



11333 N. Cedarburg Road
Mequon, WI 53092
Phone: 262-236-2914
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www.ci.mequon.wi.us

Office of the City Clerk
Taped & Televised

COMMITTEE OF THE WHOLE
Tuesday, February 14, 2023
6:45 PM
Christine Nuernberg Hall

Agenda

1. Call to Order, Roll Call
2. Approval of Meeting Minutes
 - a. January 10th, 2023
3. Resolutions
 - a. **RESOLUTION 4013** A Resolution Authorizing Expenditures and Awarding Contracts for the Final Phase of Public Improvement Projects in the Town Center Tax Increment District (TID) No. 3 for the Reconfiguration of Mequon Road, OIT Crossing Improvements, Overhead Utility Burial, Street Lighting, Streetscaping, Signage, Land Acquisition and Ancillary Maintenance in the Amount of \$5,365,627
4. Future Policy Items for Discussion/Consideration/Analysis
5. Adjourn

Dated: February 14, 2023

/s/ Andrew Nerbun, Mayor

Notice is hereby given that a quorum of other governmental bodies may be present at this meeting to present, discuss and/or gather information about a subject over which they have decision-making responsibility, although they will not take formal action thereto at this meeting.

Persons with disabilities requiring accommodations for attendance at this meeting should contact the City Clerk's Office at 262-236-2914, twenty-four (24) hours in advance of the meeting.

Any questions regarding this agenda may be directed to the City Administrator's Office at 262-236-2941, Monday through Friday, 8:00 AM – 4:30 PM.



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COMMITTEE OF THE WHOLE

Tuesday, January 10, 2023

6:45 PM

Christine Nuernberg Hall

Minutes

1. Call to Order, Roll Call

Mayor Nerbun called the meeting to order at 6:45 PM.

Present:

Mayor Andrew Nerbun
Alderman Glenn Bushee
Alderman Mark Gierl
Alderman Jeffrey Hansher
Alderman Dale Mayr
Alderman Brian Parrish
Alderman Kathleen Schneider
Alderman Robert Strzelczyk
Alderman Vacant Seat - Absent

Also present: City Administrator Jones, Assistant City Administrator Schoenemann, City Attorney Sajdak, Finance Director Engroff, Assistant Finance Director Keyser, Police Chief Pryor, Director of Public Works/City Engineering Lundeen, Assistant Director of Community Development Zader, Director of Community Development Tollefson, press and interested public.

2. Approval of Meeting Minutes

a. December 13, 2022

RESULT: Approved by Voice Acclamation [8-1]
MOVED BY: Alderman Strzelczyk
SECONDED BY: Alderman Hansher

Attachment: 1.10.23 COTW (8118 : COTW 1/10/23)

AYES:	Nerbun, Bushee, Gierl, Hansher, Mayr, Parrish, Schneider, Strzelczyk
DEEMED NO:	Vacant Seat

3. Discussion

a. 2022 Compensation Study Presentation

Assistant City Administrator Schoenemann introduced the Compensation Study and guest speaker Rachel Skaggs, Senior President from GovHR. Ms. Skaggs presented GovHR's findings and evaluations of the City's compensation over the last seven months. Ms. Skaggs reviewed the implementation and future administration of system classification. Questions from the Committee were answered by Ms. Skaggs and discussion further ensued. Mr. Schoenemann summarized the next steps and intends to bring the recommendations to the Common Council at a future meeting.

4. Ordinances

a. **ORDINANCE 2022-1633** An Ordinance Amending Chapter 58 of the Mequon Municipal Code, Establishing Banquet Facilities as Conditional Uses in the B-2 (Community Commercial), TC (Town Center) Districts, and Conference Centers as Conditional Uses in the B-2 (Community Commercial), B4 (Business Park) Zoning Districts

Assistant Director of Community Development Zader presented the request to update the current ordinance. This was brought to attention by a prospective business owner and was recommended by the Planning Commission.

Mr. Zader fielded questions from the Committee and many considerations and additional revisions were mentioned. As a result, the amended ordinance passed for the Town Center zoning and the topic will be brought back to the Planning Commission for review of Ulao creek and the Arrival Corridor.

Motion to recommend approval as amended.

RESULT:	Approved as Amended by Roll Call Vote [8-1]
MOVED BY:	Alderman Mayr
SECONDED BY:	Alderman Strzelczyk

AYES:	Nerbun, Bushee, Gierl, Hansher, Mayr, Parrish, Schneider, Strzelczyk
DEEMED NO:	Vacant Seat

5. Future Policy Items for Discussion/Consideration/Analysis

Attachment: 1.10.23 COTW (8118 : COTW 1/10/23)

6. Adjourn

Motion to Adjourn at 7:38 PM.

RESULT: **Approved by Voice Acclamation [8-1]**
MOVED BY: Alderman Gierl
SECONDED BY: Alderman Mayr

AYES:	Nerbun, Bushee, Gierl, Hansher, Mayr, Parrish, Schneider, Strzelczyk
DEEMED NO:	Vacant Seat

Respectfully Submitted,

Janet Meyer
Deputy Clerk

Attachment: 1.10.23 COTW (8118 : COTW 1/10/23)



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 Mequon, WI 53092
 Phone: 262-236-2902
 Fax: 262-242-9655

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Office of Community Development

TO: Committee of the Whole
FROM: Kim Tollefson, Director of Community Development
DATE: February 14, 2023
SUBJECT: RESOLUTION 4013 A Resolution Authorizing Expenditures and Awarding Contracts for the Final Phase of Public Improvement Projects in the Town Center Tax Increment District (TID) No. 3 for the Reconfiguration of Mequon Road, OIT Crossing Improvements, Overhead Utility Burial, Street Lighting, Streetscaping, Signage, Land Acquisition and Ancillary Maintenance in the Amount of \$5,365,627

Background

Town Center neighborhood expenditures, and the associated contract awards, will implement capital improvement projects identified as part of the Town Center TID No. 3 Mixed Use Neighborhood Budget adopted under Resolution 3849 by the Common Council on June 8, 2021 (see attached Exhibit A: Resolution).

The priority project list was based on a workshop conducted by the Committee of the Whole in May of 2021. Since then, staff has contracted and worked with the City's consultants to develop a final set of the construction plans, design the streetscape, acquire WisDOT approval and coordinate with We Energies for the burial of overhead utilities. During this time, staff has also consulted with the Common Council regarding WisDOT approvals, desired aesthetics, and ensuring proper consulting services. In addition, staff consulted with Ehlers Inc., the City's financial advisor, to ensure up to date financial capacity and success at TID closure (year 2028). The final design choices selected by Council in October 2022, are integrated into the designs. The project, and subsets of the project, were then bid.

October 11, 2022, Committee of the Whole Package can be found here:

<http://mequoncitywi.iqm2.com/Citizens/FileOpen.aspx?Type=1&ID=2955&Inline=True>

May 4, 2021, Committee of the Whole Package can be found here:

<http://mequoncitywi.iqm2.com/Citizens/FileOpen.aspx?Type=1&ID=2586&Inline=True>

The budget includes work for the reconstruction of Mequon Road to narrow travel lanes, provide a Danish crossing for the Ozaukee Interurban Trail (OIT), create a terrace area for the installation of streetscaping and promote safety for and between motorists and non-motorists through the design of several signalizations, crossing improvements and lighting. The project also includes regulatory and unique neighborhood signage, burial of overhead utilities and installation of cemetery fencing and street furniture (see attached Exhibit B: Project Details and Contract

Awards)

Financial Capacity

In 2022, after the adoption of the revised TID budget in June of 2021, the City completed a capital borrowing with the inclusion \$2.72M of expenditures for TID No. 3. The success of the district allows the City to finance projects prior to closure of the district at a total funding capacity of \$5.79M. Since the creation of the Town Center zoning districts in 2007 and the TID in 2008, the neighborhood's tax base has increased approximately 285% through 11 redevelopment projects assessed at \$160M. Given the financial and physical redevelopment success of the neighborhood, there is funding capacity for public projects prior to the mandatory expenditure period of April 2023 (see attached Exhibit C: TID No. 3 Cash Flow Projection).

The TID will cash flow positive and close in 2028 based on projected tax rate and property values. The closure date and financial forecasting includes all debt, bonds, development incentives, City advances and project expenditures paid off in full. This projection also assumes no new construction occurs in the neighborhood between 2023-2028.

The proposed public improvements package has a construction cost of \$4.87M and includes a 10% contingency (\$487K), for a total expenditure of \$5.36M. The TID has a funding capacity of \$5.74M, resulting in a cash balance of \$383K (see attached Exhibit D: Project Expenditure Summary). In 2021, the project's construction cost was estimated at \$4.22M and did not include a contingency, consultant costs, or administrative costs. Significant factors contributing to the additional expenditure of \$1.13M are as follows:

- Consultant contract at near \$228K
- 10% contingency estimated at near \$500K
- Railroad preemption via WisDOT estimated at \$500K

Fiscal Impact

The TID has sufficient funds for these eligible expenses. The funding expenditure deadline is April 15, 2023. Completion of the work includes both cash financing and debt financing from the Town Center TID and City Right-of -Way Asset Management Fund (RAM) as follows:

Town Center TID:	\$ 5,365,626
RAM:	\$ 340,185

Project implementation at this cost results in the TID closing in 2028 with a cash balance of \$383K and a cash payout to the City of \$76,675. The remainder of the cash balance is paid to other taxing entities. If the estimated project costs associated with the WisDOT preemption or 10% contingency are not fully expended, then the cash balance and payout will be higher.

Alternatively, staff provides a list of deductions to reduce the overall cost for the project, if desired by the Common Council. The deductions are not recommended by staff. The deductions amount to approximately \$404K, resulting in a TID Project Cost of \$4.46M and contingency of \$445K for a total of \$4.9M.

Project implementation at the deducted cost alternative results in the TID closing in 2028 with a cash payout to the City of \$168,267 (Exhibit E: Project Expenditure Deductions).

The deductions reduce features including landscaping, pedestrian lighting, pavement markings throughout Cedarburg Road and the Mequon Road intersection as well as unique neighborhood signage. Choosing to not implement these features will noticeably mark distinctions within the neighborhood and result in no enhancements at the gateway intersection. The lack of implementation at these locations will reduce the overall uniformity for the neighborhood in its entirety and create a significant design gap between Cedarburg Road and Mequon Road.

Timeline

The contracts require project start date of April 2023 with substantial completion by October of 2023. Upon approval of the expenditures, City staff will meet with the property owners affected by the improvements.

Summary

At the closure of the TID, the City will capture \$550k annually in new tax revenue due to the 285% increase in property values (based on projected tax rate and property values). All other taxing entities will also receive increased tax revenue due to these new and high valued redevelopment sites. This is the final opportunity for public improvements to be made by using TID funding. The potential for additional investment and economic impact is considerable since 42% of the neighborhood has yet to redevelop. Execution of the recommended project plan, results in a private/public partnership attributing to the TID's success as follows:

Private Investment: 93.4%
Public Investment: 6.6%

Staff recommends completion of all the improvements across the neighborhood, furthering the investments made to date by the City, by property and business owners and residents. The attached resolution includes a prescriptive, line-item expenditure schedule. Staff will continue to report out on the status of final costs associated with the WisDOT RR Preemption, Contingency and Administrative/Maintenance items at future Committee of the Whole meetings, so as to fully support the preservation of available cash balances at the closure of the TID.

Recommendation

A recommendation is forthcoming by the Committee of the Whole on February 14, 2023.

Attachments:

Ex A Resolution (PDF)
EX B Project Details (DOCX)
EX C TID No 3 Cash Flow Projections (PDF)
Ex D Project Expenditure Summary (XLSX)
EX E Project Expenditure Deductions (DOCX)
Ex F Design Plan Set (PDF)

Ex G We Energies Scope Map (PDF)
Ex H SMA (WisDOT) (PDF)

COMMON COUNCIL
OF THE
CITY OF MEQUON

RESOLUTION 4013

A Resolution Authorizing Expenditures and Awarding Contracts for the Final Phase of Public Improvement Projects in the Town Center Tax Increment District (TID) No. 3 for the Reconfiguration of Mequon Road, OIT Crossing Improvements, Overhead Utility Burial, Street Lighting, Streetscaping, Signage, Land Acquisition and Ancillary Maintenance in the Amount of \$5,365,627

RECITALS

A. Several capital improvement projects were identified as part of the Town Center TID No. 3 Mixed Use Neighborhood Budget adopted by the Common Council on June 8, 2021.

B. These public improvement projects are essential to meet safety measures and the economic and aesthetic objectives of the City's Town Center TID No. 3 dating back to 2008.

C. The City of Mequon Department of Public Works publicly noticed and received bids and contractor qualifications for the Mequon Road & OIT Crossing Improvements Project.

D. Staff determined that the bids received are in accordance with the project specifications and recommends award to LaLonde Contractors, Inc. at the total cost of \$2,847,480.50, for the Mequon Road & OIT Crossing Improvements Project.

E. The City of Mequon Department of Community Development Planning Division received construction plans and costs for the Overhead Utility Burial and ancillary improvements including land acquisition.

F. In accordance with We Energies relocation plans, \$1,519,580, shall be contributed to the project cost of utility burial, including Charter Communications.

G. The City of Mequon Department of Public Works received qualified quotes for the balance of the public improvements and has determined the quotes received are in accordance with the project specifications and recommends contract award and expenditures as follows:

- Cemetery Fencing along Mequon Road street frontage to Northway Fence at a total cost of \$22,680
- Buntrock Avenue Sidewalk extension at a total cost of \$45,000
- Pavement markings for Cedarburg Road, Division Street and the intersection of Mequon and Cedarburg Road to Century Fence Company at the total cost of \$43,815

- Mequon/Cedarburg Road, Milwaukee River entryway and Buntrock Avenue entryway at a total cost of \$39,243
- Street furniture along Mequon Road and Cedarburg Road and within the Civic Campus Parking Lot to Victor Stanley and Keep Goals/Landforms a total cost of \$36,169
- Town Center Administration and Maintenance Budget for years 2023-2028 at a total cost of \$133,559.50
- Decorative Street and Parking Signage to TAPCO for a total cost of \$2,700
- Construction Staking to North Shore Engineering for a total cost of \$30,500
- Railroad preemption via the Wisconsin Department of Transportation (WisDOT) at a total cost of \$500,000
- Contingency Funds in an amount not to exceed \$487,784

H. The Right-of-Way Assets Project Account 410780-720017-10001 has sufficient funding for this project in the amount of \$340,185.

I. The balance of the project costs, as determined after utilizing the full extent of all other funding sources, shall be funded through the Town Center TID No. 3 Project Account 611610-740001, which has sufficient funding for this project.

J. The Common Council Committee of the Whole, at its meeting on February 14, 2023, endorsed staff's recommendation.

BASED UPON THE FOREGOING RECITALS, IT IS RESOLVED by the Common Council of the City of Mequon, Wisconsin that:

1. The above contracts, as recommended by the Committee of the Whole and approved by the Mequon Common Council, be approved and that the proper City officials be authorized to sign the appropriate contract documents, in accordance and subject to City Attorney review and approval.

2. Staff is authorized to execute the amendment to the State/Municipal Financial Agreement with the Wisconsin Department of Transportation for the railroad preemption, subject to any clerical, technical and/or legal changes deemed necessary and appropriate by the City Attorney.

Approved by: Andrew Nerbun, Mayor

Date Approved: February 14, 2023

I certify that the foregoing Resolution was adopted by the Common Council of the City of Mequon, Wisconsin, at a meeting held on February 14, 2023.

Caroline Fochs, City Clerk

EXHIBIT A: RESOLUTION**COMMON COUNCIL
OF THE
CITY OF MEQUON****RESOLUTION 3849****A Resolution Identifying Public Improvement Projects within Tax Increment District No. 3 for
Design and Development Prior to April 15, 2023**

A. The Common Council authorized Town Center Tax Increment District No. 3 Project Plan, dated April 2008, identifies principal public improvement projects intended to support a pedestrian-oriented character, improve visual and physical access to the river, mitigate the impact of vehicular traffic and encourage neighborhood-scale commercial uses and high-quality design.

B. Tax Increment District (TID) No. 3 encourages the redevelopment of parcels located within the district boundary through the assemblage of land parcels, new land uses and the removal of underutilized, undervalued structures that impede the use of land or that present poor aesthetic conditions.

C. Under the Town Center Tax Increment District No. 3, the Common Council previously made expenditures to further these neighborhood objectives and through public private partnerships has generated approximately \$160M of new tax base to-date, a 285% increase in neighborhood value.

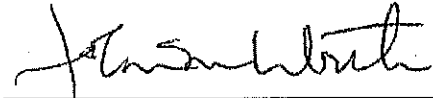
D. Funds for additional public projects in the estimated amount of \$5.5 million have been included in the TID budget and are available for use prior to the close of the mandatory expenditure period in April 2023.

E. Additional expenditures for public projects, at any level, allow the TID to close on time, pay off all debt and close with a positive cash balance regardless of any new, further tax base generated.

F. The Common Council acknowledges the Committee of the Whole's intent to make additional expenditures for projects identified by the Committee at its meeting on May 4, 2021, and as listed in Exhibit A, subject to final approval of the design, location, timing and cost of any and each public project.

G. The Public Works Committee at its meeting on June 8, 2021, recommended approval of additional expenditures for public projects within the Town Center TID No. 3 through cash financing and debt financing, as estimated and enumerated in Exhibit A.

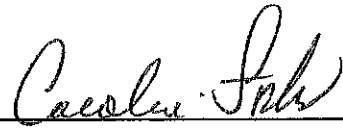
BASED UPON THE FOREGOING RECITALS, IT IS RESOLVED by the Common Council of the City of Mequon, Wisconsin, that city staff are directed and authorized to develop and coordinate plans for public improvement projects identified in Exhibit A for contract prior to April 2023.



Approved by: John Wirth, Mayor

Date Approved: June 8, 2021

I certify that the foregoing Resolution was adopted by the Common Council of the City of Mequon, Wisconsin, at a meeting held on June 8, 2021.



Caroline Fochs, City Clerk

Attachment: Ex A Resolution (RESOLUTION 4013 : Public Improvements in TID #3)

EXHIBIT B: PROJECT DETAILS AND CONTRACT AWARDS

The following is a breakdown of each project component, its expenditure and recommendation for contract:

Mequon Road & OIT Crossing Improvements Project to LaLonde Contractors, Inc. of Waukesha, WI. in the Amount of \$2,847,480.49

The contract documents to complete the Mequon Road & OIT Improvements Project were advertised and four bids were opened, as summarized below for the scope of work.

Contractor	Amount
LaLonde Contractors	\$2,847,480.49
Vinton	\$3,081,198.71
All-Ways	\$3,196,765.40
Zignego	\$3,363,385.60

The contract includes the following work (see attached Exhibit F: Design Plan Set):

- Road Narrowing, Danish OIT Crossing and Reconfigured City Hall driveway
- Traffic Signals and crosswalks
- Safety Measures including Pedestrian Signals, including thermal sensor for OIT
- Electrical Services and New Median and Sidewalk Lighting
- Street Trees and Landscaping
- Pavement Markings
- Regulatory Signage and neighborhood signage
- Paver Systems and Stamped Concrete
- Traffic Control during Construction

Of the above listed contract work, the traffic signals located at the intersection of Mequon Road and Buntrock Avenue are a Right-of-Way Assessment Management (RAM) Fund eligible expense. The replacement of the signals is imminent and are considered part of the road program in which the city has borrowed for in 2022. Because the signal replacement, at a cost of \$340,184.20, is not a direct result from the development occurring in Town Center, the RAM fund, through the current borrowing, is recommended for this portion of the Town Center project. The funding sources for the Mequon Road & OIT Crossing Improvement Projects to LaLonde Contractors, Inc. is as follows:

Town Center TID:	\$2,507,296.29
RAM:	\$ 340,184.20
Total:	\$2,847,480.49

Overhead Utility Burial Project to We Energies and Charter Communications, Inc. in the Amount of \$1,519,580

The scope of work to complete the utility burial includes overhead facilities owned by We Energies and Charter Communications. The scope area includes overhead facilities along the OIT, immediately west of the Civic Campus parking lot, along the south side of Mequon Road from Weston Drive to the Milwaukee River on the west side of Cedarburg Road and south of Mequon Road. The scope of work includes the following (please see attached Exhibit G: We Energies Scope Map):

- Burial of overhead facilities, including poles
- Replacement of poles that cannot be buried, as black steel poles
- Easements, if necessary, on private property
- Relocation agreement for facilities within the right-of-way

Cemetery Fencing to Northway Fence of Menomonee Falls, WI. in the Amount of \$22,680

Solicitation for fencing along the street frontage of Mequon Road for the cemetery includes the selected decorative fence by Council and an opening at the driveway. Northway Fence provided the lowest of three bids.

Construction Staking to North Shore Engineering, Inc. of Mequon, WI. in the Amount of \$30,500

Requests for Proposals for construction staking were solicited and the City received four quotes as follows. North Shore Engineering, Inc. was the lowest quote for construction staking services.

Contractor	Amount
North Shore Engineering, Inc.	\$30,500
M Squared Engineering, LLC	\$38,300
GRAEF-USA Inc.	\$90,000
R.H. Batterman & Co., Inc.	\$75,000 - \$110,000

Railroad Preemption via the Wisconsin Department of Transportation (WisDOT) in the Amount of \$500,000

Preemption of the traffic signal is intended to ensure that queued traffic does not back up onto the railroad tracks when a train is approaching. The cost for preemption varies based upon the final scope from the railroad. At a minimum, the equipment will be required to “talk” to each other, and as a “worst case scenario”, all the railroad equipment would need to be replaced. Until the railroad provides the final scope for the project, the final cost remains unknown. The attached Exhibit H: State Municipal Agreement (SMA) includes authorization up to \$500k for the full replacement. Preemption alone is anticipated to be at least \$150k, with typical cantilevered equipment at \$300k and an additional \$50k for the two masts. The final cost will be defined by the railroad after OCR approves the request for preemption. Please note that the SMA references \$32,750 which was previously authorized by CC from the RAM account.

Buntrock Avenue Sidewalk Extension in the Amount of \$45,000

The current sidewalk extends south of Mequon Road through P2 Development's townhome development on the east side. It was the Council's desire to extend the sidewalk to Wilson School for safe access. The sidewalk will extend to Steffen Drive, where a sidewalk exists on the school campuses. The project required construction assessment by the Department of Public Works – Engineering Division and is estimated in the amount of \$45,000. Subject to approval of this expenditure, Engineering will return to the Council with bids and contract award prior to April 2023.

Mequon Road / Cedarburg Road Intersection, Cedarburg Road, Milwaukee River and Division Street: Streetscape in the Amount of \$39,242

As part of the May 2021 workshop, staff presented options for extending the streetscape for uniformity at and adjacent to the Mequon / Cedarburg intersection, treating the features at the Milwaukee as gateway enhancements and providing final improvements to Cedarburg Road such as the extension of street fixtures, street trees, banners for the streetlights and parking and crosswalk signage. These improvements will be direct purchase by the City for installation at the same time of road construction.

Mequon Road / Cedarburg Road Intersection, Cedarburg Road, Milwaukee River and Division Street: Pavement Markings to Century Fence Company of Pewaukee, WI. in the Amount of \$43,815

A request for proposals for pavement markings was solicited to add new markings for the neighborhood outside of Mequon Road. The new markings will provide crosswalks at the Mequon / Cedarburg Road intersection enhancing safety and access to riverfront park and gateway. In addition, markings on Cedarburg Road and Division Street will create uniformity with the new markings on Mequon Road and is intended to further announce on-street parking and existing crosswalks within the Civic Campus.

Street Furniture to Victor Stanley of Dunkirk, MD. and Keep Goals/Landforms in the Amount of \$36,169

Staff has quoted street furniture for location near the gateway, along Mequon Road, within the Civic Campus Parking Lot and replacement furniture for that which exists on Cedarburg Road. This includes seven (7) garbage receptacles, seven (7) benches and two (2) bike racks and will be direct purchase by the City for installation at the same time of road construction.

Administrative/Other

A. Land Acquisition

The Council wanted to pursue removal of the two remaining single-family homes located along the riverfront park and Cedarburg Road. Staff has maintained communications with the owners since the Council workshop in May, with the most recent correspondence

occurring in January 2022. Neither owner is prepared to sell at this time. The Park and Open Space Committee offered \$100K to assist with the purchase. The only remaining acquisition is the possibility of easements for the overhead utilities, although those may be located in the right-of-way if necessary.

B. Contingency

As indicated, the total project expenditure includes a 10% contingency.

C. Neighborhood Connectivity

The Council requested staff consider sidewalk connectivity from the Central Growth neighborhood to Town Center. As part of the WisDOT resurfacing of Mequon Road in 2025, a sidewalk will be installed. Therefore, TID dollars are not expended for this project.

D. Administration and Maintenance

Staff has designated \$35,000 for the administration and maintenance of the TID for years 2023 through 2028. In addition, this expenditure line item includes remaining consultant fees and allows for developer incentives, acquisition and development opportunities for City-owned sites.

EXHIBIT C: TID No 3 CASH FLOW PROJECTIONS

City of Mequon, Wisconsin																						
Tax Increment District #3																						
Cash Flow Projection																						
Year	Projected Revenues					Expenditures										Balances			Year			
	Tax Increments	Interest Earnings/ (Cost)	Computer Aid	Rotary Repayment	Total Revenues	GO Refunding Bonds 5,030,000 Dated Date:		Outpost Development Incentive	Dermond Development Incentive	Reserve Development Incentive	Foxtown Development Incentive	P2 TownHome Project	2022 Capital Borrowing - TID 3 Portion		Capital Expenditures	Admin./ Prof Services	Total Expenditures	Annual		Cumulative	Principal Outstanding & Developer Incentive	
						Principal	Interest															
2021	2,173,982	1.00%			2,202,088	440,000	132,270	25,270	43,358	20,391					131,665	23,963	816,917	1,385,171	(1,265,062)	9,361,220	2021	
2022	1,814,954	(12,651)	7,177	205,000	2,014,121	540,000	115,850	25,270	43,358		560,928				700,000	15,000	2,000,406	13,715	(1,251,347)	10,896,664	2022	
2023	2,329,639	(12,513)	6,477		2,323,602	585,000	99,650	25,270	43,358		521,102		300,000	33,266		15,000	1,622,646	700,956	(550,391)	9,406,933	2023	
2024	2,436,007	(5,504)	6,153		2,436,656	630,000	82,100	25,270	43,358		521,102		400,000	51,400		15,000	1,768,230	668,426	118,034	7,772,203	2024	
2025	2,609,963	1,180	5,846		2,616,989	650,000	63,200	25,270	43,358		521,102	61,880	500,000	37,900		15,000	1,917,711	699,278	817,312	5,955,593	2025	
2026	2,609,963	8,173	5,553		2,623,689	695,000	43,700	25,270	43,358		521,102	61,880	500,000	25,400		15,000	1,930,711	692,979	1,510,291	4,093,982	2026	
2027	2,609,963	15,103	5,276		2,630,341	730,000	29,800	25,270	43,358		521,102	61,880	500,000	15,400		15,000	1,941,811	688,531	2,198,822	2,197,372	2027	
2028	2,609,963	21,988	5,012		2,636,963	760,000	15,200	25,270	294,119		521,102	61,880	520,000	5,200		15,000	2,217,772	419,191	2,618,013	(0)	2028	
Total	19,194,431	36,706	23,537	205,000	19,484,449	5,030,000	581,770	202,163	597,625	20,391	3,687,540	247,521	2,720,000	168,566	764,845	128,963	14,216,203				Total	
Notes:													Capital Expenditures (Cash) - 20220 Borrowing Proceeds - 20222,720,000 Remaining Increment through 20282,618,013 Total5,338,013							Projected TID Closure		

EXHIBIT D: PROJECT EXPENDITURE SUMMARY					
Originally Authorized Common Council Selected Public Improvement Project: June 2021		ACTUAL COSTS & FUNDING SOURCES			
		TID No 3 Funding Sources	Road Assessment Management (RAM)	Park & Open Space Impact Fees	
Mequon Road & OIT Crossing Improvements Project	\$1,429,000.00	\$2,014,561.69	\$340,184.20		
Street & Median Lighting + Electrical Service	Included in Others	\$492,734.60			
Construction Staking	Required Add On	\$30,500.00			
RR Agreement	Required Add On	\$500,000.00			
Signage	Included in Others	included in others			
OH Utility Burial: WE Energies	\$1,300,000.00	\$1,519,580.00			
Cemetery Fencing	\$70,000.00	\$22,680.00			
Buntrock Avenue Sidewalk to School	\$60,000.00	\$45,000.00			
Pavement Markings: Cedarburg Road Plus the Mequon Road Intersectio	Add On	\$40,395.00			
Mequon/Cedarburg Road Completed Features Plus Milwaukee River	\$59,000.00	\$39,242.40			
Division Street On Street Parking	\$2,000.00	\$3,420.00			
Street Furniture	\$13,750.00	\$36,169.00			
Land Acquisition / Sale	\$500,000.00	\$20,000.00		\$100,000	
Administrative/Other	\$781,000.00	\$113,559.50			
SUBTOTAL:	\$4,214,750.00	\$4,877,842.19			
CONTINGENCY (10%):		\$487,784.00			
TOTAL:		\$5,365,626.19			
TID Results			\$5,365,626.19		
Year of Cash Flow Positive			2028		
TID Closure Date			2028		
Available TID Funds			\$5,749,000		
Cash Balance at Closure			\$383,373		
One Time Cash Payout to City			\$76,675	\$168,267	

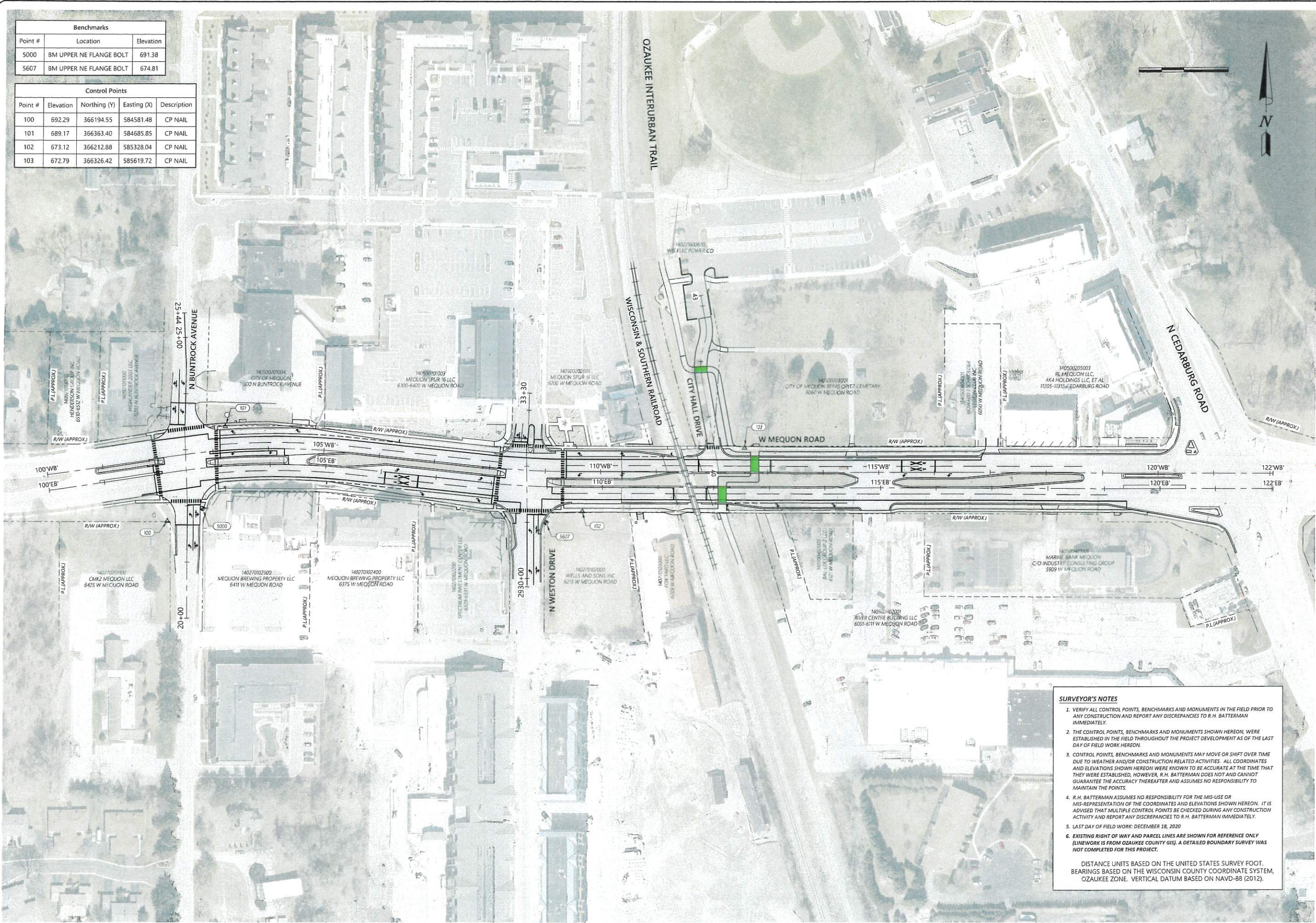
Attachment: Ex D Project Expenditure Summary (RESOLUTION 4013 : Public Improvements in TID #3)

EXHIBIT E: PROJECT EXPENDITURE DEDUCTIONS

Project	Amount
Eliminate landscaping beds at the base of streetlights	\$26,000
Eliminate pedestrian sidewalk streetlights	\$125,750
Eliminate unique neighborhood signage	\$100,000
Eliminate utility pole replacement from wood to black steel	\$24,000
Eliminate the sidewalk extension on Buntrock Avenue	\$45,000
Eliminate pavement markings on Cedarburg Rd / Mequon Rd intersection and Division Street to match Mequon Road	\$43,815
Eliminate brackets and banners on Cedarburg Road to match Mequon Road	\$5,580
Eliminate replacement furniture	\$9,200
Eliminate maintenance fund	\$25,000

Benchmarks		
Point #	Location	Elevation
5000	BM UPPER NE FLANGE BOLT	691.38
5607	BM UPPER NE FLANGE BOLT	674.81

Control Points				
Point #	Elevation	Northing (Y)	Easting (X)	Description
100	692.29	366194.55	584581.48	CP NAIL
101	689.17	366363.40	584685.85	CP NAIL
102	673.12	366212.88	585328.04	CP NAIL
103	672.79	366326.42	585619.72	CP NAIL



SURVEYOR'S NOTES

1. VERIFY ALL CONTROL POINTS, BENCHMARKS AND MONUMENTS IN THE FIELD PRIOR TO ANY CONSTRUCTION AND REPORT ANY DISCREPANCIES TO R.H. BATTERMAN IMMEDIATELY.
2. THE CONTROL POINTS, BENCHMARKS AND MONUMENTS SHOWN HEREON, WERE ESTABLISHED IN THE FIELD THROUGHOUT THE PROJECT DEVELOPMENT AS OF THE LAST DAY OF FIELD WORK HEREON.
3. CONTROL POINTS, BENCHMARKS AND MONUMENTS MAY MOVE OR SHIFT OVER TIME DUE TO WEATHER AND/OR CONSTRUCTION RELATED ACTIVITIES. ALL COORDINATES AND ELEVATIONS SHOWN HEREON WERE KNOWN TO BE ACCURATE AT THE TIME THAT THEY WERE ESTABLISHED, HOWEVER, R.H. BATTERMAN DOES NOT AND CANNOT GUARANTEE THE ACCURACY THEREAFTER AND ASSUMES NO RESPONSIBILITY TO MAINTAIN THE POINTS.
4. R.H. BATTERMAN ASSUMES NO RESPONSIBILITY FOR THE MIS-USE OR MIS-REPRESENTATION OF THE COORDINATES AND ELEVATIONS SHOWN HEREON. IT IS ADVISED THAT MULTIPLE CONTROL POINTS BE CHECKED DURING ANY CONSTRUCTION ACTIVITY AND REPORT ANY DISCREPANCIES TO R.H. BATTERMAN IMMEDIATELY.
5. LAST DAY OF FIELD WORK: DECEMBER 18, 2020
6. EXISTING RIGHT OF WAY AND PARCEL LINES ARE SHOWN FOR REFERENCE ONLY (LINEWORK IS FROM OZAUKEE COUNTY GIS). A DETAILED BOUNDARY SURVEY WAS NOT COMPLETED FOR THIS PROJECT.

DISTANCE UNITS BASED ON THE UNITED STATES SURVEY FOOT.
BEARINGS BASED ON THE WISCONSIN COUNTY COORDINATE SYSTEM,
OZAUKEE ZONE. VERTICAL DATUM BASED ON NAVD-88 (2012).



Batterman
engineers surveyors planners

2857 Barrells Drive
Beloit, Wisconsin 53511
608.365.4464
www.rhbatterman.com

ISSUANCE	
30% PLANS	2022-06-09
60% PLANS	2022-08-12
90% PLANS	2022-11-16
BD SET	2022-12-06

PROJECT OVERVIEW

NOTE: DIMENSIONAL DATA IS NOT TO BE OBTAINED BY SCALING ANY PORTION OF THE DRAWING.

MEQUON ROAD & OIT CROSSING
N BUNTROCK AVE TO N CEDARBURG RD
CITY OF MEQUON
OZAUKEE COUNTY, WISCONSIN

33803 - C2.01 - PROJECT OVERVIEW.DWG

DESIGNED BY:	MP/KC
DRAWN BY:	LC/CM
CHECKED BY:	RS
APPROVED BY:	MT
PROJECT NO.	33803

SHEET NO.

C2.01

MEQUON ROAD &
OIT CROSSING
CITY OF MEQUON
OZAUKEE COUNTY, WISCONSIN

Owner:
CITY OF MEQUON

SMITHGROUP

44 EAST MIFFLIN STREET
SUITE 500
MADISON, WI 53703
608.251.1177
www.smithgroup.com

ISSUED FOR	REV	DATE
Bld Set		12/06/2022

SEALS AND SIGNATURES

KEY PLAN
PROJECT NORTH

DRAWING TITLE
SITE LAYOUT, MATERIALS, &
PLANTING

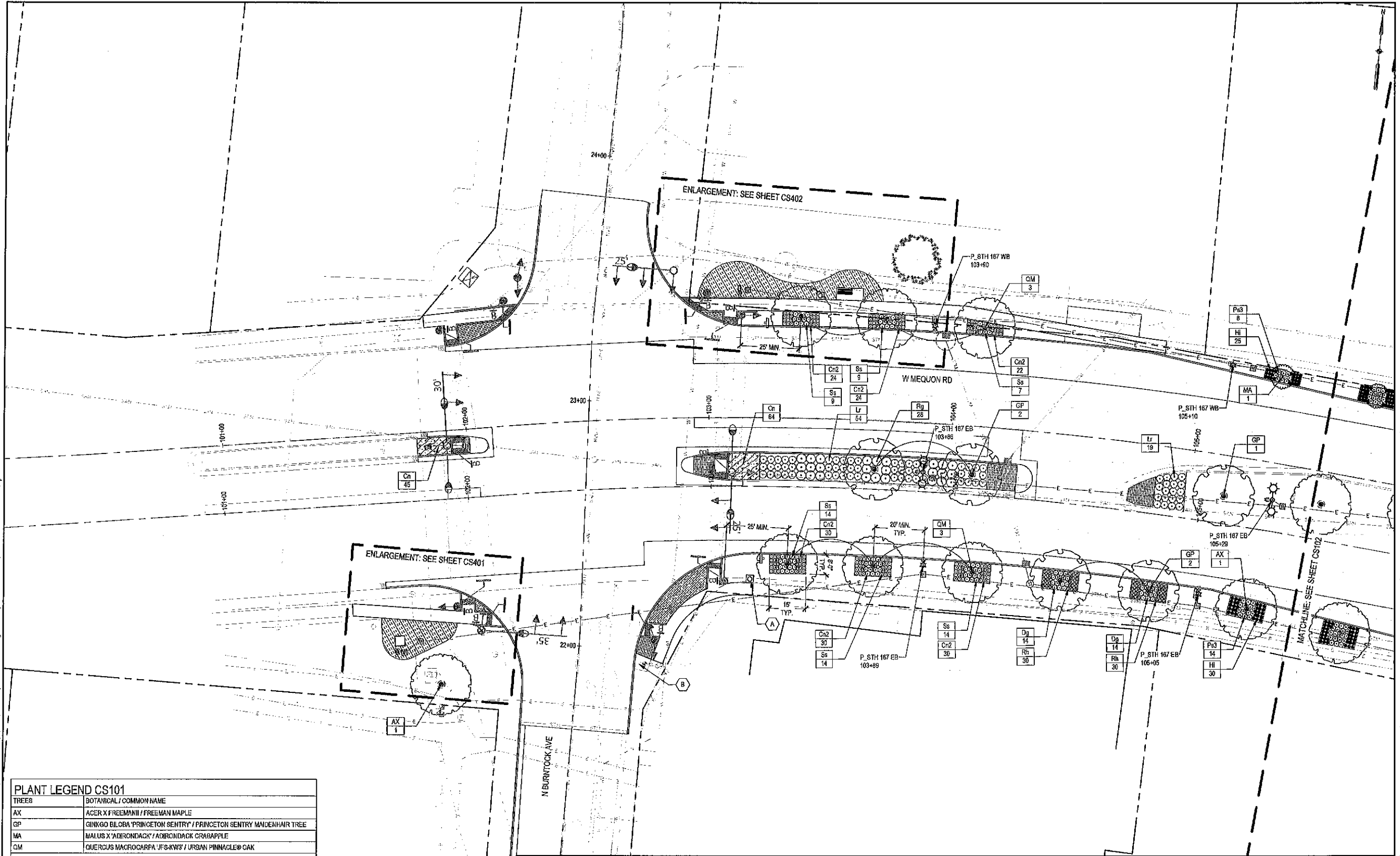
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PROJECT NUMBER
13999

DRAWING NUMBER
CS101

DRAWING NUMBER

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PLANT LEGEND CS101	
TREES	BOTANICAL / COMMON NAME
AX	ACER X FREEMANI / FREEMAN MAPLE
GP	GINKGO BILOBA 'PRINCETON SENTRY' / PRINCETON SENTRY MAIDENHAIR TREE
MA	MALUS X 'ADIRONDACK' / ADIRONDACK CRABAPPLE
QM	QUERCUS MACROCARPA 'FIS-KWIS' / URBAN PINNACLE® OAK
SHRUBS	BOTANICAL / COMMON NAME
Lr	DIERVILLA X 'G2X88544' / KODIAK® ORANGE DIERVILLA
Rg	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
PERENNIALS	BOTANICAL / COMMON NAME
Cn2	CALAMINTHA NEPETA / LESSER CALAMINT
Dg	DESCHAMPSIA CESPIOSA 'GOLDTAN' / GOLD DEW TUFTED HAIR GRASS
Hi	HEMEROCALLIS X 'HAPPY DAYS' / HAPPY DAYS DAYLILY
Pa3	PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS
Rh	RUDBECKIA HIRTA / BLACK-EYED SUSAN
Ss	SCHIZACHYRIUM SCOPARIUM 'MINNBLUEA' / BLUE HEAVEN LITTLE BLUESTEM
PERENNIAL HATCHES	BOTANICAL / COMMON NAME
Cn	CALAMINTHA NEPETA / LESSER CALAMINT

SHEET NOTES	KEYED NOTES	LEGEND
- FINAL LANDSCAPE GRADES SHALL SLOPE TO DRAIN, BE FREE OF DEPRESSIONS OR OTHER IRREGULARITIES AFTER COMPACTION OF SOIL AND INSTALLATION OF PAVEMENT, AND SHALL BE UNIFORM IN SLOPE. - FINISHED SURFACES SHALL BE SMOOTH AND EVEN WITH NO ABRUPT OR AWKWARD CHANGES IN GRADE AND SHALL TRANSITION SMOOTHLY TO EXISTING SURFACES. - ALL DISTURBED AREA SHALL BE REPAIRED OR REPLACED IN KIND. CONTRACTOR SHALL INSTALL LAWN UP TO LIMITS OF DISTURBANCE UNLESS PLANS INDICATE OTHERWISE. - EXISTING TREES WITHIN NEW NEW CONSTRUCTION AREAS SHALL BE PROTECTED IN PLACE. - TREES IN MEDIANS SHALL BE CENTERED NORTH/SOUTH BETWEEN EDGES OF CONCRETE. - TREES IN TERRACES SHALL BE CENTERED IN PLANTING BED AND A MINIMUM 3' OFF FACE OF CURB. - CONTRACTOR TO FIELD VERIFY PLACEMENT OF TREES AND MAKE MINOR ADJUSTMENTS TO AVOID UTILITY CONFLICTS. - LOCATE CENTER OF LIGHTS 2' OFF FACE OF CURB WHERE POSSIBLE IN TERRACES AND CENTER LIGHTS IN MEDIAN. - ALL LANDSCAPE BEDS SHALL HAVE SHOVEL CUT EDGES. - SEE SHEET LP501 - LANDSCAPE DETAILS & PLANTING SCHEDULE FOR SUMMARY PLANTING SCHEDULE & PLANTING DETAILS. - ALL PLANTING BEDS SHALL HAVE 6" DEPTH OF TOPSOIL, IF THERE ARE DISCREPANCIES BETWEEN TOPSOIL DEPTH IN PLANS AND SPECS, THIS NOTE SHALL SUPERSEDE. - ALL LAWN & DISTURBED AREAS SHALL HAVE 6" DEPTH OF TOPSOIL, IF THERE ARE DISCREPANCIES BETWEEN TOPSOIL DEPTH IN PLANS AND SPECS, THIS NOTE SHALL SUPERSEDE. - HATCH PATTERNS ARE FOR REFERENCE ONLY. HATCHES DO NOT REPRESENT DIRECTIONAL LAYOUT OR PATTERN OF MATERIALS.	(A) LITTER RECEPTACLE (B) EXISTING PAVERS TO BE SAVED AND RESET (C) CS504	PROPERTY LINE, APPROXIMATE, BASED ON GIS INFORMATION LAWN, WISDOT TYPE 40 MIX PAVERS, SEE CIVIL. ADJUST PAVEMENT LAYOUT TO MAXIMIZE USE OF FULL PAVERS AND AVOID UNNECESSARY CUTS MULCH, INCIDENTAL TO PLANTING LIGHT L1, SEE ELECTRICAL LIGHT L2, SEE ELECTRICAL SIGN, SEE CIVIL

MEQUON ROAD &
OIT CROSSING

CITY OF MEQUON
OZAUKEE COUNTY, WISCONSIN

Owner:
CITY OF MEQUON

SMITHGROUP

44 EAST MIFFLIN STREET
SUITE 500
MADISON, WI 53703
608.251.1177
www.smithgroup.com

PLANT LEGEND CS103	
TREES	BOTANICAL / COMMON NAME
AX	ACER X FREEMANI / FREEMAN MAPLE
MA	MALUS X 'ADIRONDACK' / ADIRONDACK CRABAPPLE
PA	PLATANUS X ACERIFOLIA 'MORTON CIRCLE' / EXCLAMATION!™ LONDON PLANE TREE
QM	QUERCUS MACROCARPA 'JFS-KWS' / URBAN PINNACLE® OAK
SR	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE ULAC
TS	TILIA TOMENTOSA 'STERLING' / STERLING SILVER LINDEN
SHRUBS	BOTANICAL / COMMON NAME
Lr	DIERVILLA X 'G2X86544' / KODIAK® ORANGE DIERVILLA
Rg	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
PERENNIALS	BOTANICAL / COMMON NAME
Ck	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER' / KARL FOERSTER FEATHER REED GRASS
Cn2	CALAMINtha NEPETA / LESSER CALAMINT
Dg	DESCHAMPSIA CESPIITOSA 'GOLDTAW' / GOLD DEW TUFTED HAIR GRASS
Hi	HEMEROCALLIS X 'HAPPY DAYS' / HAPPY DAYS DAYLILY
Nw	NEPETA X 'WALKER'S LOW' / WALKER'S LOW CATMINT
Pg3	PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS
Rh	RUDBECKIA HIRTA / BLACK-EYED SUSAN
Sn	SCHIZACHYRIUM SCOPARIUM 'MINNBLUEA' / BLUE HEAVEN LITTLE BLUESTEM
PERENNIAL HATCHES	BOTANICAL / COMMON NAME
Cn	CALAMINtha NEPETA / LESSER CALAMINT

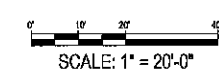
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SEALS AND SIGNATURES

KEY PLAN



DRAWING TITLE
SITE LAYOUT, MATERIALS, &
PLANTING



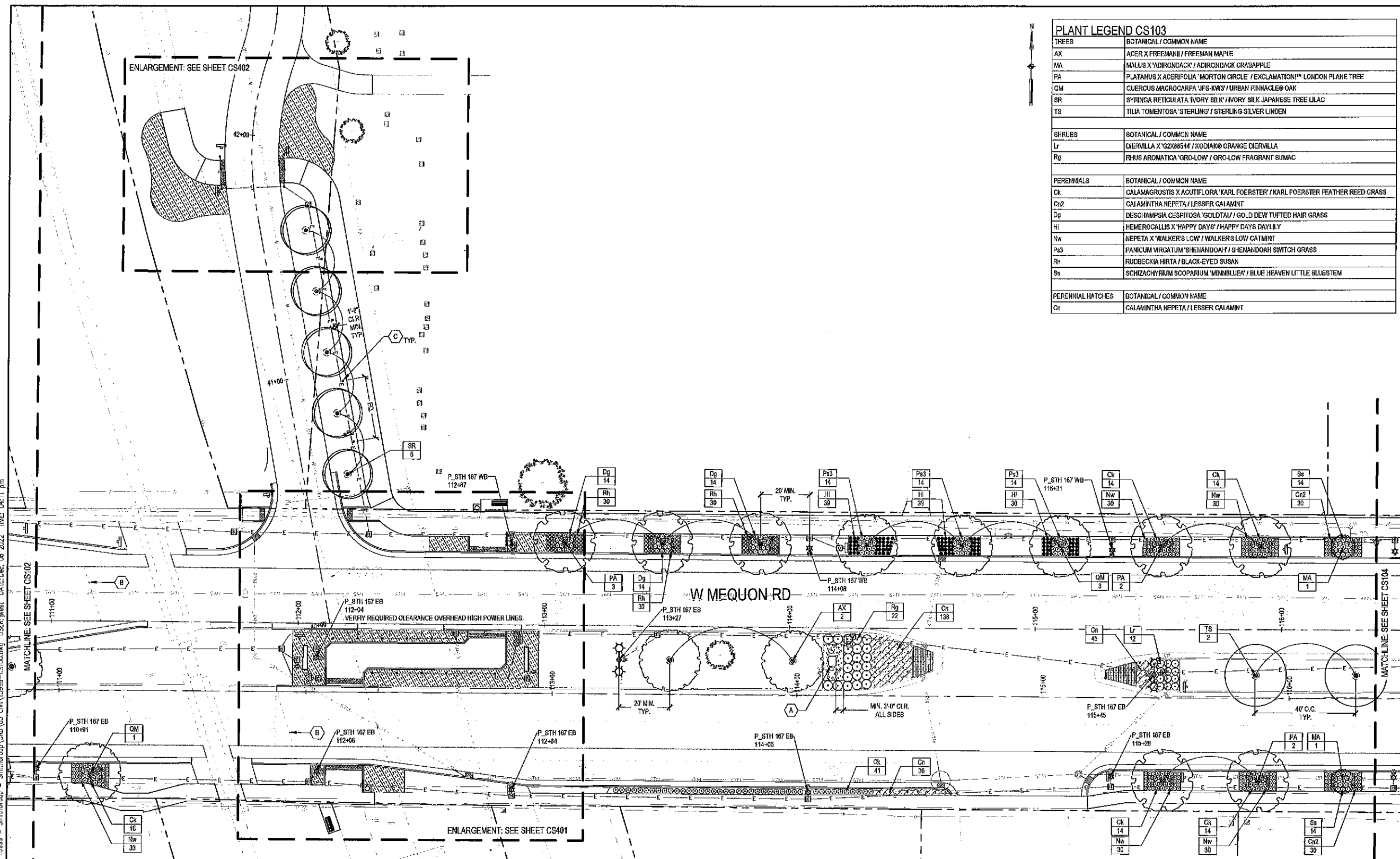
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CS103

DRAWING NUMBER

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SHEET NOTES

- | | | | |
|----|---|-----|--|
| 1. | FINAL LANDSCAPE GRADES SHALL SLOPE TO DRAIN, BE FREE OF DEPRESSIONS OR OTHER IRREGULARITIES AFTER COMPACTION OF SOIL AND INSTALLATION OF PAVEMENT, AND SHALL BE UNIFORM IN SLOPE. | 8. | CONTRACTOR TO FIELD VERIFY PLACEMENT OF TREES AND MAKE MINOR ADJUSTMENTS TO AVOID UTILITY CONFLICTS. |
| 2. | FINISHED SURFACES SHALL BE SMOOTH AND EVEN WITH NO ABRUPT OR ARKWARD CHANGES IN GRADE AND SHALL TRANSITION SMOOTHLY TO EXISTING SURFACES. | 9. | LOCATE CENTER OF LIGHTS 2' OFF FACE OF CURB WHERE POSSIBLE IN TERRACES AND CENTER LIGHTS IN MEDIAN. |
| 3. | ALL DISTURBED AREA SHALL BE REPAIRED OR REPLACED IN KIND. CONTRACTOR SHALL INSTALL LAWN UP TO LIMITS OF DISTURBANCE UNLESS PLANS INDICATE OTHERWISE. | 10. | ALL LANDSCAPE BEDS SHALL HAVE SHOULDER CUT EDGES. |
| 4. | EXISTING TREES WITHIN NEW NEW CONSTRUCTION AREAS SHALL BE PROTECTED IN PLACE. | 11. | SEE SHEET LPS01 - LANDSCAPE DETAILS & PLANTING SCHEDULE FOR SUMMARY PLANTING SCHEDULE & PLANTING DETAILS. |
| 5. | TREES IN MEDIANS SHALL BE CENTERED NORTHSOUTH BETWEEN EDGES OF CONCRETE. | 12. | ALL PLANTING BEDS SHALL HAVE 6" DEPTH OF TOPSOIL. IF THERE ARE DISCREPANCIES BETWEEN TOPSOIL DEPTH IN PLANS AND SPECS, THIS NOTE SHALL SUPERSEDE. |
| 6. | TREES IN TERRACES SHALL BE CENTERED IN PLANTING BED AND A MINIMUM 3' OFF FACE OF CURB. | 13. | ALL LAWN & DISTURBED AREAS SHALL HAVE 6" DEPTH OF TOPSOIL. IF THERE ARE DISCREPANCIES BETWEEN TOPSOIL DEPTH IN PLANS AND SPECS, THIS NOTE SHALL SUPERSEDE. |
| | | 14. | HATCH PATTERNS ARE FOR REFERENCE ONLY. HATCHES DO NOT REPRESENT DIRECTIONAL LAYOUT OR PATTERN OF MATERIALS. |

KEYED NOTES

- | | |
|---|--|
| A | APPROXIMATE LOCATION OF PROPOSED UTILITY BOX |
| B | APPROXIMATE RAILROAD RIGHT OF WAY |
| G | BOLLARD L3 |

LEGEND

- | | |
|---|---|
| --- | PROPERTY LINE, APPROXIMATE, BASED ON GIS INFORMATION |
|  | LAWN, WISDOT TYPE 40 MIX |
|  | PAVERS, SEE CIVIL, ADJUST PAVEMENT LAYOUT TO MAXIMIZE USE OF FULL PAVERS AND AVOID UNNECESSARY CUTS |
|  | MULCH, INCIDENTAL TO PLANTING |
|  | LIGHT L1, SEE ELECTRICAL |
|  | LIGHT L2, SEE ELECTRICAL |
|  | SIGN, SEE CIVIL |

MEQUON ROAD & OIT CROSSING

CITY OF MEQUON
OZAUKEE COUNTY, WISCONSIN

Owner:
CITY OF MEQUON

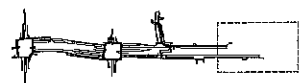
SMITHGROUP

44 EAST MIFFLIN STREET
SUITE 600
MADISON, WI 53703
608.261.1177
www.smithgroup.com

ISSUED FOR	REV	DATE
Old Set		12/06/2022

SEALS AND SIGNATURES

KEY PLAN



DRAWING TITLE
SITE LAYOUT, MATERIALS, & PLANTING

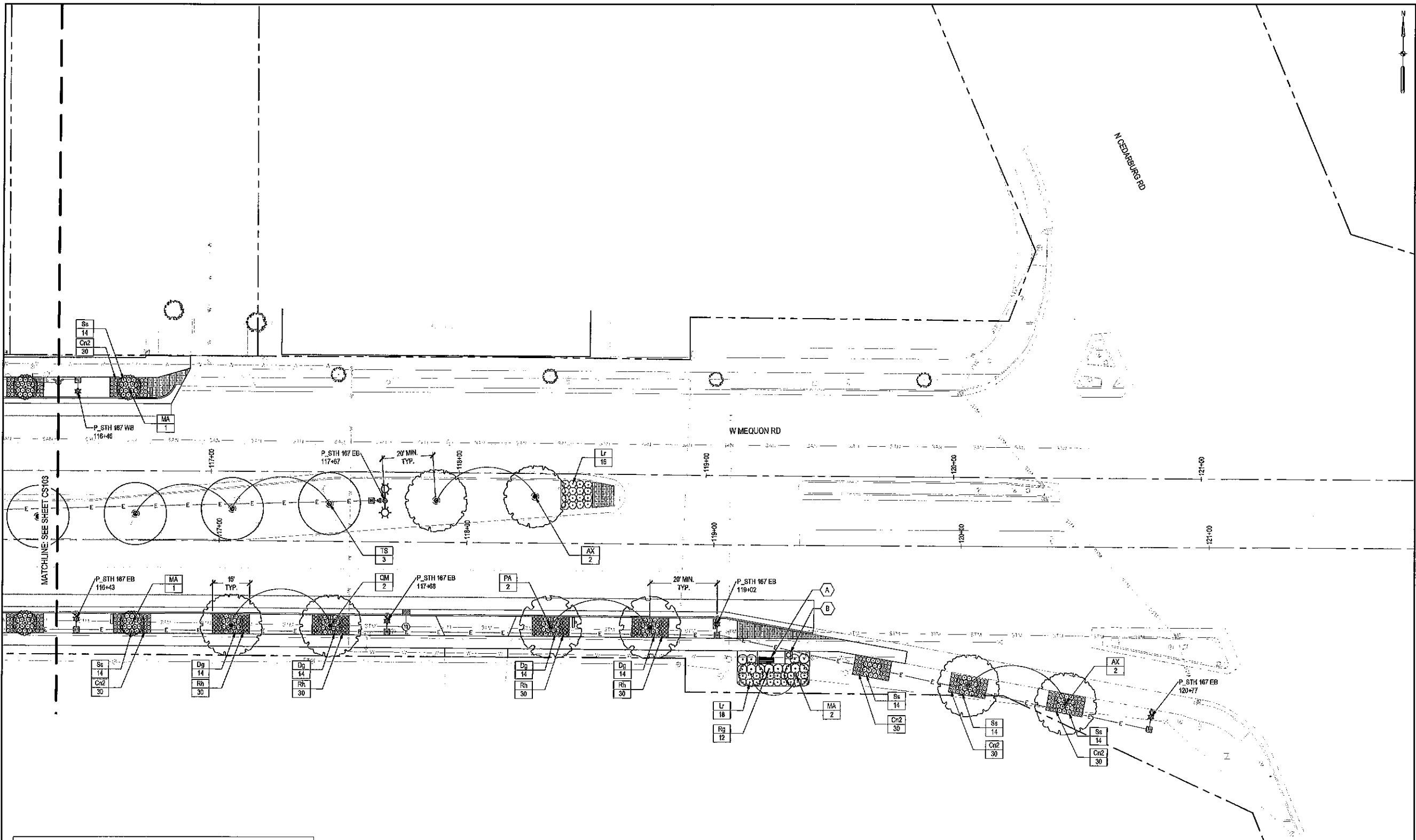
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PROJECT NUMBER 13999

DRAWING NUMBER CS104

DRAWING NUMBER

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PLANT LEGEND CS104

TREES	BOTANICAL / COMMON NAME
AX	ACER X FREEMANII / FREEMAN MAPLE
MA	MALUS X 'ADIRONDACK' / ADIRONDACK CRABAPPLE
PA	PLATANUS X ACERIFOLIA 'MORTON CIRCLE' / EXCLAMATION™ LONDON PLANE TREE
QM	QUERCUS MACROCARPA 'JFS-KW3' / URBAN PINNACLE® OAK
TS	TILIA TOMENTOSA 'STERLING' / STERLING SILVER LINDEN
SHRUBS	BOTANICAL / COMMON NAME
Lr	DIERVILLA X 'G2X8854K' / KODIAK® ORANGE DIERVILLA
Rg	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
PERENNIALS	BOTANICAL / COMMON NAME
Cn2	CALAMINTHA NEPETA / LESSER CALAMINT
Dg	DESCHAMPSIA CESPITOSA 'GOLDTAU' / GOLD DEW TUFTED HAIR GRASS
Rh	RUDBECKIA HIRTA / BLACK-EYED SUSAN
Ss	SCHIZACHYRIUM SCOPARIUM 'MINIBLUE' / BLUE HEAVEN LITTLE BLUESTEM

SHEET NOTES

- FINAL LANDSCAPE GRADES SHALL SLOPE TO DRAIN, BE FREE OF DEPRESSIONS OR OTHER IRREGULARITIES AFTER COMPACTION OF SOIL AND INSTALLATION OF PAVEMENT, AND SHALL BE UNIFORM IN SLOPE.
- FINISHED SURFACES SHALL BE SMOOTH AND EVEN WITH NO ABRUPT OR AWKWARD CHANGES IN GRADE AND SHALL TRANSITION SMOOTHLY TO EXISTING SURFACES.
- ALL DISTURBED AREA SHALL BE REPAIRED OR REPLACED IN KIND.
- CONTRACTOR SHALL INSTALL LAWN UP TO LIMITS OF DISTURBANCE UNLESS PLANS INDICATE OTHERWISE.
- EXISTING TREES WITHIN NEW CONSTRUCTION AREAS SHALL BE PROTECTED IN PLACE.
- TREES IN MEDIANS SHALL BE CENTERED NORTHSOUTH BETWEEN EDGES OF CONCRETE.
- TREES IN TERRACES SHALL BE CENTERED IN PLANTING BED AND A MINIMUM 3' OFF FACE OF CURB.
- CONTRACTOR TO FIELD VERIFY PLACEMENT OF TREES AND MAKE MINOR ADJUSTMENTS TO AVOID UTILITY CONFLICTS.
- LOCATE CENTER OF LIGHTS 2' OFF FACE OF CURB WHERE POSSIBLE IN TERRACES AND CENTER LIGHTS IN MEDIAN.
- ALL LANDSCAPE BEDS SHALL HAVE SHOVEL CUT EDGES.
- SEE SHEET LP601 - LANDSCAPE DETAILS & PLANTING SCHEDULE FOR SUMMARY PLANTING SCHEDULE & PLANTING DETAILS.
- ALL PLANTING BEDS SHALL HAVE 6" DEPTH OF TOPSOIL. IF THERE ARE DISCREPANCIES BETWEEN TOPSOIL DEPTH IN PLANS AND SPECS, THIS NOTE SHALL SUPERSEDE.
- ALL LAWN & DISTURBED AREAS SHALL HAVE 6" DEPTH OF TOPSOIL. IF THERE ARE DISCREPANCIES BETWEEN TOPSOIL DEPTH IN PLANS AND SPECS, THIS NOTE SHALL SUPERSEDE.
- HATCH PATTERNS ARE FOR REFERENCE ONLY. HATCHES DO NOT REPRESENT DIRECTIONAL LAYOUT OR PATTERN OF MATERIALS.

KEYED NOTES

- A BENCH
 B LITTER RECEPTACLE

- 1 CS504
 2 CS504

LEGEND

- PROPERTY LINE, APPROXIMATE, BASED ON GIS INFORMATION
 LAWN, WISDOT TYPE 40 MIX
 PAVERS, SEE CIVIL. ADJUST PAVEMENT LAYOUT TO MAXIMIZE USE OF FULL PAVERS AND AVOID UNNECESSARY CUTS
 MULCH, INCIDENTAL TO PLANTING
 LIGHT L1, SEE ELECTRICAL
 LIGHT L2, SEE ELECTRICAL
 SIGN, SEE CIVIL

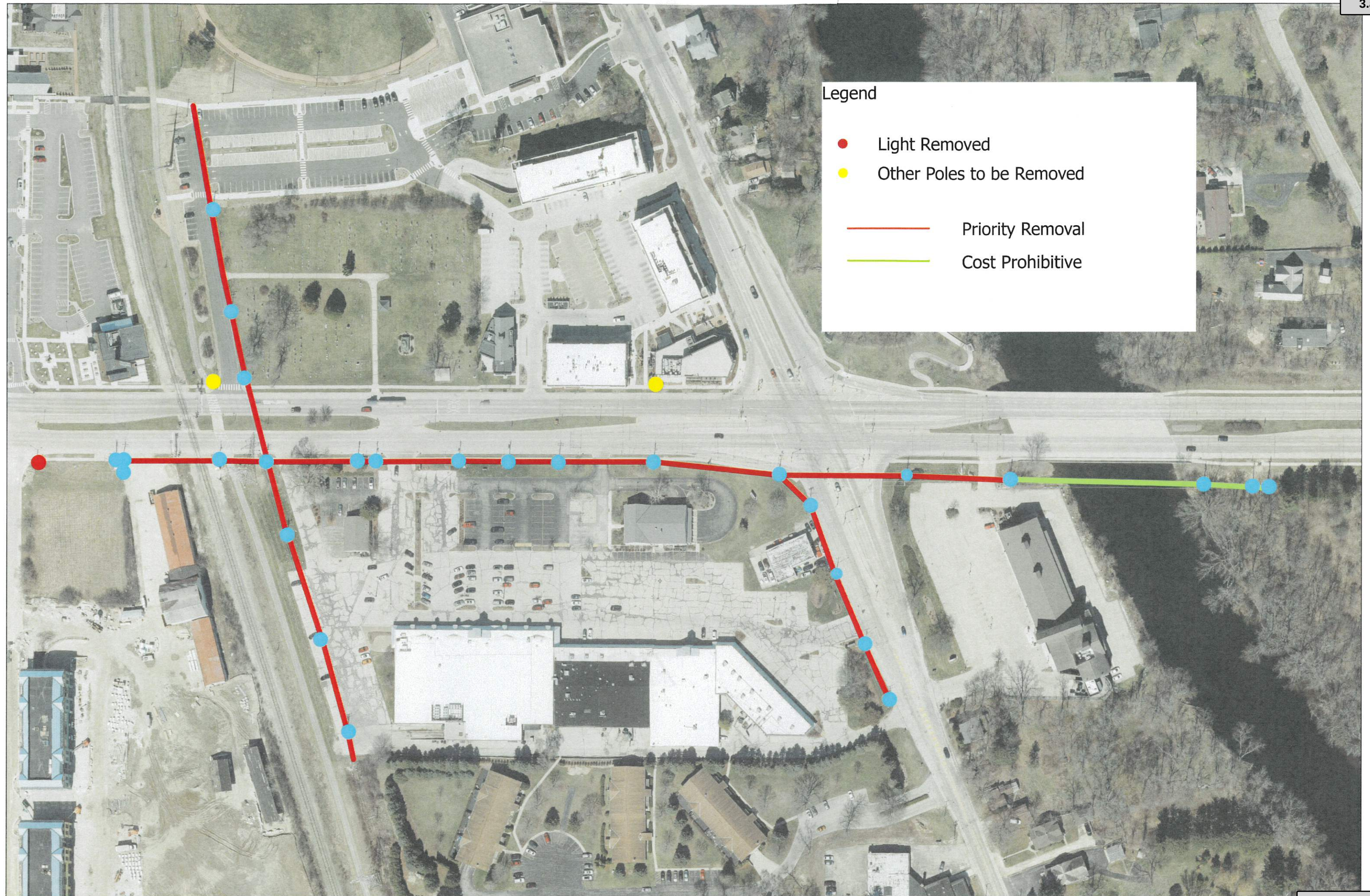


EXHIBIT H: SMA (WisDOT)

	1st Revision STATE/MUNICIPAL FINANCIAL AGREEMENT FOR A STATE- LET HIGHWAY PROJECT <i>This agreement supersedes the agreement signed by the Municipality on January 11, 2022 and signed by the State on January 14, 2022.</i>	Revised Date: January 25, 2023 Date: October 19, 2021 I.D.:2697-00-07/58/77 Road Name: STH 167 Title: C MEQUON, W MEQUON ROAD Limits: BUNTROCK AVE TO STH57 County: Ozaukee Roadway Length: 0.35 miles
---	---	--

The signatory **City of Mequon**, hereinafter called the Municipality, through its undersigned duly authorized officers or officials, hereby requests the State of Wisconsin Department of Transportation, hereinafter called the State, to initiate and affect the highway or street improvement hereinafter described.

The authority for the Municipality to enter into this agreement with the State is provided by Section 86.25(1), (2), and (3) of the Statutes.

NEEDS AND ESTIMATE SUMMARY:

Existing Facility - Describe and give reason for request: Improvement of a Connecting Highway

Proposed Improvement - Nature of work: Resurfacing.

Describe non-participating work included in the project and other work necessary to finish the project completely which will be undertaken independently by the municipality: A nominal amount is included to cover items in paragraph 4 (to be adjusted in the final plan).

TABLE 1: SUMMARY OF COSTS

Phase	Total Est. Cost	Federal/State Funds	%	Municipal Funds	% *
Preliminary Engineering: Plan Development	\$ 131,000	\$ 98,250	75%	\$ 32,750	25%
Railroad Signals/Preemption	\$ 505,000	\$ -	0%	\$ 505,000	100%
Real Estate Acquisition: Acquisition	\$ -	\$ -	100%	\$ -	0%
Compensable Utilities	\$ -	\$ -	0%	\$ -	100%
Construction: Participating	\$ 550,000	\$ 550,000	100%	\$ -	0%
Non-Participating		\$ -	0%	\$ -	100%

Total Cost Distribution \$ 1,186,000 \$ 648,250 \$ 537,750

1 Estimates include construction engineering

This request shall constitute agreement between the Municipality and the State; is subject to the terms and conditions that follow (pages [2] – [3]); is made by the undersigned under proper authority to make such request for the designated Municipality, upon signature by the State and delivery to the Municipality. The initiation and accomplishment of the improvement will be subject to the applicable federal and state regulations. No term or provision of neither the State/Municipal Financial Agreement nor any of its attachments may be changed, waived or terminated orally but only by an instrument in writing executed by both parties to the State/Municipal

Financial Agreement.

Signed for and in behalf of the City of Mequon (please sign in blue ink)	
Name (print)	Title
Signature	Date
Signed for and in behalf of the State (please sign in blue ink)	
Name Tony Barth	Title WisDOT SE Region Planning Chief
Signature	Date

TERMS AND CONDITIONS:

1. The Municipality shall pay to the State all costs incurred by the State in connection with the improvement which exceeds federal/state financing commitments or are ineligible for federal/state financing. Local participation shall be limited to the items and percentages set forth in the Summary of Costs table, which shows Municipal funding participation. In order to guarantee the Municipality's foregoing agreements to pay the State, the Municipality, through its above duly authorized officers or officials, agrees and authorizes the State to set off and withhold the required reimbursement amount as determined by the State from General Transportation Aids or any moneys otherwise due and payable by the State to the Municipality.
2. Funding of each project phase is subject to inclusion in an approved program and per the State's Facility Development Manual (FDM) standards. Federal aid and/or state transportation fund financing will be limited to participation in the costs of the following items as specified in the Summary of Costs:
 - (a) Design engineering and state review services.
 - (b) Real Estate necessitated for the improvement.
 - (c) Railroad force work necessitated for the project.
 - (d) The grading, base, pavement, curb and gutter, and structure costs to State standards, excluding the cost of parking areas.
 - (e) Storm sewer mains, culverts, laterals, manholes, inlets, catch basins, and connections for surface water drainage of the improvement; including replacement and/or adjustments of existing storm sewer manhole covers and inlet grates as needed.
 - (f) Construction engineering incidental to inspection and supervision of actual construction work, except for inspection, staking, and testing of sanitary sewer and water main.
 - (g) Signing and pavement marking necessitated for the safe and efficient flow of traffic, including detour routes.
 - (h) Replacement of existing sidewalks necessitated by construction and construction of new sidewalk at the time of construction. Sidewalk is considered to be new if it's constructed in a location where it has not existed before.
 - (i) Replacement of existing driveways, in kind, necessitated by the project.
 - (j) New installations or alteration resulting from roadway construction of standard State street lighting and traffic signals or devices. Alteration may include salvaging and replacement of existing components.

3. Work necessary to complete the improvement to be financed entirely by the Municipality or other utility or facility owner includes the following items:
 - (a) New installations of or alteration of sanitary sewers and connections, water, gas, electric, telephone, telegraph, fire or police alarm facilities, parking meters, and similar utilities.
 - (b) New installation or alteration of signs not necessary for the safe and efficient flow of traffic.
 - (c) Roadway and bridge width in excess of standards.
 - (d) Compensable utilities necessitated for the project.
 - (e) Construction inspection, staking, and material testing and acceptance for construction of sanitary sewer and water main.
 - (f) Provide complete plans, specifications, and estimates for sanitary sewer and water main work. The Municipality assumes full responsibility for the design, installation, inspection, testing, and operation of the sanitary sewer and water system. This relieves the State and all of its employees from the liability for all suits, actions, or claims resulting from the sanitary sewer and water system construction.
 - (g) Parking lane costs.
 - (h) Coordinate, clean up, and fund any hazardous materials encountered during construction. All hazardous material cleanup work shall be performed in accordance to state and federal regulations.
 - (i) Damages to abutting property due to change in street or sidewalk widths, grades, or drainage.
 - (j) Conditioning, if required, and maintenance of detour routes.
 - (k) Repair of damages to roads or streets caused by reason of their use in hauling materials incidental to the improvement.
4. As the work progresses, the Municipality will be billed for work completed which is not chargeable to federal/state funds. Upon completion of the project, a final audit will be made to determine the final division of costs.
5. If the Municipality should withdraw the project, it shall reimburse the State for any costs incurred by the State in behalf of the project.
6. The work will be administered by the State and may include items not eligible for federal/state participation.
7. The Municipality shall assume general responsibility for all public information and public relations for the project and to make a fitting announcement to the press and such outlets as would generally alert the affected property owners and the community of the nature, extent, and timing of the project and arrangements for handling traffic within and around the projects.
8. Basis for local participation:
 - (a) Funding for preliminary engineering for a connecting highway 75% State 25% Municipal
 - (b) Funding for railroad crossing signals and preemption 100 Municipal
 - (c) Funding for construction of standard roadway items – 100% State.

Comments and Clarification: This agreement is an active agreement that may need to be amended as the project is designed. It is understood that these amendments may be needed as some issues have not been fully evaluated or resolved. The purpose of this agreement is to specify the local and state involvement in funding the project. A signed agreement is required before the State will prepare or participate in the preparation of detailed designs, acquire right-of-way, or participate in construction of a project that merits local involvement.