILDING PERMIT	2/27/2023	3/14/2023		EXTENSION	YES
239	3	140892302000	11433 N TOWER LANE	JULIS OR ALICE HOLDEN	SUMP PUMP	2/28/2023	3/8/2023		1	NO
240	1	140171101200	10545 W HEATHER DRIVE	STEPHANIE WELDON	BUILDING PERMIT	3/1/2023	3/14/2023		EXTENSION	YES
241	6	150291100700	10510 N PORT WASHINGTON ROAD	PETU	HVAC AND ELECTRIC PERMITS	3/7/2023	4/7/2023		EXTENSION	YES
242	2	140130600800	12602 N RIVER ROAD	GARY OR JUNE GEIGER	BASKETBALL COURT	3/9/2023	5/31/2023		EXTENSION	NO
243	8	150291100200	10404 N PORT WASHINGTON ROAD	FERRANTES PIZZA	OUTSIDE MAINTENANCE	3/16/2023	7/28/2023		1	NO
244	8	RENTAL	10972 N PORT WASHINGTON ROAD	THE JOINT CHIROPRACTIC	SIGN	3/16/2023	3/23/2023		1	NO

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245	8	RENTAL	10916 N PORT WASHINGTON ROAD	ELITE NUTRITION	SIGN	3/16/2023	3/23/2023		1	NO
246	8	RENTAL	10902 N PORT WASHINGTON ROAD	NEROLI SALON	SIGN	3/16/2023	3/23/2023		1	NO
247	8	151060024000	429 W THORNAPPLE LANE	FRANK TRUST	PARKING	4/4/2023	4/11/2023		1	NO
248	8	RENTAL	10984 N PORT WASHINGTON ROAD	MARSHALLS MEQUON	COMMUNITY SPIRIT LETTER	4/10/2023			1	NO
249	8	RENTAL	10964 N PORT WASHINGTON ROAD	PET SUPPLIES PLUS MEQUON	COMMUNITY SPIRIT LETTER	4/10/2023	OPEN		1	NO
250	8	RENTAL	10930 N PORT WASHINGTON ROAD	SENDIKS MARKET MEQUON	COMMUNITY SPIRIT LETTER	4/10/2023	OPEN		1	NO
251	8	RENTAL	10930 N PORT WASHINGTON ROAD	BRIMOR MEQUON	COMMUNITY SPIRIT LETTER	4/10/2023	OPEN		1	NO
252	4	140710027000	4807 W ELMDALE ROAD	OLEG KONOVCHKO	PARKING	4/18/2023	5/31/2023		#5 CITATION 1,2	YES
253	6	151290502000	12010 N RIVER GLENN LANE	KENNETH R NASON OR LESLEY A SCHWARTZ-NASON	OUTSIDE STORAGE	4/18/2023	4/26/2023		1	1
254	4	140500905004	10240 N CEDARBURG ROAD	SYBARIS	OUTSIDE MAINTENANCE	4/26/2023	5/15/2023		1	NO
255	4	140501001000	10955 N CEDARBURG ROAD	TAYLOR AND DUNNS	OUTSIDE MAINTENANCE	4/26/2023	6/1/2023		1	NO
256	2	140950404000	3403 W COLETTE COURT	PAWEL WYDRA	OUTSIDE STORAGE	5/1/2023	5/15/2023		#5 CITATION 1	YES
257	8	150291100500	10500 N PORT WASHINGTON ROAD	LISA HOLDEN	PARKING	5/10/2023	OPEN		#5 CITATION 1	YES
258	1	140300600500	12323 W MEQUON ROAD	JONATHAN SCHOTTE	PARKING	5/12/2023	5/19/2023		1	NO
259	8	150320600200	10353 N PORT WASHINGTON ROAD	SOBELMANS 10352 LLC	OUTSIDE MAINTENANCE	5/12/2023	EXTENSION		EXTENSION NEW OWNER	YES
260	7	140250600800	11152 N RIVER ROAD	STROLL REAL ESTATE LLC	OUTSIDE MAINTENANCE	5/12/2023	5/22/2023		1	NO
261	1	140300500400	11805-11807 W MEQUON ROAD	MAE BRIELMAIER	PARKING	5/16/2023	5/26/2023		1	NO
262	1	140300500400	11805-11807 W MEQUON ROAD	MAE BRIELMAIER	OUTSIDE STORAGE	5/16/2023	5/26/2023		1	NO
263	2	140230400100	11761 N RIVER ROAD	EVAN OR SANDRA MORGAN	OUTSIDE LIGHTING	5/23/2023	6/2/2023		#5 CITATION	YES
264	5	150170800500	12531 N LAKE SHORE DRIVE	STEVEN OR KIMBERLY BROWN	GARBAGE	5/23/2023	5/30/2023		1	NO
265	5	150170200200	12730 N LAKE SHORE DRIVE	FREDRICK REED	GARBAGE	5/23/2023	5/30/2023		1	NO
266	7	140250700700	109062 N RIVER ROAD	JEFFREY OR JAMY LEVESQUE	SUMP PUMP	5/24/2023	6/2/2023		1	NO
267	2	140240200500	11808 N RIVERLAND ROAD	BORIS PERMITIN	OUTSIDE STORAGE	6/8/2023	7/7/2023		1	NO
268	4	140501304006	9839 N ARROWWOOD ROAD	THOMAS OR MARY CONNOLLY	PARKING	6/8/2023	6/23/2023		1	NO
269	2	140820648000	2916 W SHOLES DRIVE	DAVID OR ELIZABETH SANDE	PARKING	6/8/2023	6/16/2023		1	NO
270	2	140820214000	2911 W SHOLES DRIVE	JOHN OR BARBARA MULGREW	PARKING	6/8/2023	6/16/2023		1	NO
271	2	140820101000	11855 N AUER LANE	JAMES OR JOANNE GUTHRIE PETERSON	PARKING	6/8/2023	6/16/2023		1	NO
272	3	141220007000	11909 N SOLAR AVENUE	BRANDON OR SARAH ZELAZOSKI	PARKING	6/8/2023	6/16/2023		1	NO
273	2	141160018000	9134 W WOODFIELD DRIVE	SCOTT EDISON	GRASS	6/8/2023	6/16/2023		1	NO
274	7	140700145000	3531 W LE GRANDE BLVD	LAC DU GRUBER LLC	OUTSIDE MAINTENANCE	6/8/2023	6/29/2023		1	NO
275	7	150560205000	1425 W ZEDLER LANE	BRADFORD FIGG	GRASS	6/19/2023	6/26/2023		1	YES
276	5	150051400200	13920 N LAKE SHORE DRIVE	RAPHAEL OR IRENE BRUNETTE	OUTSIDE STORAGE	6/21/2023	7/12/2023		1	NO
277	1	RENTAL	14015 N CEDARBURG ROAD	THE WHITE RABBIT	CONDITIONAL USE GRANT	6/21/2023	6/29/2023		EXTENSION	YES
278	6	RENTAL	1402 W MEQUON ROAD	KUMON MATH AND READING	BANNER	6/28/2023	7/1/2023		1	NO
279	6	RENTAL	1340 W MEQUON ROAD	NORTH SHORE JEWELERS	BANNER	6/28/2023	7/1/2023		1	NO
280	6	RENTAL	1406 W MEQUON ROAD	LITTLE SPROUTS PLAY CAFÉ	BANNER	6/28/2023	7/1/2023		1	NO
281	6	RENTAL	1330 W MEQUON ROAD	COCOA TREE CONFECTIONARY	BANNER	6/28/2023	7/1/2023		1	NO
282	6	RENTAL	1300 W MEQUON ROAD	PANERA BREAD	BANNER	6/28/2023	7/1/2023		1	NO
283	4	140560305000	5103 W WESTFIELD ROAD	DAVID KRIEGEL	OUTSIDE STORAGE	6/29/2023	7/6/2023		1	NO
284	4	140560305000	5103 W WESTFIELD ROAD	DAVID KRIEGEL	PARKING	6/29/2023	7/13/2023		1	NO
285	4	140840205000	9612 N MEQUON PLACE	JUSTIN BIRKEL	OUTSIDE STORAGE	6/29/2023	7/6/2023		1	NO
286	4	140840205000	9612 N MEQUON PLACE	JUSTIN BIRKEL	GRASS	6/29/2023	7/6/2023		1	NO
287	6	150900603000	11541 N LAGUNA DRIVE	INA PETROVICI	PARKING	7/6/2023	7/20/2023		1	NO
288	6	140771401000	2716 W CHESTNUT ROAD	HOWARD DUBOFF	PERMITS	7/19/2023	8/20/2023		EXTENSION	YES
289	6	150830002000	13418 LAKEWOOD DRIVE	SAMUAL OR NINA KIRK	OUTSIDE MAINTENANCE	8/4/2023	9/4/2023		1	NO
290	6	150200200700	326 SEACROFT COURT	DANIEL DOMAGALA	PARKING	8/4/2023	8/11/2023		#5 CITATION 1	YES
291	8	150540506000	10903 N SAN MARINO DRIVE	KARSTEN OR KELLY HUTTELMAIER	OUTSIDE MAINTENANCE	8/4/2023	8/18/2023		EXTENSION	YES
292	4	140710007000	4707 W ELMDALE ROAD	MALACHY TOAL	OUTSIDE MAINTENANCE	8/4/2023	8/18/2023		EXTENSION	YES
293	5	150180600500	12750 N SHORELAND PARKWAY	GRANTIT REMODELS LLC	GRASS	8/9/2023	8/19/2023		1	NO
294	8	151060024000	429 W THORNAPPLE LANE	FRANK TRUST	OUTSIDE STORAGE	8/9/2023	8/19/2023		EXTENSION	YES
295	7	140250601000	11006 N RIVER ROAD	JUAN OR DANA OZOZCO	PARKING	8/23/2023	9/1/2023		EXTENSION	YES
296	1	140300100700	11031 N GRANVILLE ROAD	MIROSLAW OR IWONA PAWELEC	HOME OCCUPATION BUSINESS	8/23/2023	9/1/2023		EXTENSION	YES
297	8	150320600200	10352 N PORT WASHINGTON ROAD	GUZAM PROPERTIES LLC	COMMUNITY SPIRIT LETTER	8/31/2023	10/1/2023		1	NO
298	4	140501305007	9807 N CEDARBURG ROAD	RYAN OR KATHERINE KAUTZER	GRASS	9/1/2023	9/14/2023		1	NO
299	4	140501001000	10365 N CEDARBURG ROAD	10365 LLC	OUTSIDE STORAGE	9/1/2023	9/14/2023		1	NO
300	7	140850103000	4429 W TARRYTOWN LANE	THOMAS OR RUBY AHMANN	PARKING	9/1/2023	9/14/2023		1	NO
301	6	150300200600	11122 N ORIOLE LANE	NICOLAS ERDMANN	SHED PERMIT	9/1/2023	9/14/2023		1	NO
302	4	140501305006	9809 N CEDARBURG ROAD	BONNIWEIL 9807 LLC	GRASS	9/6/2023	9/20/2023		1	NO
303	6	CONDO ASSN	IVY COURT GREENBRIER CONDO ASSN	HUNT MANAGEMENT	COMMUNITY SPIRIT LETTER	10/5/2023	OPEN		1	YES
304	2	140230400100	11761 N RIVER ROAD	SANDRA MORGAN	LIGHTING	10/25/2023	11/1/2023		EXTENSION	YES
305	3	140500108001	6514 W MEQUON ROAD	ERIKA JANIK	LIGHTING	10/25/2023	11/1/2023		1	NO

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306	7	150850000002	3100 W COUNTRY CLUB DRIVE	NORTH SHORE COUNTRY CLUB	COMMUNITY SPIRIT LETTER	10/25/2024	OPEN		1	NO
307	6	150300101500	11147 N PORT WASHINGTON ROAD	BP GAS STATION	COMMUNITY SPIRIT LETTER	11/2/2023	OPEN			YES
308	6	150201101200	11210 N PORT WASHINGTON ROAD	MOBIL GAS STATION	COMMUNITY SPIRIT LETTER	11/2/2023	OPEN			YES
309	5	150310101100	10355 N PORT WASHINGTON ROAD	CLARK GAS STATION	COMMUNITY SPIRIT LETTER	11/2/2023	OPEN			YES
310	3	RENTAL	6000 W MEQUON ROAD	RUBY TAP	LETTER WINE TASTING	11/15/2023	OPEN		1	NO
311	1		5320 W BONNIWELL ROAD	PETER OR KRISTA BEAUDOIN	LETTER WINE TASTING	11/15/2023	OPEN		1	NO
312	3	140881618000	11344 N GLENWOOD DRIVE	DEXTER OR CYNTHIA JONES	OUTDOOR LIGHTING	11/16/2023	11/23/2016		1	NO
313	6	RENTAL	1400 W MEQUON ROAD	GF SMOOTHIES ALAN MC FADYEN	BANNER	5/1/2023	11/26/2023		#5 CITATION 1,2,3	YES
314	6		1550 W MEQUON ROAD	FIFTH-MAIN	BANNER	11/29/2023	12/7/2023		1	NO
315	5	150920201000	11404 N PINEHURST CIRCLE	EMMA LASKOWSKI	OUTSIDE MAINTENANCE	11/29/2023	4/1/2024		EXTENSION NEW OWNER	YES
316	2	140740110000	5310 W HILLCREST DRIVE	PATRICK OHARE	GRASS	11/29/2023	5/1/2024		1	NO
317	2	140740110000	5310 W HILLCREST DRIVE	PATRICK OHARE	OUTSIDE STORAGE	11/29/2023	12/10/2023		1	NO
318	4	140270201600	6751 W MEQUON ROAD	STORYPOINT SENIOR LIVING	FLAGS	12/7/2023	12/14/2023		1	NO
319	6	150300101500	11147 N PORT WASHINGTON ROAD	BP GAS STATION	FLAG	12/7/2023	12/14/2023		#5 CITATION 1	YES
320	3	RENTAL	6200 W MEQUON ROAD	ST PAULS FISH COMPANY	FLAG	12/7/2023	12/14/2023		1	NO
321	6	150300402000	10911 N PORT WASHINGTON ROAD	ARBYS	FLAG	12/7/2023	12/14/2023		1	NO
322	8	RENTAL	10990 N PORT WASHINGTON ROAD	JERSEY MIKE'S SUBS	FLAG/BANNER	12/7/2023	12/14/2023		1	NO
323	6	151530002000	1505 W MEQUON ROAD	MIDLAND MANAGEMENT	FLAGS/BANNER	12/7/2023	12/14/2023		#5 CITATION 1	YES
324	3	RENTAL	55900 W MEQUON ROAD	CAFÉ HOLLANDER	BANNER	12/7/2023	12/14/2023		1	NO
325	3	140201500300	11246 N FARMDALE ROAD	DENNIS OR MARIE MYLER	PARKING	12/7/2023	12/14/2023		1	NO
326	1	140170901500	12249 N FARMDALE ROAD	GREGORY OR SUSAN ERNST	PARKING	12/7/2023	12/14/2023		1	NO
327	1	140200700300	11713 N FARMDALE ROAD	PAUL OR MARY BRISKI	PARKING	12/7/2023	12/14/2023		1	NO
328	6	150191200100	2110 W MEQUON ROAD	DOUGLAS KOLLER	PARKING	12/7/2023	12/14/2023		1	NO
329	3	140221000600	11512 N WAUWATOSA ROAD	RICK OR PATRICIA FREYMUTH	PARKING	12/7/2023	12/14/2023		EXTENSION	YES
330	6	150900113000	11336 N ARBOR LANE	JOSHUA BRUCKNER	PARKING	12/7/2023	12/14/2023		1	NO
331	8	150320600200	10352 N PORT WASHINGTON ROAD	GUZAM PROPERTIES LLC	OUTSIDE MAINTENANCE	12/11/2023	2/29/2024			YES
332	8	150760105000	221 E MEQUON ROAD	CHARLES MITCH	BUILDING PERMIT	12/21/2023	1/15/2024			YES
333	8	150760107000	11115 N LAKESHORE DRIVE	NICOLAS PASCHKE	BUILDING PERMIT	12/21/2023	1/15/2024			YES
334	8	150200201400	428 W SEACROFT COURT	JOHN LINSOTT	POD	12/26/2023	1/10/2024			YES
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APPOINTEE INFORMATION SHEET

Name of Board or Commission: Ethics Board

Position: Member
(Indicate Member, Trustee, Alternate, Architect, etc).

Name of Appointee: Matthew Frise

Address: 11521 N. Meadowbrook Drive, 53097
(Include zip code)

Appointment By Mayor: _____ By Alderman Dale Mayr
(Name)

At Large Appointment: _____ Aldermanic
Dist. Appointment 3
(Dist. Number)

Appointee Term Length: 3 years Appointee Term
Expiration Date: 5/1/2026

Comments: _____

TYPE OF APPOINTMENT

New: X Reappointment: _____

If new, is this appointment filling an unexpired term? Yes: X No: _____

Name of person being replaced: Megan Wunsch

Date submitted to Council: 1/09/24

Attachment: Alderman Appt - Ethics Board (9048 : Ethics Board appt)



11533 N. Cedarburg Road, 604
Mequon, Wisconsin 53092

CITY OF MEQUON
BOARD, COMMISSION AND/OR COMMITTEE TALENT BANK APPLICATION

Please complete and return to the Administration Office, Mequon City Hall

Application also available at www.ci.mequon.wi.us

Name: Matthew Frise

Address: 11521 N. Meadowbrook Dr. Zip Code: 53097

Home Phone Number: 831-334-7306 Years of Residence in Mequon: 1.5

Employer (or School): Milwaukee School of Engineering

Address: 1025 N Broadway, Milwaukee, WI 53202 Occupation: Professor

Can you be reached during working hours: Y Work Phone: 831-334-7306

E-mail Address (es): mjfrise@gmail.com frise@msoe.edu

Would you be able to attend scheduled evening meetings on a regular basis: No, but as needed

What qualifications would contribute to your role as a Board, Commission or and/or Committee member (use additional paper if necessary):

I have a PhD in philosophy and regularly teach various ethics courses at the college-level

Have you been active in organized community groups in the past such as homeowners associations, referenda, and/or special interest groups (use additional paper if necessary):

No

Periodically, the City may convene a committee on a temporary basis for a specific project. Do you possess any special skills that could be applied to a specific project (i.e. health care, benefits administration, human resources, economic development, communications, technologies):

I am competent in certain ethics applications (business, technology, health care) and trained to evaluate reasoning and logic generally.

<u>SCHOOL</u>	<u># OF YEARS ATTENDED</u>	<u>AREAS OF STUDY</u>	<u>WHERE</u>
High School	<u>4</u>	<u>N/A</u>	<u>Santa Teresa HS, CA</u>
College	<u>4</u>	<u>Philosophy</u>	<u>San Jose State U, CA</u>
Post Graduate	<u>8</u>	<u>Philosophy</u>	<u>Univ of Rochester, NY</u>
Trade/Specialty	<u></u>	<u></u>	<u></u>

Rate the Board(s), Commission(s) and/or Committee(s) in order of preference -#1 being first choice:

<u> </u> Architectural Board	<u> </u> Hiram Schmidt Fund
<u> </u> Board of Appeals	<u> </u> Joint Mequon-Thiensville Bike & Pedestrian Way
<u> </u> Board of Police & Fire Commissioners	<u> </u> Commission
<u> </u> Board of Review	<u> </u> Landmarks Commission
<u> </u> Economic Development Board	<u> </u> Mequon Nature Preserve Advisory Committee
<u> X </u> Ethics Board	<u> </u> Milwaukee River Advisory Committee
<u> </u> Festivals Committee	<u> </u> Park and Open Space board
<u> </u> Frank L. Weyenberg Library	<u> </u> Planning Commission
<u> </u> Board of Trustee	<u> </u> Tree Board

The following information will be held in confidence and is for review if considered for the Board of Police and Fire Commission. Have you ever been convicted of a criminal offense? N

Would you be willing to allow the Police Department to conduct a background investigation? Y

I understand that the information provided to the City of Mequon contained herein becomes public upon submittal of this application.



 Signature

12/13/2023

 Date

Matthew Frise

Department of Humanities, Social Sciences, and Communication | Milwaukee School of
Engineering | 1025 North Broadway Milwaukee, WI 53202 | Cell: (831) 334-7306
mjfrise@gmail.com | <https://sites.google.com/site/matthewfrise>

EMPLOYMENT

Assistant Professor of Philosophy, Milwaukee School of Engineering	2022–present
Lecturer, Santa Clara University, Philosophy	2017–22
Postdoctoral Research Fellow, Baylor University, Philosophy	2015–17

EDUCATION

Ph.D. University of Rochester, Philosophy	2015
Visiting Dissertation Fellow, Saint Louis University	2014–15
M.A. University of California, Santa Cruz, Philosophy	2010
B.A. San José State University, Philosophy, <i>summa cum laude</i>	2007

AREAS OF SPECIALIZATION

Epistemology, Philosophy of Mind, Philosophy of Religion

AREAS OF COMPETENCE

Ancient Greek Philosophy, Biomedical Ethics, Business Ethics, Logic, Technology Ethics

BOOKS

1. *Justifying Memory*, Cambridge University Press (under contract)

ARTICLES AND CHAPTERS

18. “Remembering Trauma in Epistemology,” *Philosophy and the Mind Sciences* (forthcoming)
17. “Epistemological Problems of Memory,” *Stanford Encyclopedia of Philosophy*, edited by Edward N. Zalta & Uri Nodelman (2023)
16. “You Don’t Know What Happened,” *Current Controversies in Philosophy of Memory*, edited by André Sant’Anna, Christopher Jude McCarroll, and Kourken Michaelian. Routledge, pp.244–258 (2022)

15. "Forgetting Memory Skepticism," (with Kevin McCain) *Philosophy and Phenomenological Research* 103 (2): 253–263 (2021)
14. "Reliabilism's Memory Loss," *The Philosophical Quarterly* 71 (3) 565–585 (2021)
13. "Upping the Ex Ante Problem for Reliabilism," *Pacific Philosophical Quarterly* 100 (4): 1047–1054 (2019)
12. "The Reliability Problem for Reliabilism," *Philosophical Studies* 175 (4): 923–945 (2018)
11. "Eliminating the Problem of Stored Beliefs," *American Philosophical Quarterly* 55 (1): 63–79 (2018)
10. "Forgetting," *New Directions in the Philosophy of Memory*, edited by Kourken Michaelian, Dorothea Debus, and Denis Perrin. Routledge, pp.223–240 (2018)
9. "Metacognition as Evidence for Evidentialism," *Believing in Accordance with the Evidence: New Essays on Evidentialism*, edited by Kevin McCain. Springer, pp.91–107 (2018)
8. "No Need to Know," *Philosophical Studies* 174 (2): 391–401 (2017)
7. "Preservationism in the Epistemology of Memory," *The Philosophical Quarterly* 67 (268): 486–507, (2017)
6. "Internalism and the Problem of Stored Beliefs," *Erkenntnis* 82 (2): 285–304, (2017)
5. "Epistemology of Memory," *The Internet Encyclopedia of Philosophy*, edited by James Fieser and Bradley Dowden, (2015)
4. "Speaking Freely: On Free Will and the Epistemology of Testimony," *Synthese* 191 (7): 1587–1603, (2014)
3. "What God Only Knows: A Reply to Rob Lovering," *Religious Studies* 50 (2): 245–254, (2014)
2. "The Mad, Bad, or God Argument Explained," *Religious Studies* 49 (4): 581–589, (2013)
1. "Moore's Anti-Skeptical Arguments," *Just the Arguments: 100 of the Most Important Arguments in Western Philosophy*, edited by Steven Barbone and Michael Bruce. Wiley-Blackwell (2011)

BOOK REVIEWS

2. Review of Kourken Michaelian, *Mental Time Travel: Episodic Memory and Our Knowledge of the Personal Past* (MIT Press, 2016), in *The Philosophical Quarterly* 68 (271): 414–416, (2018)

1. Review of William Wainwright, *Reason, Revelation, and Devotion: Inference and Argument in Religion* (Cambridge University Press, 2016), in *Notre Dame Philosophical Reviews*, (2016)

TEACHING

Milwaukee School of Engineering

Informal Logic	S2023
Philosophy of Mind and AI	W2023, S2023
Introduction to Philosophy	F2022
Ethics for Professional Managers and Engineers	F2022, W2023 (2x), S2023 (2x)

Santa Clara University

Knowledge and Technology	F2021, S2021
Business Ethics	F2021 (2x)
Ethics in Health Care	S2021 (2x), W2021, F2020, S2020, W2020 (2x), F2019 (2x), W2019 (2x), F2018, S2018 (2x), W2018, F2017 (2x)
Ethics in the Digital Age	S2022 (2x), F2020
Knowledge & Reality (Advanced Writing)	W2022, S2020, S2018
Informal Logic	W2022, W2021, W2020, F2019, W2018
Cultures & Ideas: Philosophy, Society & Culture	W2019, F2018

University of Rochester

Introduction to Philosophy	Sum2013
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Nazareth College

Ancient Greek Philosophy	F2012
Ethics	Sum2012

University of California, Santa Cruz

Introduction to Logic	Sum2010, Sum2009 (2x)
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PRESENTATIONS

[TBD]

(invited) *Midwest Epistemology Workshop*, Washington University in Saint Louis, 2023

“Justification on the Tip of the Tongue”

(invited; keynote speaker) *Issues in Philosophy of Memory 3*, Duke University, 2022

(invited; distinguished alumnus speaker) *Graduate Epistemology Conference*, University of Rochester, 2022

(invited) *Southeastern Epistemology Conference*, University of Florida, 2021

“You Don’t Know What Happened”

(invited) *Current Controversies in Philosophy of Memory Online Conference*, 2020

“Forgiving without Remembering”

(invited) *Southeastern Epistemology Conference*, University of Florida, 2020

“Remembering Trauma in Epistemology”

(invited; colloquium talk) Marquette University, 2023

(invited) *Philosophy of Memory in the Bay*, San Francisco State University, 2020

(invited) *Virtual Philosophy of Memory Seminar*, Université Grenoble Alpes, 2020

(invited) *Southeastern Epistemology Conference*, East Carolina University, 2019

“Forgetting Memory Skepticism” (with Kevin McCain)

American Philosophical Association, Pacific Division, 2019

Issues in Philosophy of Memory Conference 2, Université Grenoble Alpes, 2019

(invited) *Philosophical Perspectives on Memory*, University of Adelaide, 2017

(invited) *Southeastern Epistemology Conference*, Florida State University, 2017

“The Temporality Problem for Reliabilism”

Prior Conference, Santa Clara University, 2019

(invited) *Southeastern Epistemology Conference*, University of Miami, 2018

“Reliabilism’s Memory Loss”

Issues in Philosophy of Memory Conference, University of Cologne, 2017

Texas Epistemology Extravaganza, 2017

“On Losing Belief in Faith”

American Philosophical Association, Pacific Division, 2017

The Virtue of Faith Conference, 2016

“The Nature of Divine Knowledge”

Baylor University, 2017

Intellectual Humility Workshop, Saint Louis University, 2015

“The Memory Generation and Loss of Reliabilism”

(invited) *Southeastern Epistemology Conference*, University of South Alabama, 2016

“Forgetting”

(invited) *Memory and Subjectivity Conference*, University of Grenoble, 2016

“No Need to Know”

(invited) *Southern Epistemology Conference*, Loyola University New Orleans, 2015

“Epistemic Conservatism and the Problem of Stored Beliefs”

Alabama Philosophical Society Conference, 2015

“Metacognition as Evidence for Evidentialism”

Midsouth Philosophy Conference, Rhodes College, 2015

“Preservationism and the Problem of Stored Beliefs”

Canadian Philosophical Association Annual Congress, 2014

Northwestern/Notre Dame Graduate Epistemology Conference, Northwestern University, 2014

“Preservationism Destroyed”

American Philosophical Association, Central Division, 2014

Alabama Philosophical Society Conference, 2013

Pittsburgh Area Philosophy Colloquium, Washington and Jefferson College, 2013

“Discontent with Rich Contents”

American Philosophical Association, Pacific Division, 2013

“Reliabilism and the Modal Curtain”

UT Austin Graduate Conference in Philosophy, University of Texas, Austin, 2012

“Divinity as the Best Explanation?”

British Society for the Philosophy of Religion Conference, University of Oxford, 2011

“A Moorean Anti-Skeptical Strategy”

Canadian Society for Epistemology International Symposium, Carleton University, 2010

COMMENTS

Commentator at large, *10th Annual Orange Beach Epistemology Workshop, 2018*

Commentator at large, *8th Annual Orange Beach Epistemology Workshop, 2016*

Comments on Ted Poston’s “Faith, Reason, and the Prisoner’s Dilemma,” *The Value of Faith Conference, 2016*

Comments on Chrisoula Andreou’s “The Real Puzzle of the Self-Torturer: Uncovering a New Dimension of Instrumental Rationality,” *American Philosophical Association, Pacific Division, Symposium Session, 2015*

Comments on Melissa Ebbers’ “A Response to Stoljar’s Challenge for Chalmers’ Interpretation of the Structure and Dynamics Argument,” *Midsouth Philosophy Conference, Rhodes College, 2015*

Comments on Remco Heesen and Pieter van der Kolk's "A Game-Theoretic Approach to Peer Disagreement," *8th Biennial Rochester Graduate Epistemology Conference*, University of Rochester, 2014

Commentator at large, *6th Annual Orange Beach Epistemology Workshop*, 2014

Comments on Philip Osborne's "Is Epistemology Useful? Bishop and Trout's Dilemma," *Pittsburgh Area Philosophy Colloquium*, Washington and Jefferson College, 2013

Comments on Lisa Miracchi's "Epistemic Agency and the Generality Problem," *7th Biennial Rochester Graduate Epistemology Conference*, University of Rochester, 2012

FELLOWSHIPS, HONORS, AND AWARDS

Centre for Philosophy of Memory, Université Grenoble Alpes

Associate member 2019–present

Texas Epistemology Extravaganza:

Invited participant 2016, 2017

The Philosophy of Intellectual Humility Project, Saint Louis University:

Visiting Dissertation Fellowship 2014–15

St. Thomas Summer Seminar in Philosophy of Religion and Philosophical Theology:

Invited participant 2015

The Value and Evaluation of Faith Summer Seminar, University of Missouri, Columbia:

Invited participant 2015

The Science of Intellectual Humility Capstone Conference, Catalina Island:

Invited participant 2015

American Philosophical Association:

Central Division Graduate Stipend Award 2014

Pacific Division Graduate Stipend Award 2013

University of Rochester:

Outstanding Essay Prize 2014

(Awarded to at most one philosophy graduate student)

Graduate Student Association Conference Travel Award 2014

Dean of Graduate Studies Travel Grant 2013

University Fellowship 2010–11

University of California, Santa Cruz:

Philosophy Department Summer Fellowship	2008
Regent's Fellowship	2007–08

San José State University:

Outstanding Graduating Senior	2007
(One of two awardees in a graduating class of 5,200)	
<i>Summa cum laude</i>	2007
President's Scholar	2006–07

PROFESSIONAL DEVELOPMENT

Santa Clara University

Workshop

Creating a Respectful & Inclusive Campus Community	2021
Sustainability Across the Curriculum	2021

Reading group

Supporting First-Year and First-Generation College Students	2020
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Association of College and University Educators & American Council
on Education

Microcredential in Promoting Active Learning Online	2020
---	------

PROFESSIONAL SERVICES

Founder & Coordinator

Mentorship Program for 1 st -Generation Students, Department of Philosophy, Santa Clara University	2020–22
--	---------

Climate Committee

Department of Philosophy, Santa Clara University	2020–22
--	---------

Committee on Lecturers and Adjuncts

Faculty Senate, Santa Clara University	2020–22
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Referee

American Philosophical Quarterly, Analysis, Analytic Philosophy, Australasian Journal of Philosophy, Canadian Journal of Philosophy, Dialectica, Episteme, Erkenntnis, Essays in Philosophy, Journal of Philosophical Research, Oxford University Press, Philosophia, Philosophical Studies, Philosophy and Phenomenological Research, Philosophy and the Mind Sciences, Routledge, The Southern Journal of Philosophy, Synthese, Theoria

Doctoral Dissertation Committee

Felipe Miguel (Philosophy), Pontifical Catholic University of Rio Grande do Sul, 2019

Area Editor

Epistemology of Memory, philpapers.org

2016--present

Session Chair

Southeastern Epistemology Conference, 2021

Southeastern Epistemology Conference, 2020

Southeastern Epistemology Conference, 2019

10th Annual Orange Beach Epistemology Workshop, 2018

Southeastern Epistemology Conference, 2016

8th Annual Orange Beach Epistemology Workshop, 2016

American Philosophical Association, Pacific Division, 2016

American Philosophical Association, Central Division, 2015

6th Annual Orange Beach Epistemology Workshop, 2014

Canadian Philosophical Association Annual Congress, 2014

REFERENCES

Robert Audi

University of Notre Dame

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Université Grenoble Alpes

michaelian.kourken@gmail.com

Sven Bernecker

University of California, Irvine

s.bernecker@uci.edu

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University of Arkansas, Fayetteville

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earl.conee@rochester.edu

Edward Wierenga

University of Rochester

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Richard Feldman (co-advisor)

University of Rochester

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Eric Yang (teaching reference)

Santa Clara University

etyang@scu.edu



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Mequon, WI 53092-1930
Phone: 262-242-3100
Fax: 262-242-9655

www.ci.mequon.wi.us

Office of City Attorney

TO: Common Council
FROM: Brian Sajdak, City Attorney
DATE: January 4, 2024
SUBJECT: Claim of Venture Properties, Inc.

Background

The Common Council may enter into closed session pursuant to Wis. Stat. §19.85(1)(g), for the purpose of Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved.. This section would allow the Council to enter into closed session for the purpose of discussing the strategy to be utilized in responding to the claim of Venture Properties.

Recommendation

Should the Council decide that it wishes to enter closed session, a motion to enter closed session pursuant to Wis. Stat. §19.85(1)(g), Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved.

Attachments:

Notice of Claim City of Mequon (12.26.23 FINAL SERVICE EXHIBITS)(PDF)



STUART & SOBERALSKI

WILLIAM T. STUART | 414-208-9413 | WSTUART@STUARTSOBERALSKI.COM
OFFICE: 414-800-4117 | 309 N. WATER STREET SUITE 250 MILWAUKEE, WI 53202

December 26, 2023

VIA HAND DELIVERY

City of Mequon
c/o Caroline Fochs, City of Mequon City Clerk
11333 N. Cedarburg Road
Mequon, WI 53092

RE: Venture Properties, Inc. Notice of Claim Pursuant to Wis. Stat. § 893.80(1d)(a) and Wis. Stat. § 893.80(1d)(b) (collectively, the "Notice")

Dear Ms. Fochs:

Please be advised that our office represents Venture Properties, Inc., a Wisconsin corporation ("VPI"), to pursue claims that VPI has related to the severance and capping of a sewer line that previously serviced the real property that VPI owns in the City of Mequon that has a commonly-known address of 1214 and 1222 West Venture Court, Mequon, Wisconsin 53092, and a Parcel Number of 151670001000 (the "Property").

This letter serves as VPI's Notice of Circumstances and Notice of Claim to the City of Mequon, a Wisconsin municipal corporation (the "City"), providing notice of both the circumstances of VPI's claim against the City pursuant to Wis. Stat. § 893.80(1d)(a) and notice of those claims, including VPI's address and an itemized statement of relief, pursuant to Wis. Stat. § 893.80(1d)(b). VPI's address for all purposes of this Notice is 1222 West Venture Court, Mequon, WI 53092.

The Property is adjacent to a parcel of land that has a commonly-known address of 11402N-11430N Port Washington Road, Mequon, Wisconsin 53092 and a Parcel Number of 150201001900 (the "Froedtert Property"). The Property's western border is part of the Froedtert Property's eastern border. An image from the Ozaukee County GIS (the "GIS") attached to this Notice as **Exhibit A** shows the boundaries of the Property and the Froedtert Property. The Property is the parcel outlined in green, the Froedtert Property is the parcel outlined in red, and their shared boundary is outlined in blue.

For decades, some or all of the Property's sewer services came from a certain sanitary sewer line that extended westerly from the Property, continued across the property line shared by the Property and the Froedtert Property, continued through the entire width of the Froedtert Property, and eventually connected to a sewer main in Port Washington Road adjacent to the Froedtert Property's western boundary line (the "Sanitary Sewer Line"). The information currently available to us show that the Sanitary Sewer Line (i) may have provided sewer services to some or all of the Property since 1981 and (ii) otherwise served as the Property's main sanitary sewer line, and the only sewer line for the 1222 Building located on the Property (defined below), since at least October of 1995. The records currently available to us also demonstrate that the City was aware of and either directed and/or approved the Property's use of the Sanitary Sewer Line as part of its approval of the application to construct the 1222 Building in 1995.

Nevertheless, in or around June of 2016, the City permitted the owner of the Froedtert Property to sever the Sanitary Sewer Line. Furthermore, on August 28, 2023, the City allowed the Sanitary Sewer Line

Attachment: Notice of Claim City of Mequon (12.26.23 FINAL SERVICE EXHIBITS) (9055 : Venture Court Sewer Claim)

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to be capped, leaving the Property without any sewer services. As a result, VPI was forced to immediately incur substantial costs connecting the Property to a sewer line along the eastern side of the Property.

VPI's claims and damages described in this Notice all arise from the improper severance and capping of the Sanitary Sewer Line despite the fact that the City was aware that the Property was using the Sanitary Sewer Line for its sewer services and the fact that the City approved the construction of the 1222 Building conditioned on the premise that it would use the Sanitary Sewer Line for its sewer services. The following will explain the circumstances surrounding VPI's claim in more detail, and otherwise provide the notice of circumstances and notice of claim required under Wis. Stat. § 893.80.

I. NOTICE OF CIRCUMSTANCES OF CLAIM.

On or about October 5, 2023, our firm served a Public Records Request Pursuant to Wis. Stat. § 19.35 on the City seeking various public records related to the abandonment and capping of the Sanitary Sewer Line (the "Open Records Request"). As of the date of this Notice, the City has provided some information in response to the Open Records Request, but has not yet fully responded. Thus, the following is based off the limited information provided by the City in response to the Open Records Request, other publicly-available information, and information otherwise already in VPI's possession or available to VPI. Thus, the facts and circumstances leading to the severance and capping of the Sanitary Sewer Line are still under investigation, and the facts stated in this Notice are based on the information that is available to us today.

1. History of the Properties and Creation and Use of the Sanitary Sewer Line.

In 1973, the City decided to implement and install a public sewer system in the area surrounded by Port Washington Road, Mequon Road, what was then Highway 141 and is now Interstate 43 ("I-43"), and Glen Oaks Lane. This area included, in part, what is now the Property and the Froedtert Property.

As of August 14, 1973, it appears the Property and Froedtert Property were part of a single parcel owned by Theodore L. Weissinger ("Weissinger"). On August 14, 1973, Weissinger conveyed to the City a perpetual right of way or easement over a twenty-foot strip of land that included the length of the eastern boundary of the Property abutting I-43 "for the purpose of clearing, trenching for, laying, constructing, maintaining and repairing sewers or pipe lines necessarily or conveniently incident to the City's general plan for sewage disposal" (the "Weissinger Easement") pursuant to a Grant of Easement to the City of Mequon dated August 14, 1973 and recorded with the Office of Register of Deeds of Ozaukee County, Wisconsin (the "Register's Office") on February 12, 1974 as Document No. 261999. On September 11, 1973, the City passed Resolution No. 344 Declaring Intent to Exercise Special Assessment Powers Under Section #66.60, Wisconsin Statutes 1971 (the "Sewer Notice"). The Sewer Notice explained that the City would be constructing certain sanitary sewer mains and laterals in the areas described in the Sewer Notice, and that the owners of the lots that would be serviced by such facilities would be specially assessed pursuant to the schedules contained in the Sewer Notice. The property impacted by the sewer Notice included the Weissinger Easement and otherwise included the Property and Froedtert Property.

We understand that the City constructed and installed the sewer system described in the Sewer Notice and imposed the cost of such construction and installation on the property owners serviced by such system through special assessments under Wis. Stat. § 66.01. We also understand that this sewer system is still in place and in use in the area described in the Sewer Notice today.

As of 1980, it is our understanding that David S. Gronik ("Gronik") owned the Froedtert Property and the Property. The GIS indicates that Gronik conveyed the Froedtert Property to Venture Court Limited on

Attachment: Notice of Claim City of Mequon (12.26.23 FINAL SERVICE EXHIBITS) (9055 : Venture Court Sewer Claim)

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October 12, 1989 and did not personally own that property after that conveyance. Ryan Companies US, Inc. ("Ryan") eventually obtained ownership of the Froedtert Property on or about November 13, 2015. According to the GIS, Ryan then conveyed the Froedtert Property to 11430 N. Port Washington Road LLC in November of 2017, who then conveyed the Froedtert Property to HSRE Froedtert Health Mequon Mob LLC in or around January of 2022. The GIS states that HSRE Froedtert Health Mequon Mob LLC still owns the Froedtert Property today.

The GIS indicates that Gronik, or his estate, owned the Property until approximately June 6, 1997, when it conveyed the Property to VPI. In or around December of 1980, Gronik obtained multiple permits to construct an "Office-Warehouse w/ Apt. over", with an estimated cost of \$135,000.00. To construct this building, Gronik received Permit # 8803, Plbg. Permit # 8935, Elec. Permit # 9058, Sewer Permit # 8960, and Well Permit 8968. According to the City's records, Occupancy Permit # 4415 was issued for this building, and occupancy was allowed as of March 19, 1982. This building still exists today, is located on the northeastern corner of the Property, is now commonly-known as 1214W Venture Court, and is otherwise known as Unit 1 of the Venture Court Condominium (the "1214W Building").

While subject to further investigation, it is currently our understanding that the 1214W Building may have used the Sanitary Sewer Line for sewer services pursuant to the permits described in the paragraph above as early as 1982. It is our understanding that from 1982 until approximately June of 2016, the Sanitary Sewer Line crossed the shared boundary between the Property and Froedtert Property, extended across the width of the Froedtert Property to a sewer lateral on Port Washington Road adjacent to the Froedtert Property's western border, and the owners of the Property continuously used the entire Sanitary Sewer Line to service the 1214W Building from approximately 1982 until sometime when a portion of the 1214W Building was remodeled or for sure in June of 2016 when the Sanitary Sewer Line was severed by Ryan pursuant to the sewer line abandonment described below. It is our understanding that the owners of the Property then continued using the remaining parts of the severed Sanitary Sewer Line, which continued to extend into the Froedtert Property after being severed, to serve at least a portion of the 1214W Building's sewer needs until the severed Sanitary Sewer Line was capped on August 28, 2023.

The City's records show that in or around February 16, 1994, Jack Mikkelson of Mikkelson Builders ("Mikkelson") submitted an application for Final Site Plan Approval for the creation and construction of a second building on the Property. In a Memorandum dated February 16, 1994 written by John A Huck, then the City's Engineering Supervisor ("Huck"), Huck provided his comments following his review of the Final Site Plan Approval. Those comments, included in part, the two following observations:

- The site plan indicates an existing sanitary sewer in the development located directly to the west. **The sanitary sewer was approved and installed as a private main sewer when the land to the west was developed. It would appear that the applicant proposes to connect the proposed building to this existing sanitary sewer. . . . The applicant should confirm the actual location and elevation of the existing sewer.**
- A storm sewer was installed when the property to the west was developed. **The applicant could investigate the possibility of connecting to the existing storm sewer.**

It appears that the Final Site Plan Approval was then approved by Huck and the City because in or around January of 1995 Mikkelson received numerous permits on behalf of Gronik (still identified as the owner of the Property) to construct an "Office-Bldg. (Impact Fee \$724.38)" with an estimated cost of \$250,000.00. To construct this building, Mikkelson received Permit # 15972, Plbg. Permit # 16941, Elec. Permit # 18545, Sewer Permit # 16941, and Plbg. \$17298. The first page of the stamped construction

drawings for the construction of the second building prepared by Mikkelson (the “Stamped Drawings”)—approved by the City of Mequon on December 30, 1994—showed an “Existing Sanitary Sewer” line off the western boundary of the Property into the Froedtert Property. A copy the first page of the Stamped Drawings is attached to this Notice as **Exhibit B**). Thus, there is no question that the City had direct knowledge that the Sanitary Sewer Line was servicing the Property at least as of 1994 and that the second building would also connect to the Sanitary Sewer Line once constructed in 1995.

According to the City’s records, Occupancy Permit # 6671 was originally issued for this building allowing occupancy as of November 9, 1995 and then a second Occupancy Permit, #6890, was issued for this building allowing occupancy of the entire building as of May 29, 1997.¹ This building still exists today, is located in the southwestern area of the Property, is now commonly-known as 1222 W. Venture Court, and is otherwise known as Unit 2 of the Venture Court Condominium (the “1222 Building”).

It appears the 1222 Building began using the Sanitary Sewer Line for sewer services in November of 1995. Thus from at least November 1995 until approximately June of 2016, the Sanitary Sewer Line crossed the shared boundary between the Property and Froedtert Property, extended across the width of the Froedtert Property to a sewer lateral on Port Washington Road adjacent to the Froedtert Property’s western border, and the owners of the Property continuously used the entire Sanitary Sewer Line to service the 1222 Building from approximately November 1995 until June of 2016 when it was severed by Ryan pursuant to the sewer line abandonment described below. The owners of the Property then continued using the severed Sanitary Sewer Line to serve the 1222 Building’s sewer needs until the severed Sanitary Sewer Line was capped on August 28, 2023. It is our understanding that the owners of the Property have at all times used the Sanitary Sewer Line to service the 1222 Building pursuant to the permits issued by the City, the City’s approval of the Final Site Plan, and the comments and instructions of Huck in the February 16, 1994 Memorandum.

These facts show that the Property had continuously used the Sanitary Sewer Line pursuant to the City’s permits, comments, approvals, and instructions for over twenty years before it was severed and capped.

2. Abandonment of the Sanitary Sewer Line.

On or about March 2, 2016, Tim Driscoll of Ryan applied to the City to abandon all sewer laterals in the public right of way on the Froedtert Property, which we currently understand included part of the Sanitary Sewer Line. This application was approved by Scott Daniel, at that time an employee of the City’s Engineering Department, on June 10, 2016 through four permits, Permit Number B-29987, Permit Number B-29988, Permit Number B-299889, and Building Permit # 29987-89 allowing the abandonment of the Sanitary Sewer Line and razing of certain buildings. It is our understanding that Ryan then severed the Sanitary Sewer Line on or about June 10, 2016 pursuant to these permits issued by the City notwithstanding the City’s previous permitting, knowledge, and instruction that the Property use the Sanitary Sewer Line to provide sewer services to at least the 1222 Building.

Attached to this Notice as **Exhibit C** is a construction drawing that includes an area highlighted in green and inserted text boxes, which we understand was done by Chris Pirkey of Ryan on or about May 8, 2023. The area highlighted in green depicts the length of the Sanitary Sewer Line after it was severed by

¹ The City’s records suggest the second occupancy permit was issued because certain violations of the City’s electrical and plumbing code were discovered in 1997 and the second occupancy permit was issued once those violations were cured. The Notice related to these violations did not include any matters related to sewer services for the Property or the Sanitary Sewer Line.

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Ryan pursuant to the City's permits in June of 2016. No one informed anyone associated with the Property that the Sanitary Sewer Line was severed. Ryan did not cap the Sanitary Sewer Line after severing it, and no one from the City came to inspect and confirm that any severed sewer lines were capped, despite that being a condition of Building Permit # 29987-89. Thus, the Property continued using the severed Sanitary Sewer Line to provide sewer service to the Property.

3. Capping of the Sanitary Sewer Line.

In or around May of 2022, it was discovered for the first time by anyone associated with the Property that the Sanitary Sewer Line was severed, was not capped, and that sewage from the Property was flowing into the Froedtert Property. After attempts to resolve the issue amicably failed, on August 28, 2023, a contractor acting on Ryan's behalf submitted an Application For Plumbing Permit to the City seeking the City's permission to cap the severed Sanitary Sewer Line. During this time, representatives of VPI were having multiple discussions with various City representatives who claimed that the City had no knowledge of the Sanitary Sewer Line, and no knowledge that a request to cap the severed Sanitary Sewer Line was submitted.² Representatives from VPI also made clear to the City during these discussions that the Sanitary sewer Line was the Property's only operational sewer line for the 1214W Building and 1222 Building, that the Property had used the Sanitary Sewer Line for years, and that the 1214W Building and 1222 Building would be left without sewer services if the severed Sanitary Sewer Line was capped.³

The City, through Bob Pups, approved the Application. The severed Sanitary Sewer Line was capped on August 28, 2023 (without advance notice to VPI), thereby severing the Property from any sanitary sewer facilities servicing the 1214W Building or 1222 Building and forcing VPI to immediately provide portable restroom facilities for its employees. VPI immediately took efforts to restore sanitary sewer service to the Property. It incurred substantial costs to relocate the sanitary sewer line to a line along the eastern boundary of the Property. To date, VPI has incurred (or expects to incur) approximately \$160,500 in damages relating to matters involving the Sanitary Sewer Line. Those costs are broken down as follows:

- Investigative Costs: \$8,300
- Relocation of Sanitary Sewer Line: \$53,200
- Restoration of Pool House and Parking Lot: \$99,000

To date, VPI has paid \$55,429.40 in actual costs for investigating and reconnecting sanitary sewer service to the Property. The remaining portion of the \$160,500 is an estimate.

II. NOTICE OF CLAIM.

VPI is seeking reimbursement of all damages it has incurred in relation to the Sanitary Sewer Line. The damages and itemization described above are incorporated into this Notice of Claim, too. If the issues surrounding the Sanitary Sewer Line are not resolved by agreement, VPI intends on pursuing a legal action against some or all of Froedtert, Ryan, and the City.

As it relates to the City VPI intends on seeking declaratory relief, injunctive relief, and monetary damages under the following claims and theories: (i) a declaration of property rights under Wis. Stat.

² For example, Bob Pups claimed to have no knowledge of the Application, even though the Application has handwriting on its front that states "Approved By Bob Pups (capped-sewer line)".

³ At this point in time, VPI's representatives were not sure whether the Sanitary Sewer Line was servicing the 1214W Building, but they were sure the Sanitary Sewer Line was the only sewer line servicing the 1222 Building.

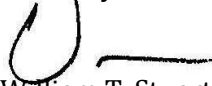
December 26, 2023
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§ 841.01 that VPI has prescriptive easement rights to the area on the Froedtert Property where the previously-existing Sanitary Sewer Line existed until June of 2016 to install a sanitary sewer line in that area extending to the sewer lateral on Port Washington Road to provide sewer services to the Property; (ii) an order requiring the City to take any acts or otherwise cooperate with any acts to restore sanitary sewer service to the Property; (iii) damages against the City for violating VPI's Fifth Amendment Rights by taking its property without compensation; (iv) damages against the City under Wis. Stat. §§ 840.03 and 844.01 for interfering with VPI's real property rights on the Froedtert Property; (v) damages against the City for negligently permitting the abandonment and severance of the Sanitary Sewer Line; (vi) damages against the City for negligently permitting the capping of the Sanitary Sewer Line; (vii) inverse condemnation under Wis. Stat. § 32.10; (viii) violation of Article I, § 13 of the Wisconsin Constitution; (ix) private nuisance; and (x) any other claims that VPI determines are valid and actionable following the completion of its investigation.

As of the date of this Notice, VPI's known or anticipated damages from the improper severance and capping of the Sanitary Sewer Line are \$160,500, as itemized above.

If you have any questions, please contact me.

Sincerely,

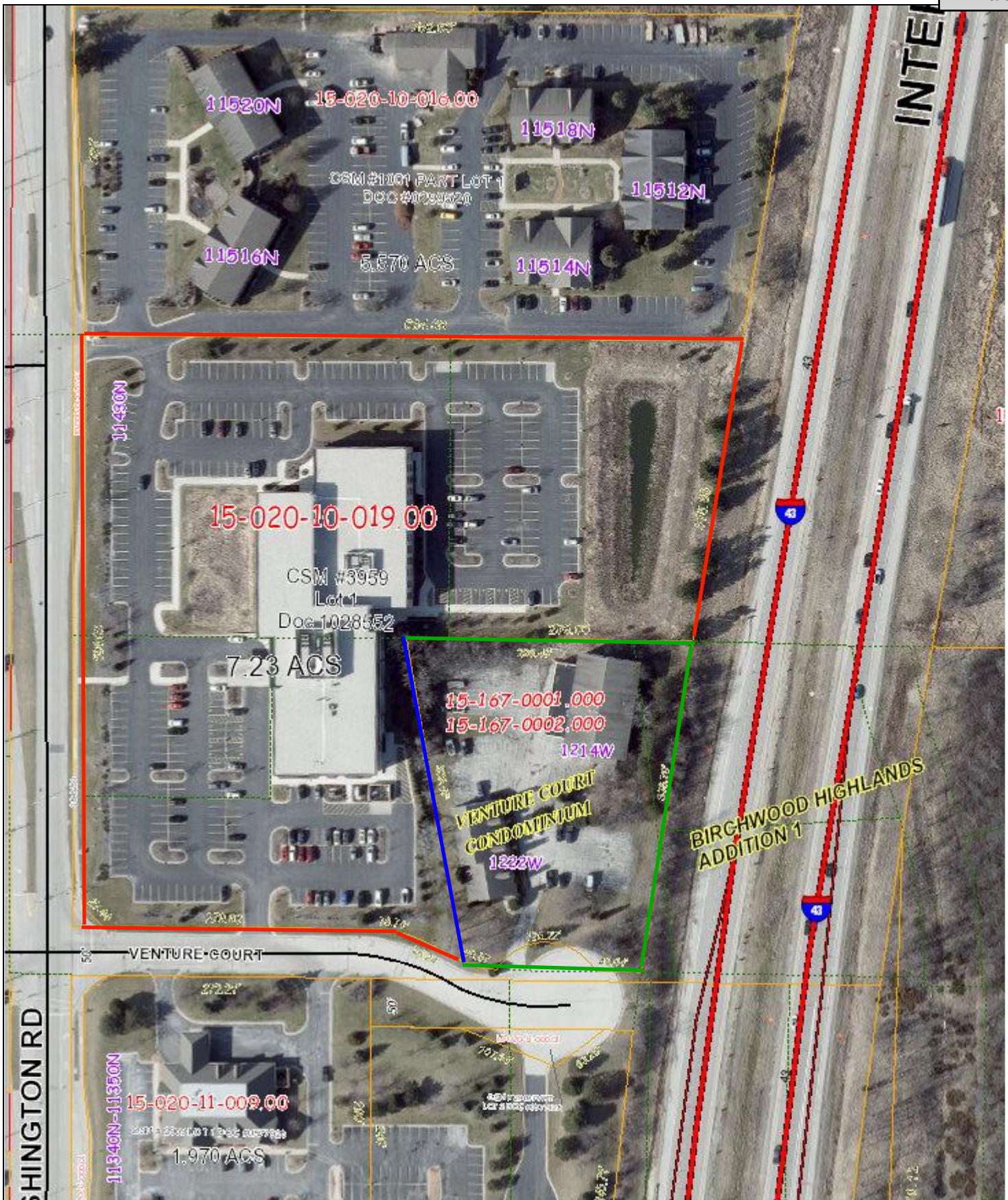


William T. Stuart
State Bar No. 1023839
309 N. Water Street, Suite 250
Milwaukee, WI 53202

Counsel for, and submitted on behalf of, Venture Properties,
Inc., 1222 West Venture Court, Mequon, WI 53092

Cc: Brian Sajdak, City Attorney

Attachment: Notice of Claim City of Mequon (12.26.23 FINAL SERVICE EXHIBITS) (9055 : Venture Court Sewer Claim)



Attachment: Notice of Claim City of Mequon (12.26.23 FINAL SERVICE EXHIBITS) (9055 : Venture Court Sewer Claim)

Legend

	Tax Parcel		CSM		US Highway		Town/Public Road
	Gap		Cemetery Plat		State Highway		Railroad Centerline
	Overlap		Condominium Plat		County Road		Ramp
	Historical Parcel Lines		Subdivision Plat		Private Road		
	Assessors Plat		Plat of Survey				

Product of the LAND INFORMATION OFFICE

12/20/2023, 10:02:03 AM

12/20/2023, 10:02:03 AM

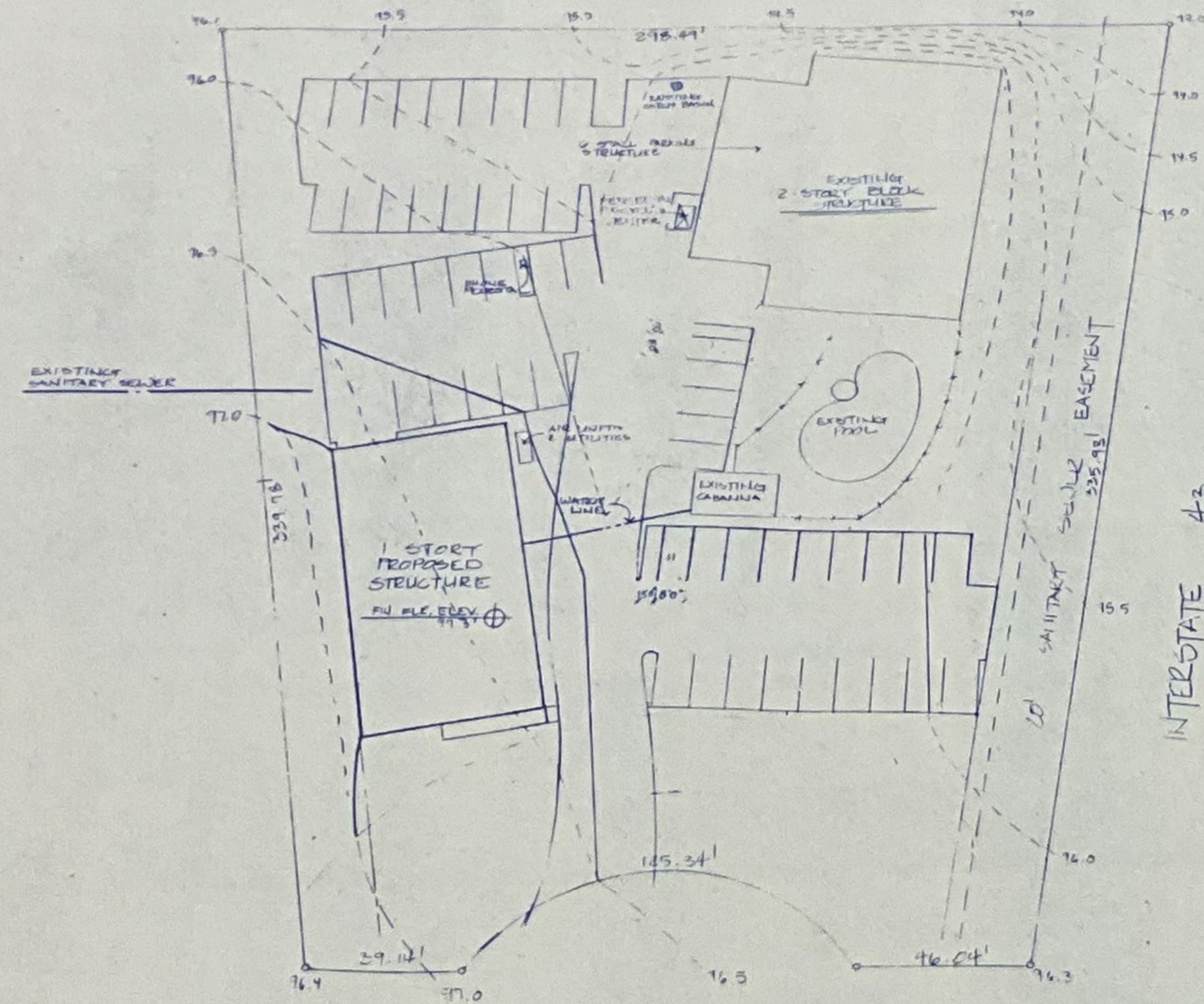
0 0.0075 0.015 0.03 0.045 0.06
mi



Packet Pg. 48

DISCLAIMER: This map is not a substitute for an actual field survey or other professional survey. The accuracy of this map is limited to the quality of the records from which it was assembled.

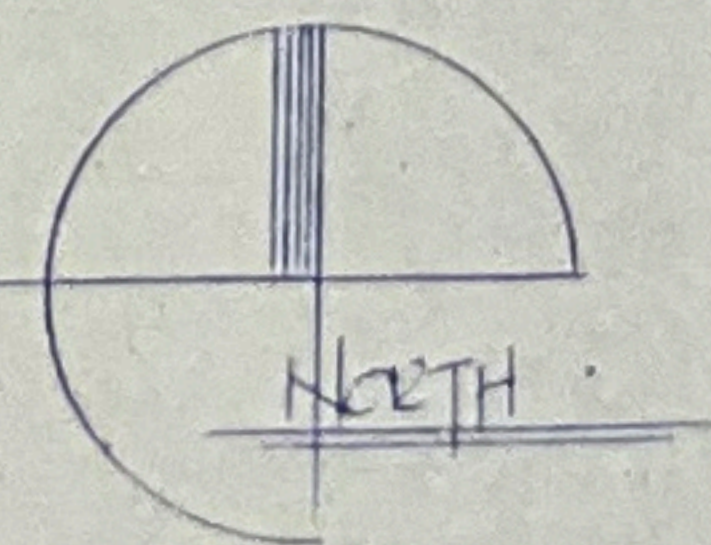
Exhibit B



VENTURE CT.

SITE PLAN

SCALE 1" = 30'-0"



THE GRONIK COMPANY HEADQUARTERS

1214 W. VENTURE CT. 114 N.
MEQUON, WISCONSIN

Designed & Built
by
MIKKELSON BUILDERS

1025 W. GLEN OAKS
MEQUON, WISCONSIN
414-241-8740

PROJECT SUMMARY

- * PROPOSED PROJECT IS A SINGLE STORY FRAME OFFICE & STORAGE FACILITY WITH A TOTAL OF 5000 SQ. FT. ENCLOSED. 2175 OFFICE, 2125 STORAGE & CIRCULATION.
- * CLASS OF CONSTRUCTION - TYPE B 1000 FRAME UNPROTECTED
- * DESIGN IN ACCORDANCE WITH CHAPTER ILHR 54 OFFICE & MERCHANDISE
- * PARKING REQ. - EXISTING BUILDING - 43
STALLS ENCLOSED - 6
STALLS ON SITE - 43
- * PARKING REQ. - NEW BUILDING - 12
55 STALLS TOTAL REQ'D - 59
- * PARKING STALLS PROVIDED - 51
- * TOTAL SQ. FT. OF SITE - 21,476 SQ. FT.
- * PERCENTAGE OF GREEN SPACE REQ'D. - 30%
- * PERCENTAGE OF GREEN SPACE PROVIDED - 49.3%

SHEET INDEX

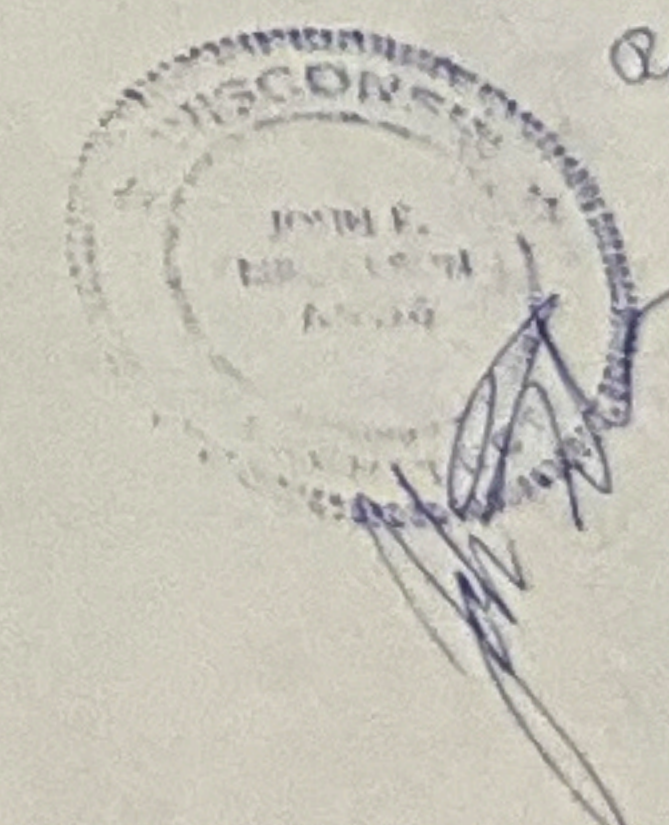
- 1- TITLE SHEET & SITE PLAN
- 2- FOUNDATION PLAN
- 3- FLOOR PLAN
- 4- ROOF & TRUSS PLAN/ SCHEDULES
- 5- ELEVATIONS
- 6- SECTIONS
- 7- ELECTRICAL PLAN
- 8- LANDSCAPE PLAN & SITE LIGHTING

BUILDING PLANS
Conditions

AP

DEC 30, 1994

Plm # 94-10-203



10/2/94

Date: 1-4-94

Project No.

Drawn By: J.C.M.

Revisions

No. Date By

1 11/1/94 CEM

2 11/1/94 CEM

Sheet

1

Exhibit C

GRAEF

One Honey Creek Corporate Center
125 South 84th Street, Suite 401
Milwaukee, WI 53214-1469
414 / 259 1500
414 / 259 0037 fax

www.graef-usa.com

0 15' 30' 60'
SCALE: 1" = 30'

LEGEND

- STM — — — — — PROPOSED STORM SEWER
- SAN — — — — — PROPOSED SANITARY SEWER
- W — — — — — PROPOSED WATER MAIN
- E — — — — — PROPOSED ELECTRICAL
- — — — — EASE
- PROPOSED UTILITY EASEMENT
- PROPOSED MANHOLE
- PROPOSED INLET/CATCH BASIN
- ⊗ PROPOSED GATE VALVE
- ⊕ PROPOSED HYDRANT
- ⊔ PROPOSED UTILITY PLUG
- ⊔ PROPOSED FLARED END SECTION (F.E.S.)

GENERAL NOTES

- THE BASE SURVEY WAS PREPARED BY GRAEF IN 2015. ALL UNDERGROUND UTILITIES AND STRUCTURES HAVE BEEN SHOWN TO A REASONABLE DEGREE OF ACCURACY AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THEIR EXACT LOCATION AND TO AVOID DAMAGE THERETO.
- REFER TO SHEET C100 FOR BENCHMARKS, DATUM, AND TOPOGRAPHIC ELEMENTS.
- CONTRACTOR SHALL VERIFY LOCATION OF PROPOSED WORK AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO COMMENCING WORK.

UTILITY NOTES

- CONTRACTOR SHALL VERIFY ELEVATION OF EXISTING INVERTS PRIOR TO INSTALLATION OF PROPOSED UTILITIES.
- BUILDING LATERALS SHALL BE CONSTRUCTED IN ACCORDANCE WITH LOCAL AND STATE PLUMBING CODES. SITE UTILITY CONTRACTOR TO STUB LATERALS TO 5 FEET OUTSIDE OF BUILDING. SEE PLUMBING PLANS FOR CONTINUATION OF PIPING INSIDE OF BUILDING BY PLUMBING CONTRACTOR.
- GENERAL CONTRACTOR SHALL COORDINATE WITH LOCAL GAS, TELEPHONE, AND ELECTRICAL UTILITIES FOR EXACT LOCATION, SIZE AND DEPTH OF NEW SERVICE.
- SANITARY SEWER SHALL BE PVC, ASTM D3034, SDR 35.
- WATER MAIN SHALL BE AWWA C900, PVC WATER MAIN.
- ALL STORM AND SANITARY PRECAST MANHOLES SHALL BE 48" DIAMETER UNLESS OTHERWISE NOTED.
- BUILDING ROOF DRAINS SHALL BE SDR-35, ASTM D3034, PVC, UNLESS OTHERWISE NOTED.
- RIM ELEVATIONS IN CURB AND GUTTER ARE FLANGE GRADES.
- PIPE LENGTHS AND INVERTS ARE TO CENTER OF STRUCTURES.
- CRUSHED STONE BACKFILL SHALL BE USED UNDER AND WITHIN 5' OF ALL PAVED AREAS.
- STORM SEWER SHALL BE RCP FOR ALL PIPES 15 INCHES IN DIAMETER OR GREATER.
- STORM SEWER SHALL BE PVC OR HDPE FOR ALL PIPES 12 INCHES IN DIAMETER OR LESS.

OWNER:

RYAN

BUILDING LASTING RELATIONSHIPS

RYAN COMPANIES US, INC.
756 North Milwaukee Street, Suite 220
Milwaukee, WI 53202

414-918-6500 tel
414-918-6499 fax
WWW.RYANCOMPANIES.COM

PROJECT TITLE:

VENTURE COURT
MEQUON, WISCONSIN

ISSUE:

NO.	DATE	REVISIONS	BY
1	1/20/16	CB01	JPH
2	1/29/16	CB02	JPH
3	8/15/16	CB05	JPH
4	8/20/16	CB08	JPH
5	11/02/16	CB09	JPH

PROJECT INFORMATION:

PROJECT NUMBER: 2015-1004.00

DATE: JAN. 29, 2016

DRAWN BY: TRY

CHECKED BY: JMK

APPROVED BY: JPH

SCALE: AS NOTED

FILE PATH: C:\00_C500_UTILITY_1004

SHEET TITLE:

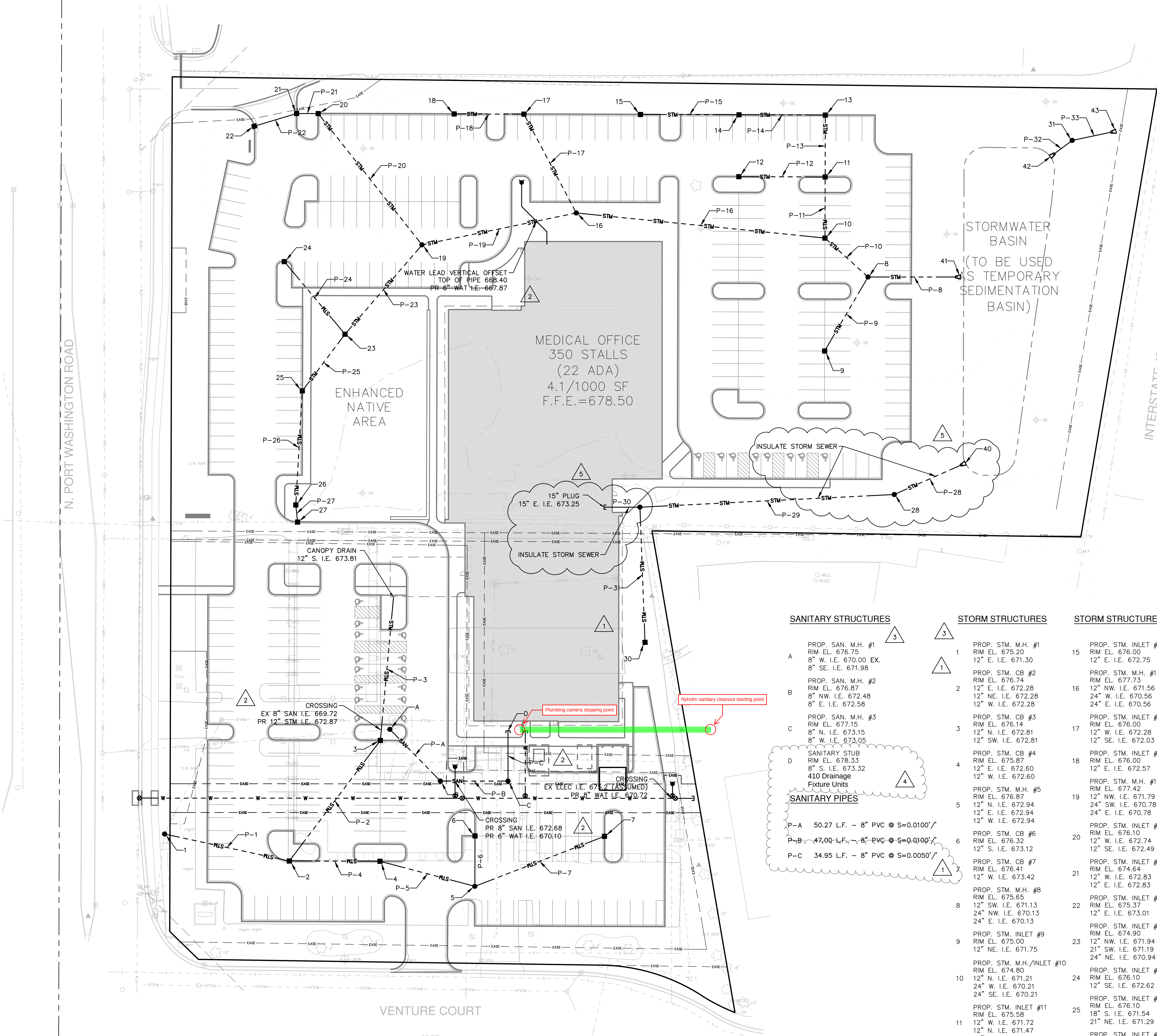
SANITARY & STORM SEWER PLAN

SHEET NUMBER:

C500

NOTICE:
In accordance with Wisconsin statute 182.0175, damage to transmission facilities, excavator shall be solely responsible to provide advance notice to the designated "ONE CALL SYSTEM" not less than three working days prior to commencement of any excavation required to perform work contained on this drawing, and further, excavator shall comply with all other requirements of this statute relative to excavator's work.

DISCLAIMER:
The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.



SANITARY STRUCTURES

- PROP. SAN. M.H. #1
RIM EL. 676.75
8" W. I.E. 670.00 EX.
8" SE. I.E. 671.98
- PROP. SAN. M.H. #2
RIM EL. 676.87
8" NW. I.E. 672.48
8" E. I.E. 672.58
- PROP. SAN. M.H. #3
RIM EL. 677.15
8" N. I.E. 673.15
8" W. I.E. 673.05
- SANITARY STUB
RIM EL. 678.33
8" S. I.E. 673.32
410 Drainage
Fixture Units

SANITARY PIPES

- P-A 50.27 L.F. - 8" PVC @ S=0.0100'/
- P-B 47.00 L.F. - 8" RVC @ S=0.0100'/
- P-C 34.95 L.F. - 8" PVC @ S=0.0050'/

STORM STRUCTURES

- PROP. STM. M.H. #1
RIM EL. 675.20
12" E. I.E. 671.30
- PROP. STM. CB #2
RIM EL. 676.74
12" NW. I.E. 671.56
12" NE. I.E. 672.28
12" W. I.E. 672.28
- PROP. STM. CB #3
RIM EL. 676.14
12" N. I.E. 672.81
12" SE. I.E. 672.81
- PROP. STM. CB #4
RIM EL. 675.87
12" E. I.E. 672.60
12" W. I.E. 672.60
- PROP. STM. M.H. #5
RIM EL. 676.87
12" NW. I.E. 671.79
12" N. I.E. 672.94
12" E. I.E. 672.94
12" W. I.E. 672.94
- PROP. STM. CB #6
RIM EL. 676.32
12" S. I.E. 673.12
- PROP. STM. CB #7
RIM EL. 676.41
12" W. I.E. 673.42
- PROP. STM. M.H. #8
RIM EL. 675.65
12" SW. I.E. 671.13
24" NW. I.E. 670.13
24" E. I.E. 670.13
- PROP. STM. INLET #9
RIM EL. 675.00
12" NE. I.E. 671.75
- PROP. STM. M.H. /INLET #10
RIM EL. 674.80
12" N. I.E. 671.21
24" W. I.E. 670.21
24" SE. I.E. 670.21
- PROP. STM. INLET #11
RIM EL. 675.58
12" W. I.E. 671.72
12" N. I.E. 671.47
12" S. I.E. 671.47
- PROP. STM. INLET #12
RIM EL. 675.58
12" E. I.E. 672.08
- PROP. STM. INLET #13
RIM EL. 675.65
12" W. I.E. 671.98
12" S. I.E. 671.73
- PROP. STM. INLET #14
RIM EL. 675.65
12" W. I.E. 672.34
12" E. I.E. 672.34

STORM STRUCTURES

- PROP. STM. INLET #15
RIM EL. 676.00
12" E. I.E. 672.75
- PROP. STM. M.H. #16
RIM EL. 677.73
12" NW. I.E. 671.56
24" W. I.E. 670.56
24" E. I.E. 670.56
- PROP. STM. INLET #17
RIM EL. 676.14
12" W. I.E. 672.28
12" SE. I.E. 672.03
- PROP. STM. INLET #18
RIM EL. 675.87
12" E. I.E. 672.57
12" W. I.E. 672.57
- PROP. STM. M.H. #19
RIM EL. 677.42
12" NW. I.E. 671.79
24" SW. I.E. 670.78
24" E. I.E. 670.78
- PROP. STM. INLET #20
RIM EL. 676.10
12" W. I.E. 672.74
12" SE. I.E. 672.49
- PROP. STM. INLET #21
RIM EL. 674.64
12" W. I.E. 672.83
12" E. I.E. 672.83
- PROP. STM. INLET #22
RIM EL. 675.37
12" E. I.E. 673.01
- PROP. STM. INLET #23
RIM EL. 674.90
12" NW. I.E. 671.94
21" SW. I.E. 671.19
24" NE. I.E. 670.94
- PROP. STM. INLET #24
RIM EL. 676.10
12" SE. I.E. 672.62
- PROP. STM. INLET #25
RIM EL. 676.10
18" S. I.E. 671.54
21" NE. I.E. 671.29
- PROP. STM. INLET #26
RIM EL. 675.00
15" S. I.E. 671.95
18" N. I.E. 671.70
- PROP. STM. INLET #27
RIM EL. 676.10
15" N. I.E. 671.98
- PROP. STM. M.H. #28
RIM EL. 674.72
18" W. I.E. 670.45
18" NE. I.E. 670.45

STORM STRUCTURES

- PROP. STM. M.H. #29
RIM EL. 678.16
15" S. I.E. 672.00
18" E. I.E. 672.00
15" W. I.E. 673.00
- PROP. STM. INLET #30
RIM EL. 675.20
15" N. I.E. 672.19
- OUTLET CONTROL STRUCTURE
RIM EL. 675.00
18" SW. I.E. 670.00
18" E. I.E. 670.00

STORM F.E.S.

- PROP. F.E.S. #40
18" SW. I.E. 670.00
- PROP. F.E.S. #41
24" W. I.E. 670.00
- PROP. F.E.S. #42
18" NE. I.E. 670.00
- PROP. F.E.S. #43
18" W. I.E. 669.75

STORM PIPES

- P-1 88.70 L.F. - 12" HDPE @ S=0.0111'/
- P-2 105.00 L.F. - 12" HDPE @ S=0.0050'/
- P-3 99.88 L.F. - 12" HDPE @ S=0.0100'/
- P-4 63.00 L.F. - 12" HDPE @ S=0.0050'/
- P-5 68.20 L.F. - 12" HDPE @ S=0.0050'/
- P-6 35.00 L.F. - 12" HDPE @ S=0.0050'/
- P-7 96.57 L.F. - 12" HDPE @ S=0.0050'/
- P-8 64.47 L.F. - 24" RCP @ S=0.0020'/
- P-9 59.60 L.F. - 12" HDPE @ S=0.0104'/
- P-10 40.36 L.F. - 24" RCP @ S=0.0020'/
- P-11 42.50 L.F. - 12" HDPE @ S=0.0060'/
- P-12 60.00 L.F. - 12" HDPE @ S=0.0060'/
- P-13 43.00 L.F. - 12" HDPE @ S=0.0060'/
- P-14 60.00 L.F. - 12" HDPE @ S=0.0060'/
- P-15 68.50 L.F. - 12" HDPE @ S=0.0060'/
- P-16 173.71 L.F. - 24" RCP @ S=0.0020'/
- P-17 77.72 L.F. - 12" HDPE @ S=0.0060'/
- P-18 48.50 L.F. - 12" HDPE @ S=0.0060'/
- P-19 109.53 L.F. - 24" RCP @ S=0.0020'/
- P-20 116.35 L.F. - 12" HDPE @ S=0.0060'/
- P-21 15.00 L.F. - 12" HDPE @ S=0.0060'/
- P-22 30.72 L.F. - 12" HDPE @ S=0.0060'/
- P-23 81.93 L.F. - 24" RCP @ S=0.0020'/
- P-24 65.77 L.F. - 12" HDPE @ S=0.0104'/
- P-25 49.39 L.F. - 21" RCP @ S=0.0020'/
- P-26 79.42 L.F. - 18" RCP @ S=0.0020'/
- P-27 11.96 L.F. - 15" RCP @ S=0.0020'/
- P-28 54.08 L.F. - 18" RCP @ S=0.0083'/
- P-29 177.00 L.F. - 18" RCP @ S=0.0088'/
- P-30 25.01 L.F. - 15" RCP @ S=0.0100'/
- P-31 94.00 L.F. - 15" RCP @ S=0.0020'/
- P-32 18.91 L.F. - 18" RCP @ S=0.0000'/
- P-33 31.14 L.F. - 18" RCP @ S=0.0080'/



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Office of City Attorney

TO: Common Council
FROM: Brian Sajdak, City Attorney
DATE: January 4, 2024
SUBJECT: Closed Session - City Administrator Performance Review

Background

The Common Council may enter closed session pursuant to Wis. Stat. § 19.85(1)(c) for the purpose of considering employment, promotion, compensation or performance evaluation data of any public employee over which the Council has jurisdiction or exercises responsibility. This section allows for the use of a closed session to discuss performance reviews for City employees and officers, such as the City Administrator.

Recommendation

Should the Council decide that it wishes to enter closed session, a motion to enter closed session pursuant to Wis. Stat. §19.85(1)(c) for the purpose of considering employment, promotion, compensation or performance evaluation data of the City Administrator.