



11333 N. Cedarburg Road  
Mequon, WI 53092-1930  
Phone: 262/242-3100

[www.cityofmequonwi.gov](http://www.cityofmequonwi.gov)

Parks and Forestry Department

**PARK AND OPEN SPACE BOARD  
Regular Meeting  
Wednesday, June 17, 2026 - 6:30 PM  
South Conference Room**

**Agenda**

- 1) Call to Order and Roll Call**
- 2) Approval of Meeting Minutes**
  - a) Meeting minutes of May 20, 2026
- 3) Personal Appearances and Public Comment**

Citizens wishing to address the POSB on any matter not on the agenda may do so at this time. If you desire to be heard on agenda items, you may be heard when the item is considered on the agenda. The time limit is FIVE minutes. To speak or to have your opinion recorded, please complete a registration slip found on the table in the lobby and return it to the bin in the South Conference Room.
- 4) Action Items**
  - a) Building and Site Plan and Conditional Use Grant: Rotary Playground
- 5) Discussion Items**
  - a) 2027 Park Capital Budget Review
- 6) Informational Items**
  - a) Emerald Ash Borer (EAB) Program Update
- 7) Work Plan**
  - a) 2026 Work Plan (June 17, 2026)
- 8) Adjourn**

DATED: June 12, 2026

/s/ Jason Cain, Chair

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Notice is hereby given that a quorum of other governmental bodies may be present at this meeting to present, discuss and/or gather information about a subject over which they have decision-making responsibility, although they will not take formal action thereto at this meeting. Persons with disabilities requiring accommodation for attendance at this meeting should contact the City Clerk's Office at 262-236-2914, twenty-four (24) hours in advance of the meeting. Any questions regarding this agenda may be directed to the City Clerk's Office at 262-236-2914, Monday through Friday, 8:00 AM – 4:30 PM.



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Parks and Forestry Department

**PARK AND OPEN SPACE BOARD  
Regular Meeting  
Wednesday, May 20, 2026 - 6:30 PM  
South Conference Room**

**Minutes**

**1) Call to Order and Roll Call**

This meeting was called to order by Board Member James Lysaught at 6:33 p.m.

**Present:**

Chair Jason Cain, **Excused**  
Alderman Peter Bratt, **Excused**  
Board Member Harlan Balkansky  
Board Member Steven Kulick  
Board Member James Lysaught  
Board Member David Schlageter  
Board Member Gerald Vite  
Vice Chair David Wolfson, **Excused**  
Alderman Dale Mayr, **Excused**

Also Present: Director of Public Works/City Engineer Lundeen, DPW Administrative Assistant Honeck

**2) Approval of Meeting Minutes**

a) Meeting minutes of April 22, 2026

<b>MOTION:</b>	Approval of April 22, 2026 Minutes
<b>MOVER:</b>	Board Member Harlan Balkansky
<b>SECONDER:</b>	Board Member Steven Kulick
<b>AYES:</b>	Board Member Harlan Balkansky, Board Member Steven Kulick, Board Member James Lysaught, Board Member David Schlageter, Board Member Gerald Vite

<b>NAYS:</b>	None
<b>RESULT:</b>	Approved by Voice Acclamation [Unanimous]

**3) Action Items**

- a) A Resolution Authorizing the following items: A) A Land Lease for One Dollar Annually to the Thiensville-Mequon Rotary Foundation for the Construction of the Rotary Park Playground Until June 1, 2028; and B) A Development and Donation Agreement with the Thiensville-Mequon Rotary Foundation for the Rotary Park Playground

Director of Public Works/City Engineer Lundeen provided an overview of the proposed land lease and accompanying development and donation agreement with the Thiensville-Mequon Rotary Foundation for construction of a new all-inclusive playground at Rotary Park. The land lease would allow Rotary to use a defined portion of Rotary Park through June 1, 2028, for the purposes of construction. The development and donation agreement outlines responsibilities for construction, future approvals, and the transfer of the completed playground to the City following a three-year maintenance period. Board members discussed project scope, anticipated construction timeline, impacts on existing park operations, approvals still required, and insurance and maintenance expectations.

<b>MOTION:</b>	Approval of Resolution
<b>MOVER:</b>	Board Member Harlan Balkansky
<b>SECONDER:</b>	Board Member James Lysaught
<b>AYES:</b>	Board Member Harlan Balkansky, Board Member Steven Kulick, Board Member James Lysaught, Board Member David Schlageter, Board Member Gerald Vite
<b>NAYS:</b>	None
<b>RESULT:</b>	Approved by Voice Acclamation [Unanimous]

**4) Discussion Items**

- a) Mequon Commons

Director of Public Works/City Engineer Lundeen provided an update on the recently adopted Mequon Commons Master Plan, which outlines the long-term vision for the civic campus area surrounding City Hall, the library, and adjacent park facilities. Lundeen explained that following adoption of the master plan, the Common Council directed issuance of a Request for Proposals (RFP) for design and development plans for Phase One. This phase encompasses the area south of the library parking lot and includes the future pool house, aquatic facility, Redbud Plaza, and ADA and site upgrades in front of City Hall. Lundeen detailed the scope of the RFP, including

requirements for architectural concepts, landscaping plans, cost estimates, utility needs, and long-term operational and maintenance projections.

**5) Work Plan**

- a) 2026 Work Plan (May 20, 2026)

**6) Adjourn**

Motion to adjourn at 7:18 p.m.

<b>MOTION:</b>	Adjourn
<b>MOVER:</b>	Board Member Gerald Vite
<b>SECONDER:</b>	Board Member Steven Kulick
<b>AYES:</b>	Board Member Harlan Balkansky, Board Member Steven Kulick, Board Member James Lysaught, Board Member David Schlageter, Board Member Gerald Vite
<b>NAYS:</b>	None
<b>RESULT:</b>	Approved by Voice Acclamation [Unanimous]

Respectfully Submitted,  
Kaitlynn Honeck  
DPW Administrative Assistant



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Fax: 262/242-9655

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**Engineering**

**TO: Park and Open Space Board**  
**FROM: Kristen Lundeen, Director Public Works/City Engineer**  
**DATE: June 17, 2026**  
**SUBJECT: Building and Site Plan and Conditional Use Grant: Rotary Playground**

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### **Background**

In May, the Park and Open Space Board (POSB) recommended approval of the land lease and development and donation agreements for the Rotary Playground. Those legal documents were further recommended for approval by the Committee of the Whole and ultimately approved by the Common Council at the meetings on June 9.

The next step is for the POSB and Planning Commission (PC) to take action on the Building and Site Plan (BSP) and Conditional Use Grant (CUG) approvals. The BSP is the opportunity for POSB to confirm that the proposed improvements align with Park Division plans and the CUG is required by Code and ultimately grants the use for the playground within the park itself. The PC will review the BSP and CUG for conformance to City standards and ordinances.

Further approvals are anticipated for:

- Master Sign Plan
- Stormwater/Green Infrastructure (dependent on calculation of increase in impervious surface)
- Erosion Control Permit
- Fill/Excavation/Berm Permit (if applicable)
- Construction Permit(s) (such as building, plumbing, electrical, HVAC)
- Sign Permits

### **Analysis**

#### *Building and Site Plan Approval*

Per the City of Mequon Code of Ordinances, Section 58-108(a), "No commercial, industrial, institutional, park, or multi-family residential structure or facility (except single-family and two-family dwellings) shall hereafter be erected, moved, reconstructed, extended, enlarged, altered or changed until the planning commission has reviewed and approved plans for the site and structure. The planning commission shall not approve any plans unless they find after review and

study of the application that the use or structure, as planned, will not violate the intent and purposes of this division." Therefore, the Rotary Foundation has made an application for BSP approval for the all inclusive playground. Please see the attached plans.

The PC parameters for review are defined in Section 58-108(c) and 58-109(2). It is anticipated that the PC will offer a favorable recommendation for the approval of the BSP. Typically that will include conditions of approval, such as the list of subsequent approvals required for the project (permitting, etc) and any plan elements that should be adjusted prior to implementation.

The POSB should review the BSP application and consider whether to recommend that any further conditions be placed on the playground installation; Park staff is not recommending any specific conditions outside of those defined in the legal documents.

#### *Conditional Use Grant Approval*

Playgrounds are considered a condition use within the P-1 Park and Recreation zoning district, per Section 58-354(d)(1). Therefore the Rotary Foundation has made an application for the playground to be considered for a CUG. As a part of the CUG process, the PC will determine "the potential effect of such use on the health, general welfare, safety and economic impact of the city and the immediate neighborhood. Specific consideration shall be given to the proposed conditional use grant's effect on the movement of traffic, environment, area aesthetics, city services and precedent of future development" (Section 58-87(b)). It is anticipated that the PC will offer a favorable recommendation for the approval of the CUG.

If the POSB determines that any additional conditions related to the use, hours of operation, etc. should be placed on the playground exclusive of those placed on Rotary Park, it can make those recommendations to be included for consideration when the Planning Commission acts on the request. Per Section 58-87(d):

Zoning regulations and standards established in this article may be modified or waived by the planning commission in their application to a permitted conditional use if in the planning commission's or board's opinion such regulations and standards are not appropriate or necessary to the proper regulation of such use, and where such modification or waiver would not, in the planning commission's or board's opinion, result in an adverse effect upon the surrounding properties. If no modification or waiver is granted, the proposed use shall conform to the building location, floor area ratio, parking, landscaping, lot width, setback, offset, height, building size, lot size, and open space regulations of the district in which it is located.

As there is already a playground in this location, staff is not recommending any specific conditions of CUG approval.

As noted, a series of permits and other approvals will be administered at a staff level for the project, after BSP and CUG approval are granted.

#### **Fiscal Impact**

The Rotary Foundation is funding both the construction and an endowment for future maintenance of the playground. While the infrastructure will eventually be donated and accepted as a City asset, which obligates the City to future replacement cost, there is no direct fiscal impact to the BSP and CUG approvals.

**Recommendation**

Staff recommends that the Park and Open Space Board review and consider approval of the Building and Site Plan and Conditional Use Grant for the proposed Rotary Playground. The Planning Commission will consider approval of the same at its meeting on June 22.

Attachments:

Project Description, Mequon Rotary Park Family Toilet Room, Rotary Park Site Development Plans - PC Submittal

Project Description:

Located in the scenic 95-acre Mequon Rotary Park, the All-User Playground will be adjacent to the south pavilion at 4100 Highland Road in Mequon.

Designed by Gerber Leisure and Harwood Engineering, the playground will feature a large central structure with ramps, slides, and climbing elements. Surrounding it will be swings—including a wheelchair-accessible swing—sliders, archways, mounds, exercise equipment, and a variety of other play structures. The design also includes internal pathways, landscaping, benches, and shaded rest areas, all thoughtfully integrated to complement the park's natural landscape. Additional enhancements include a safe entrance, perimeter barriers, improved pathways leading to the playground, and upgraded restrooms.

To keep children engaged as they grow, the playground will offer multiple swings and climbing structures at varying heights, providing new challenges over time.

The state-of-the-art playground equipment is custom-made specifically for this site, prioritizing safety, durability, and longevity. Unlike pre-engineered sets, nearly all components are constructed from steel and other metals, with minimal plastic use. This high-quality design requires little to no maintenance, reducing long-term costs. Additionally, the equipment comes with industry-leading warranties, ensuring lasting value for the community.

The benefits of an All-User Playground may be obvious to many Mequon and Thiensville residents—and the City of Mequon and the Village of Thiensville agree. A recent Playground Safety and Needs Analysis recommended building an updated playground equipped for children with special needs. Across the country, All-User Playgrounds are becoming the standard in new community playgrounds and are consistently the most popular among residents.

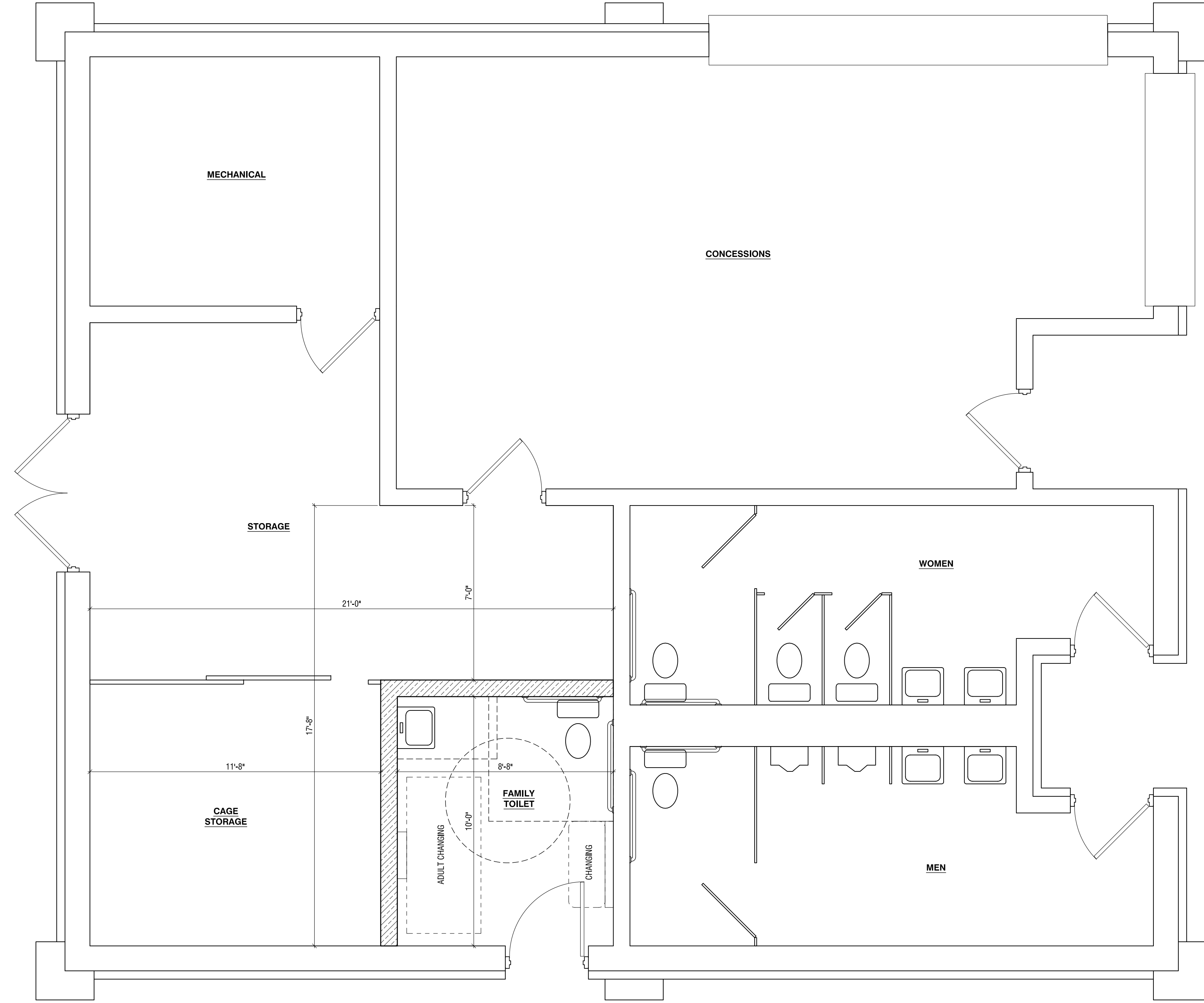
Many playgrounds in Mequon parks are over 30 years old, with some originally installed equipment as donations. An upgrade is long overdue.

Play is essential for children's development. It fosters creativity, encourages experimentation, and teaches important social and communication skills. It also supports cognitive, physical, social, and emotional well-being. For parents and grandparents, play provides a meaningful opportunity to engage with their children.

For adults, play isn't just fun—it's beneficial. Engaging in playful activities helps reduce stress, improve mood, and promote relaxation. Studies show that play triggers endorphin release, lowers cortisol levels, and enhances overall well-being.

2/3/2025 10:55:26 AM BY CHRIS PEINKALA G:\ESTIMATES\CDP\25003-006 MEQUON ROTARY PARK TOILET.DWG © COPYRIGHT 2025 - JOS. SCHMITT CONST. CO., INC. - ALL RIGHTS RESERVED  
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**1** **CONCEPT FLOOR PLAN**  
 A2.1 SCALE: 3/16" = 1'-0" [11x17]  
 SCALE: 3/8" = 1'-0" [22x34]



**PRELIMINARY NOT FOR CONSTRUCTION**



**BUILDING RENOVATION FOR  
 MEQUON ROTARY PARK  
 SOUTH PAVILION**  
 4100 HIGHLAND ROAD  
 MEQUON, WISCONSIN, 53092

REVISIONS		
NO.	DATE	DESCRIPTION

DOCUMENT DATE  
**03 FEBRUARY 2025**

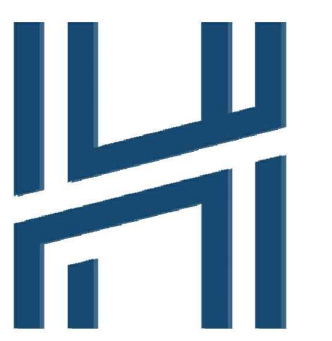
PROJECT NUMBER  
**25003-006**

DRAWN BY | CHECKED BY  
**CDP** |

SHEET DESCRIPTION  
**CONCEPT FLOOR PLAN**

SHEET NUMBER  
**A2.1**

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255 North 21st Street,  
Milwaukee, Wisconsin 53233  
414.475.5554 · hecl.com

Project Name:  
**Rotary Park**

4100 Highland Rd  
Mequon, WI

Client:



Issuance:

2026-05-18 Plan Commission Submittal

Scale: 1" = 150'



Date: 05/01/2026

Project Number:

26-1012.00

Sheet Name:

**PROJECT  
LOCATION &  
GENERAL NOTES**

Sheet Number:

**C1.10**

**LEGEND:**

UTILITY	GRADING	SITE
<p><b>EXISTING:</b></p> <p>— W — W — WATERMAIN — E — E — BURIED ELECTRIC — OHW — OHW — OVERHEAD WIRE — GAS — GAS — GAS LINE — SAN — SAN — SANITARY SEWER — ST — ST — STORM SEWER</p> <p>UTILITY POLE LIGHT POLE SANITARY MANHOLE FIRE HYDRANT WATER VALVE STORM SEWER STRUCTURE</p> <p><b>PROPOSED:</b></p> <p>— W — W — WATERMAIN — E — E — ELECTRICAL LINE — GAS — GAS — GAS LINE — SAN — SAN — SANITARY SEWER — ST — ST — STORM SEWER WATER VALVE STORM SEWER STRUCTURE FLARED END SECTION</p>	<p><b>EXISTING:</b></p> <p>MAJOR CONTOUR MINOR CONTOUR EXISTING SPOT ELEVATION</p> <p><b>PROPOSED:</b></p> <p>MAJOR CONTOUR MINOR CONTOUR SPOT ELEVATION (FINISHED GRADE, TOP OF PAVEMENT, FLANGE OF CURB) DOOR ELEVATION GROUND GRADE AT BUILDING SPOT ELEVATION (TIC - TOP OF CURB, EP - EDGE OF PAVEMENT) RETAINING WALL SPOT ELEVATION (T/W - GROUND GRADE AT TOP OF WALL, B/W - GROUND GRADE AT BOTTOM) FLARED END SECTION (PIPE SIZE, INVERT ELEVATION) DRAINAGE FLOW DIRECTION EMERGENCY OVERTFLOW ROUTE</p>	<p><b>EXISTING:</b></p> <p>EXISTING PARKING COUNT EXISTING SIGN EXISTING ADA PARKING SPACE</p> <p><b>PROPOSED:</b></p> <p>PARKING COUNT ADA PARKING SPACE SIGN TRUNCATED DOMES PAVEMENT MARKING DIRECTIONAL ARROWS</p>

**GENERAL NOTES AND SPECIFICATIONS:**

- THE EXISTING SITE INFORMATION ON THIS PLAN WAS TAKEN FROM A SITE SURVEY PROVIDED BY CAPITOL SURVEY ENTERPRISES. THE ENGINEER MAKES NO WARRANTY OR REPRESENTATION WITH REFERENCE TO THE ACCURACY AND COMPLETENESS OF THE EXISTING CONDITIONS INDICATED OR NOT INDICATED ON THE ENGINEERING PLANS PROVIDED. VERIFY THE LOCATION OF ALL EXISTING SITE CONDITIONS INCLUDING UNDERGROUND UTILITIES, UNDERGROUND UTILITY ELEVATIONS, BUILDING SETBACKS AND EXISTING BUILDING LOCATIONS. THE CONTRACTOR SHALL INFORM THE OWNER AND ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCING WITH WORK. QUESTIONS REGARDING THE EXISTING SURVEY SHALL BE DIRECTED TO THE PARTIES LISTED ABOVE.
- BEFORE PROCEEDING WITH ANY UTILITY CONSTRUCTION, EXCAVATE EACH EXISTING LATERAL TO BE CONNECTED TO VERIFYING ELEVATION, LOCATION AND SIZE. SHOULD THE EXISTING UTILITY NOT BE AS INDICATED ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY FOR EVALUATION.
- ALL UTILITY CONSTRUCTION SHALL ADHERE TO THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN (2005), AS WELL AS, THE MUNICIPAL CONSTRUCTION STANDARDS AND THE DEPT. OF SAFETY AND PROFESSIONAL SERVICES SEC. 382-387.
- ALL PERMITS MUST BE RECEIVED FROM THE MUNICIPALITY AND WDNR PRIOR TO THE START OF CONSTRUCTION. IT IS THE CONTRACTORS RESPONSIBILITY TO ENSURE ALL APPLICABLE PERMITS ARE RECEIVED PRIOR TO STARTING CONSTRUCTION.
- NOTIFY THE PUBLIC WORKS INSPECTION DEPT. AT LEAST 48 HOURS BEFORE STARTING CONSTRUCTION WITHIN THE RIGHT OF WAY.
- BACKFILL REQUIREMENTS AND ROADWAYS/SIDEWALK RESTORATION SHALL ADHERE TO LOCAL STANDARDS (GRANULAR BACKFILL UNDER OR WITHIN 5' OF CURBS, SIDEWALK, OR PAVEMENT, SPOIL MAY BE USED ELSEWHERE. SLURRY BACKFILL WILL BE REQUIRED IN PUBLIC ROADWAYS.)
- PROPOSED STORM SEWER SHALL BE PVC, ASTM D-3034, SDR 35 WITH RUBBER ELASTOMERIC JOINTS CONFORMING TO ASTM D-3212 (UNLESS OTHERWISE NOTED).
- A MEANS TO LOCATE BURIED UNDERGROUND EXTERIOR NONMETALLIC UTILITIES MUST BE PROVIDED, PROVIDE TRACER WIRE OR OTHER METHODS IN ORDER TO BE LOCATED IN ACCORD WITH THE PROVISIONS SECTIONS 182.0715(2R) OF THE STATE STATUTES.
- UTILITY TRENCHES SHALL BE MECHANICALLY COMPACTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN.
- ALL MANHOLES, CATCH BASINS, INLETS, VALVES BOXES, ETC WITHIN THE PROJECT AREA SHALL BE RESET AND ADJUSTED TO MATCH FINISH GRADE.
- ALL EXCAVATED OR STRIPPED MATERIALS NOT BEING REPLACED IN UTILITY TRENCHES OR BEING USED FOR FILL SHALL BE REMOVED FROM THE SITE, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- ALL ON-SITE CONCRETE CURB AND GUTTER TO BE 18" WIDE VERTICAL FACE, UNLESS OTHERWISE NOTED. REVERSE OR REGULAR STYLE CURB DENOTED ON PLANS.
- ALL CURB ELEVATIONS ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED. SEE CURB DETAIL FOR TOP OF CURB ELEVATIONS.
- ALL CURB RADII ARE MEASURED TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
- MATCH PROPOSED CONCRETE CURB AND GUTTER, SIDEWALK AND PAVEMENT TO EXISTING IN ELEVATION AND ALIGNMENT.
- REMOVAL OF CURB AND GUTTER, SIDEWALK AND PAVEMENT SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE WISCONSIN D.O.T.
- ALL CONCRETE FOR CURB AND GUTTER, ROADWAY AND SIDEWALKS MUST CONFORM TO THE STANDARD SPECIFICATIONS FOR READY MIXED CONCRETE. MINIMUM 28 DAY COMPRESSIVE STRENGTH TEST MUST EQUAL 4000 PSI.
- PROTECT ALL PROPERTY CORNERS.
- REPAIR ANY DAMAGE TO EXISTING UTILITIES OR SITE IMPROVEMENTS. DOCUMENT ALL EXISTING DAMAGE PRIOR TO START OF CONSTRUCTION AND NOTIFY CONSTRUCTION MANAGER OF ANY FINDINGS.
- AS-BUILTS ARE TO BE PROVIDED TO THE CLIENT TRACKING ANY CHANGES THAT OCCURRED DURING CONSTRUCTION.

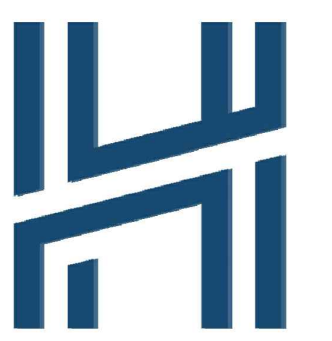
**CIVIL SHEET INDEX:**

C1.10	PROJECT LOCATION AND GENERAL NOTES
C1.11	SITE PLAN
C1.20	GRADING PLAN
C1.30	EROSION CONTROL PLAN
C1.40	DEMOLITION PLAN
C1.50	EXISTING SURVEY
C1.51	EXISTING SURVEY
C5.00	CONSTRUCTION DETAILS

SITE CALCULATION TABLE	
TOTAL DISTURBED AREA	1.510 AC
EXISTING IMPERVIOUS AREA	0.00 AC
PROPOSED IMPERVIOUS AREA	0.960 AC
PROPOSED GREENSPACE	0.550 AC



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



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Project Name:  
**Rotary Park**

4100 Highland Rd  
Mequon, WI

Client:

Issuance:

2026-05-18 Plan Commission Submittal

Scale: 1" = 20'



Date: 05/01/2026

Project Number:

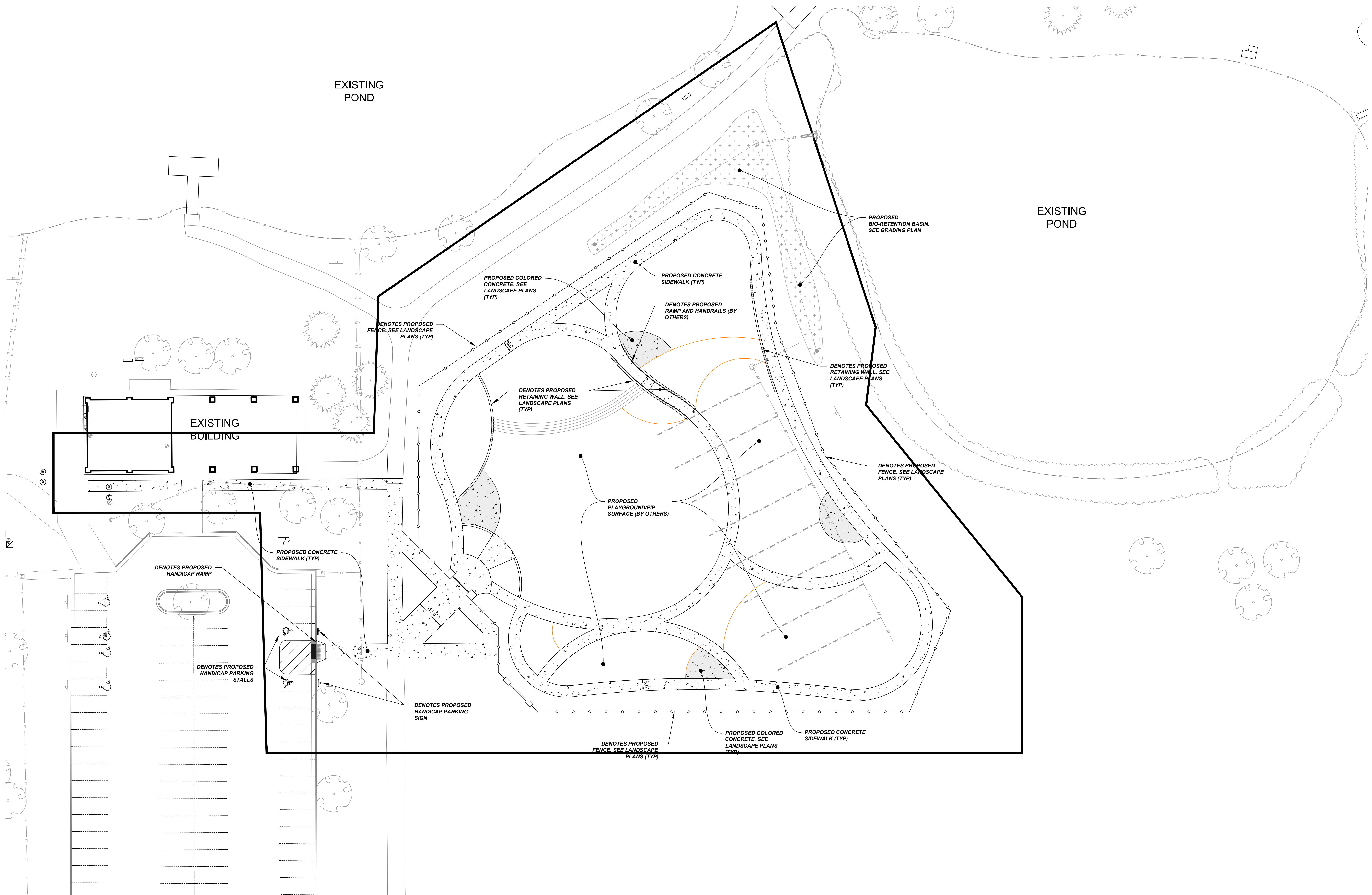
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**SITE PLAN**

Sheet Number:

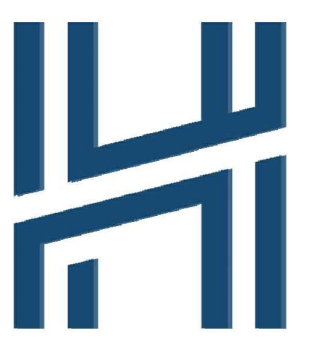
**C1.11**



HATCH LEGEND	
	PROPOSED CONCRETE SIDEWALK
	PROPOSED COLORED CONCRETE
	PROPOSED DEPRESSED CURB
	PROPOSED TAPER CURB



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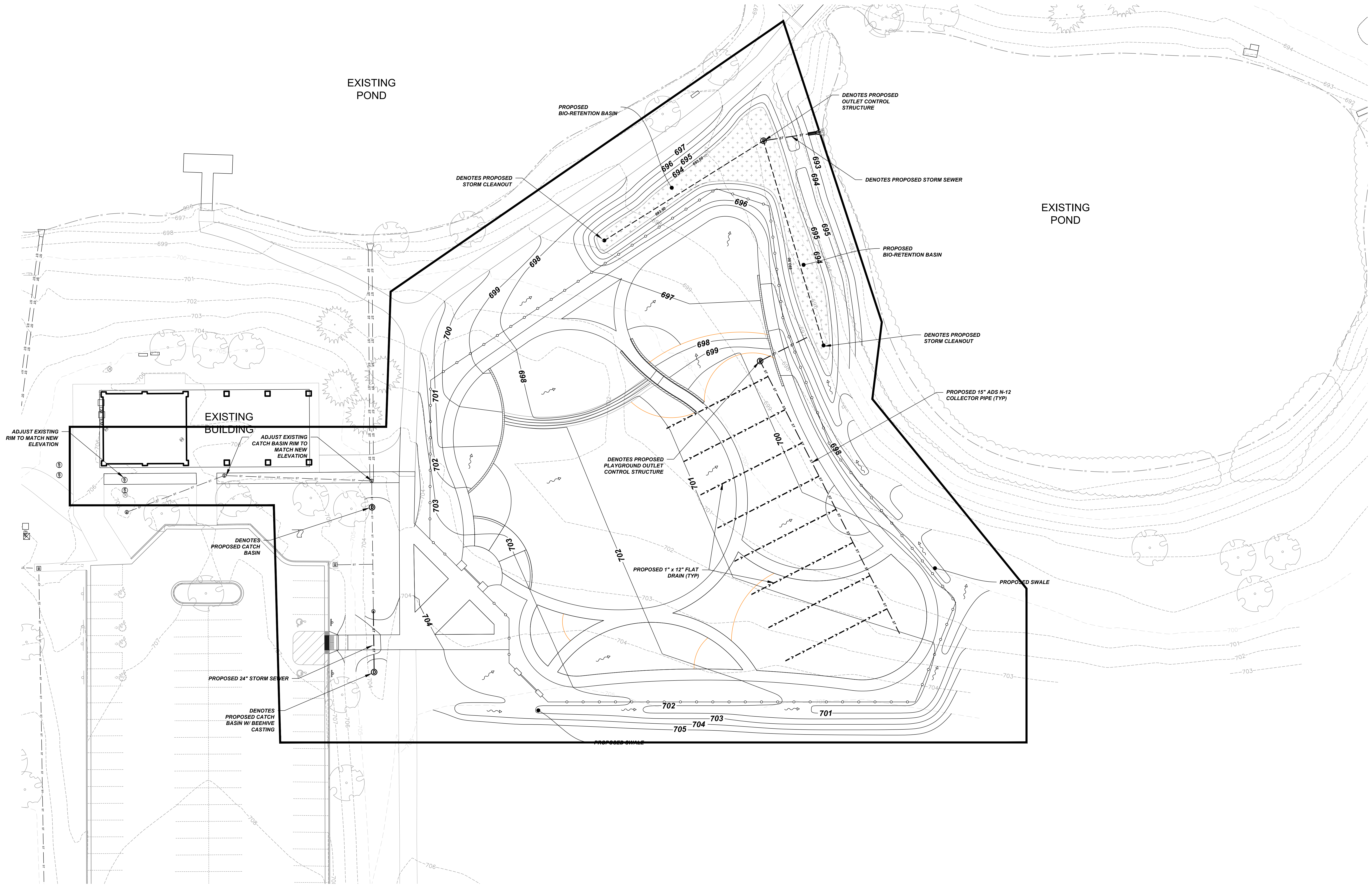
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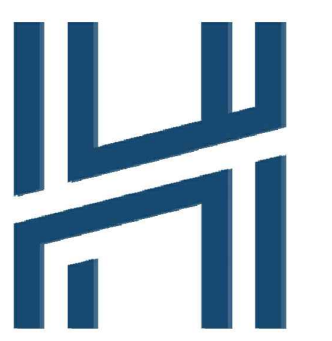
**GRADING PLAN**

Sheet Number:

**C1.20**



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



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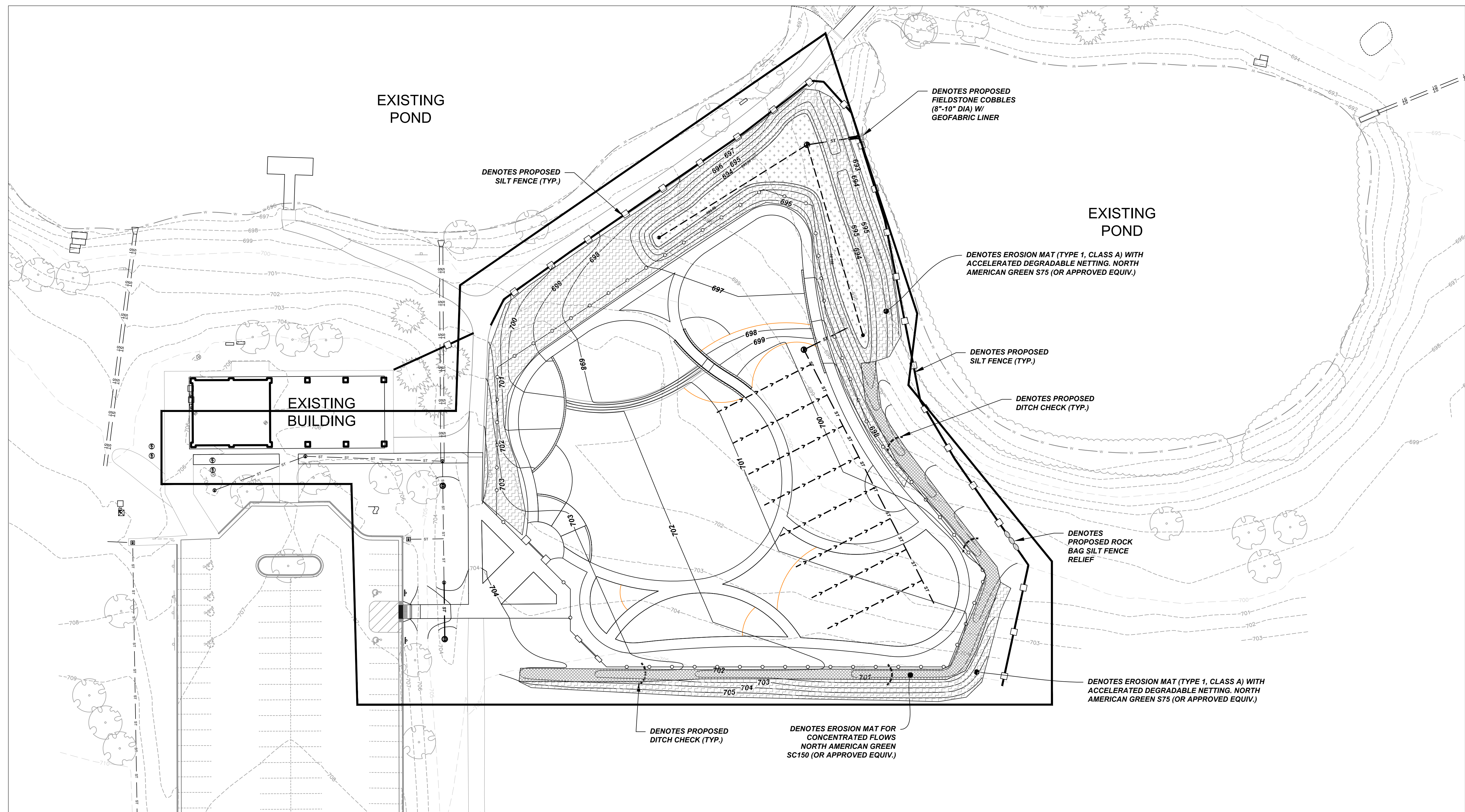
Project Name:  
**Rotary Park**

4100 Highland Rd  
Mequon, WI

Client:

**EROSION CONTROL NOTES AND PHASING**

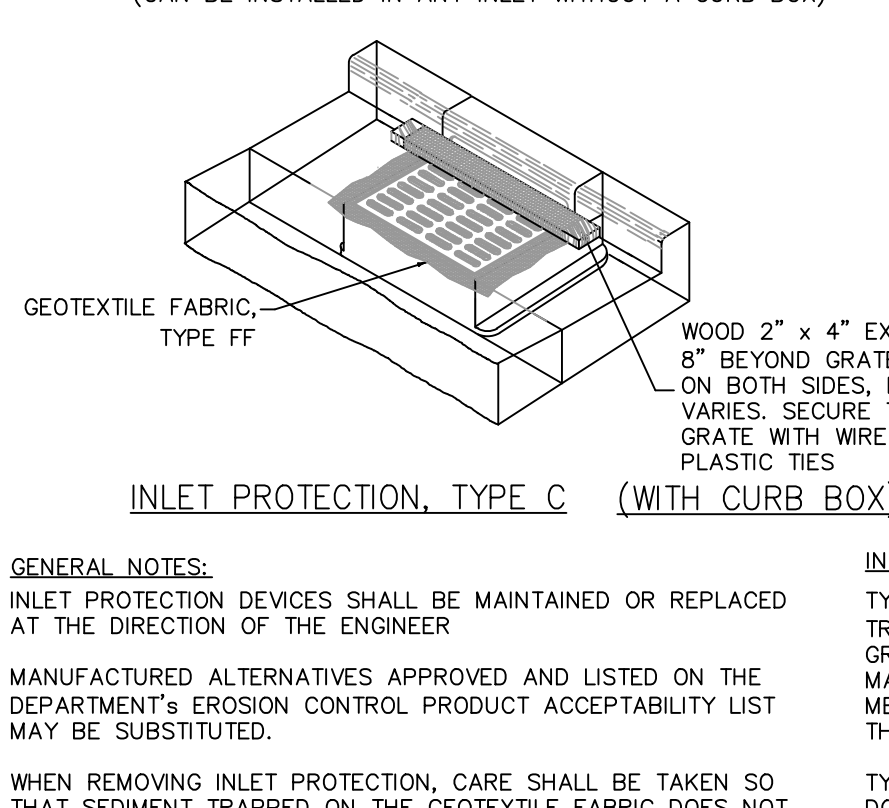
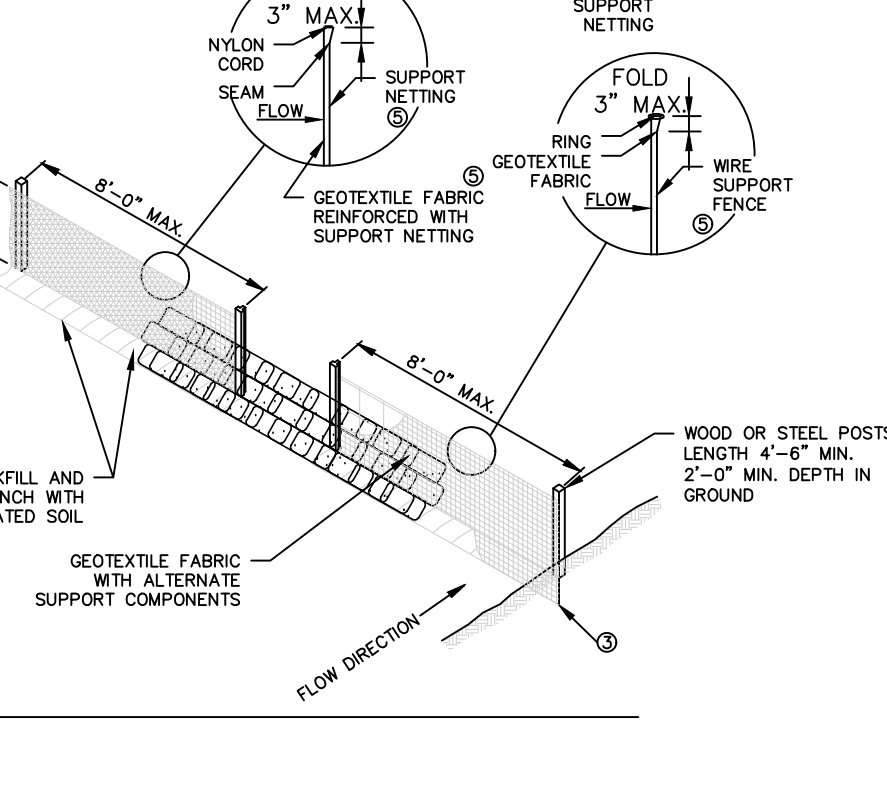
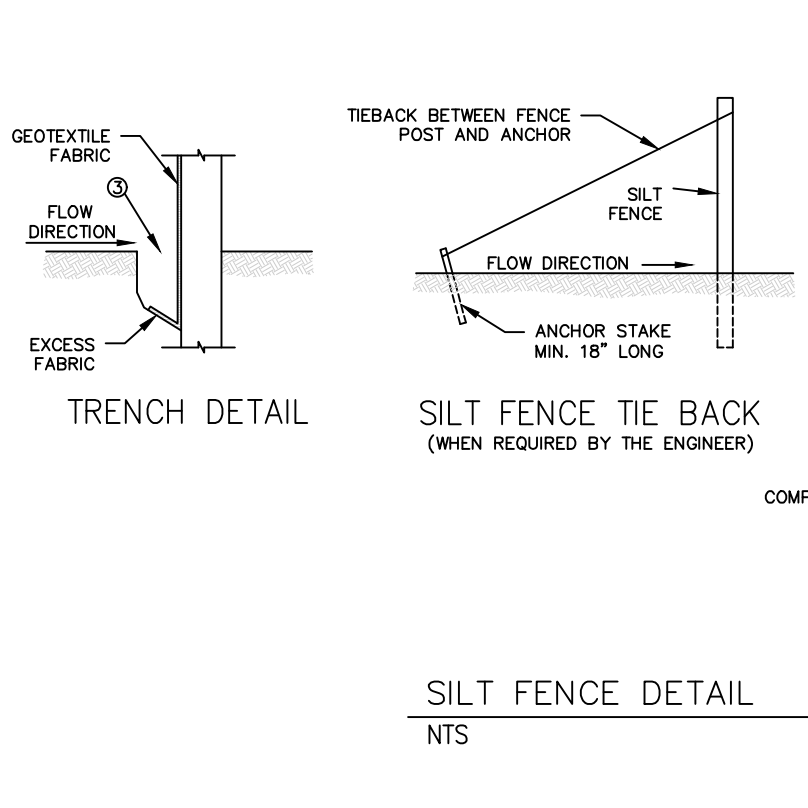
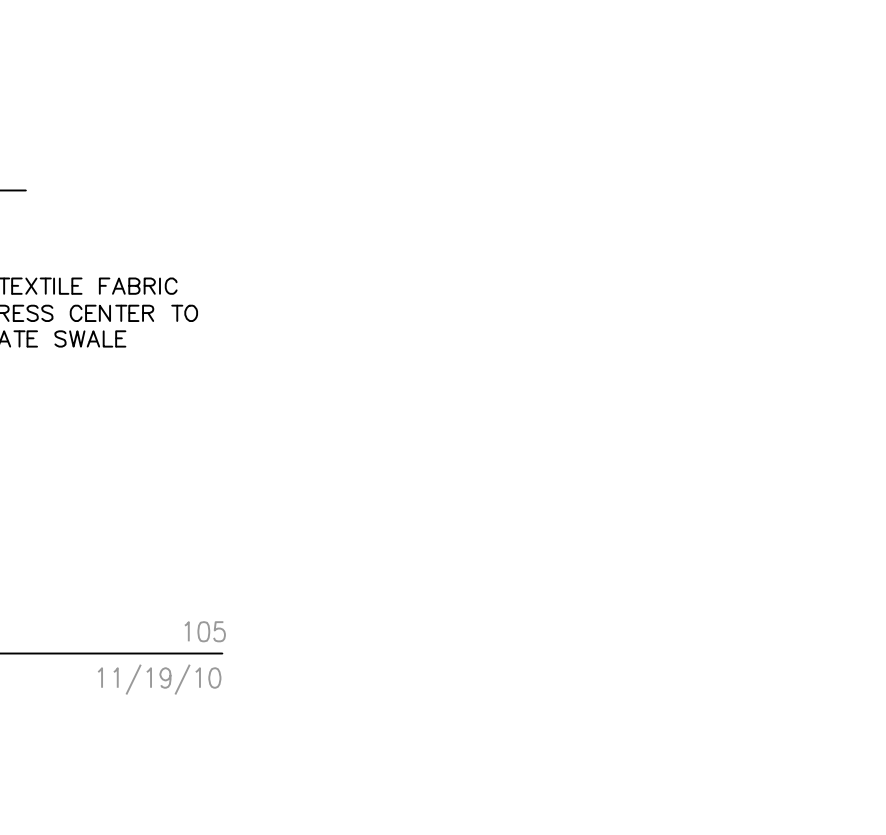
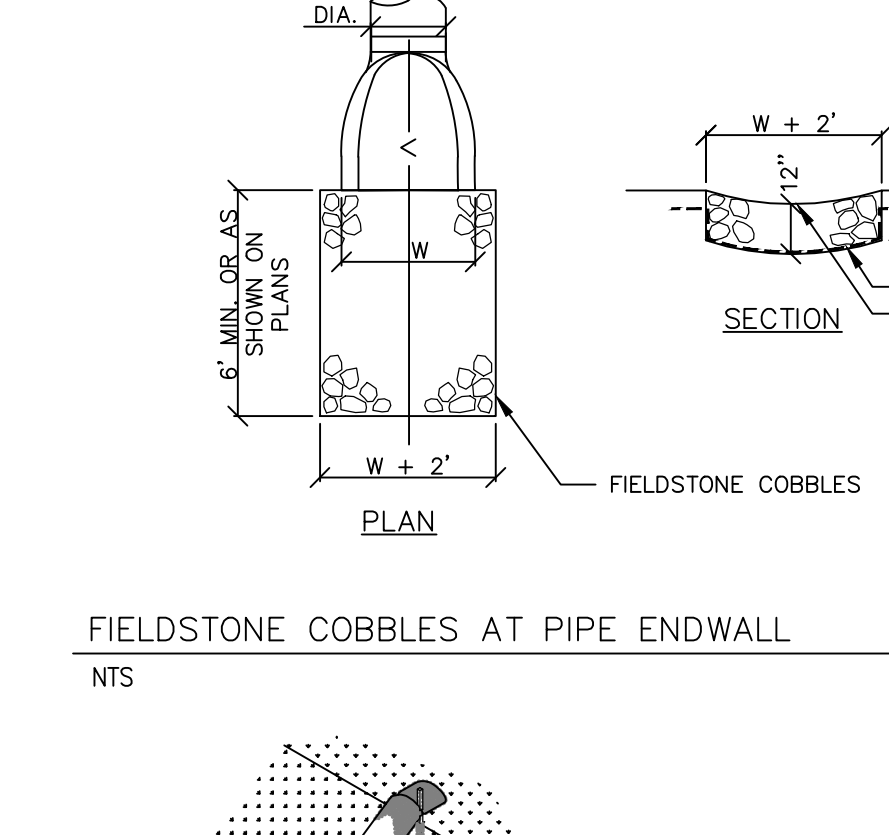
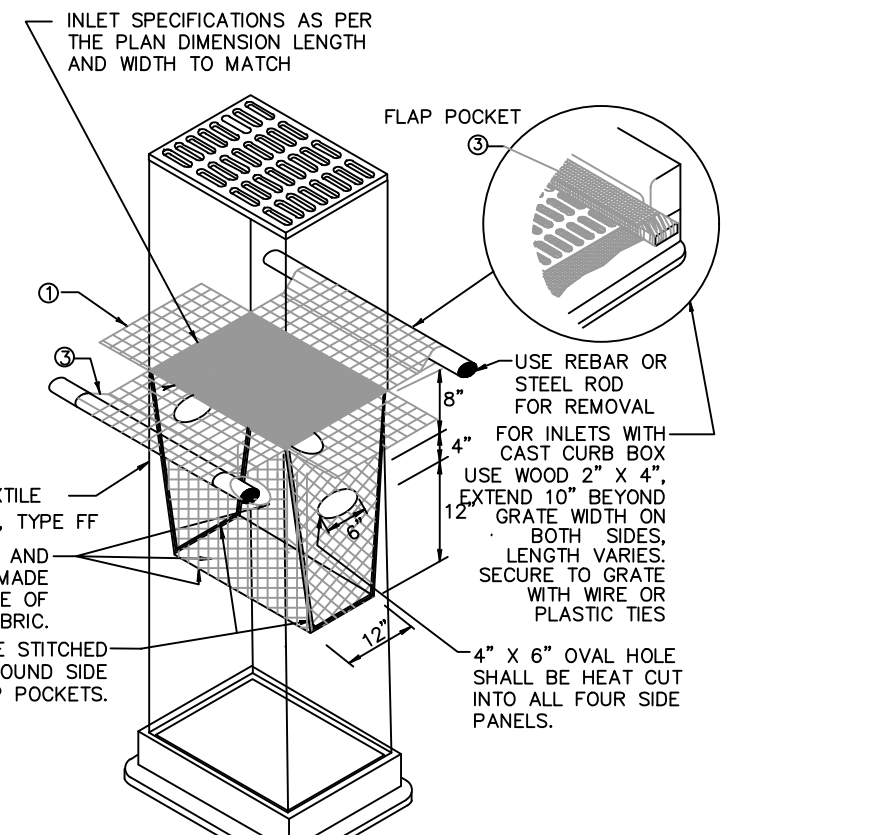
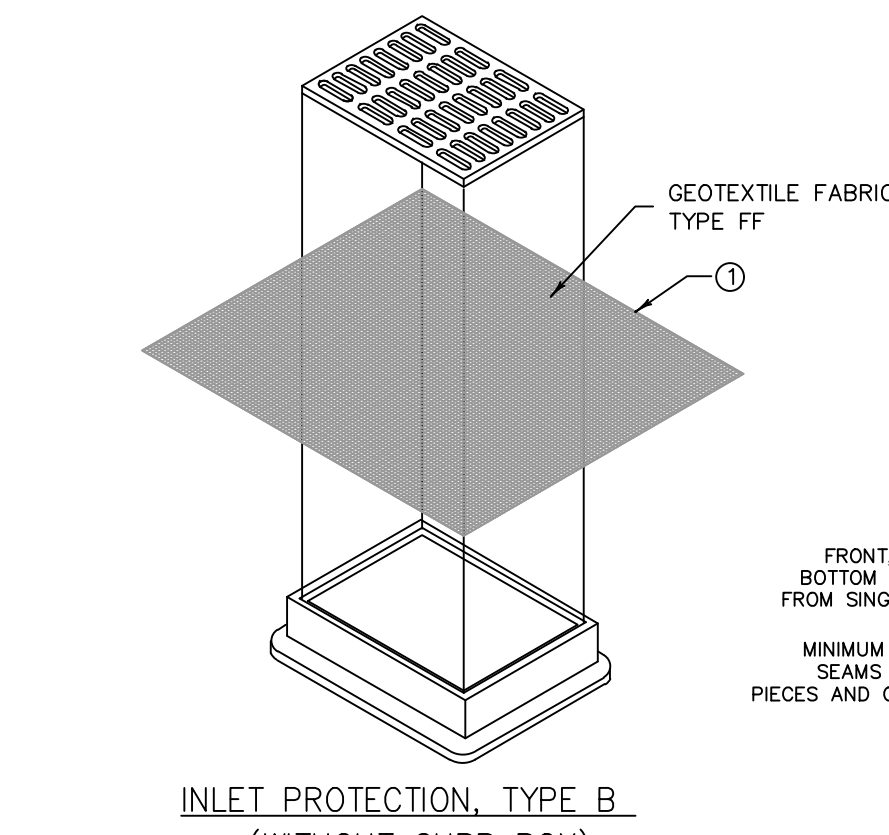
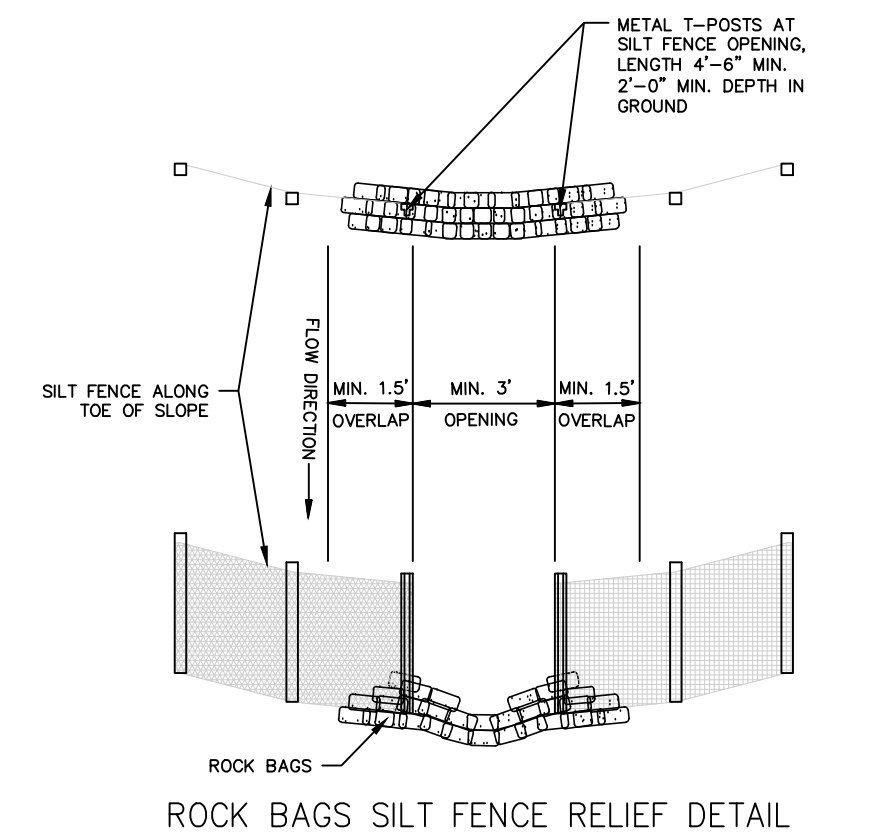
1. WDNR PERMIT COVERAGE IS REQUIRED. POST WDNR CERTIFICATE OF PERMIT COVERAGE ON SITE AND MAINTAIN UNTIL CONSTRUCTION ACTIVITIES HAVE CEASED. THE SITE IS STABILIZED, AND A NOTICE OF TERMINATION IS FILED WITH WDNR.
2. KEEP A COPY OF THE CURRENT EROSION CONTROL PLAN ON SITE THROUGHOUT THE DURATION OF THE PROJECT.
3. SUBMIT PLAN REVISIONS OR AMENDMENTS TO THE ENGINEER AT LEAST 5 DAYS PRIOR TO FIELD IMPLEMENTATION.
4. CONTRACTOR IS RESPONSIBLE FOR ROUTINE SITE INSPECTIONS AT LEAST ONCE EVERY 7 DAYS AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.5 INCHES OR GREATER. KEEP INSPECTION REPORTS ON-SITE AND MAKE THEM AVAILABLE UPON REQUEST.
5. INSPECT AND MAINTAIN ALL INSTALLED EROSION CONTROL PRACTICES UNTIL THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED.
6. WHEN POSSIBLE, PRESERVE EXISTING VEGETATION (ESPECIALLY ADJACENT TO SURFACE WATERS), MINIMIZE LAND-DISTURBING CONSTRUCTION ACTIVITY ON SLOPES OF 20% OR MORE, MINIMIZE SOIL COMPACTION, AND PRESERVE TOPSOIL.
7. REFER TO THE WDNR STORMWATER CONSTRUCTION TECHNICAL STANDARDS AT <http://www.dnr.wisconsin.gov/dam/water/68.htm>
8. INSTALL PERIMETER EROSION CONTROLS AND TRACKOUT CONTROL PRACTICES PRIOR TO ANY LAND-DISTURBING ACTIVITIES, INCLUDING CLEARING AND GRUBBING. USE WDNR TECHNICAL STANDARD 1057 FOR TRACKOUT CONTROL AT CONSTRUCTION ENTRANCE(S).
9. INSTALL INLET PROTECTION PRIOR TO LAND-DISTURBING ACTIVITIES IN THE CONTRIBUTING DRAINAGE AREA AND/OR IMMEDIATELY UPON INLET INSTALLATION. COMPLY WITH WDNR TECHNICAL STANDARD STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES #1060.
10. STAGE CONSTRUCTION GRADING ACTIVITIES TO MINIMIZE THE CUMULATIVE EXPOSED AREA. CONDUCT TEMPORARY GRADING FOR EROSION CONTROL PER WDNR TECHNICAL STANDARD TEMPORARY GRADING PRACTICES FOR EROSION CONTROL #1067.
11. PERMITTING OF GROUNDWATER DEWATERING IS THE RESPONSIBILITY OF THE CONTRACTOR. GROUNDWATER DEWATERING IS SUBJECT TO A DNR WASTEWATER DISCHARGE PERMIT AND A DNR HIGH CAPACITY WELL APPROVAL IF CUMULATIVE PUMP CAPACITY IS 70 GPM OR MORE.
12. PROVIDE ANTI-SCOUR PROTECTION AND MAINTAIN NON-EROSIVE FLOW DURING DEWATERING. PERFORM DEWATERING OF ACCUMULATED SURFACE RUNOFF IN ACCORDANCE WITH WDNR TECHNICAL STANDARD DEWATERING #1061.
13. BIORETENTION BASIN WILL SERVE AS SEDIMENT BASIN DURING CONSTRUCTION. INSTALL OUTLET CONTROL STRUCTURE, STONE PILING, AND GRADE AS SHOWN ON THE PLAN BUT DO NOT INSTALL ENGINEERED SOIL AND STONE STORAGE LAYER UNTIL SITE IS FINISH GRADED AND STABILIZED. CONTACT THE ENGINEER PRIOR TO INSTALLING STONE STORAGE LAYER AND ENGINEERED SOIL. UPON APPROVAL FROM THE ENGINEER, REMOVE ACCUMULATED SEDIMENT AND EXCAVATE BASIN TO BOTTOM ELEVATION SHOWN ON THE DETAILS. INSTALL UNDERDRAIN, STONE STORAGE LAYER, AND ENGINEERED SOIL. IMMEDIATELY PROTECT THE BIORETENTION BASIN AND VEGETATION FROM RUNOFF AND SEDIMENT DURING CONSTRUCTION. REFERENCE THE WDNR TECHNICAL STANDARD BIORETENTION FOR INFILTRATION # 1004.
14. INSTALL AND MAINTAIN SILT FENCE PER WDNR TECHNICAL STANDARD SILT FENCE #1056. REMOVE SEDIMENT FROM BEHIND SILT FENCES AND SEDIMENT BARRIERS BEFORE SEDIMENT REACHES A DEPTH THAT IS EQUAL TO ONE-HALF OF THE FENCE AND/OR BARRIER HEIGHT.
15. REPAIR BREAKS AND GAPS IN SILT FENCES AND BARRIERS IMMEDIATELY. REPLACE DECOMPOSING STRAW BALES (TYPICAL BALE LIFE IS 3 MONTHS). LOCATE, INSTALL, AND MAINTAIN STRAW BALES PER WDNR TECHNICAL STANDARD DITCH CHECKS #1062.
16. INSTALL AND MAINTAIN FILTER SOCKS IN ACCORDANCE WITH WDNR TECHNICAL STANDARD INTERIM MANUFACTURED PERIMETER CONTROL AND SLOPE INTERRUPTION PRODUCTS # 1071.
17. IMMEDIATELY STABILIZE STOCKPILES AND SURROUND STOCKPILES AS NEEDED WITH SILT FENCE OR OTHER PERIMETER CONTROL IF STOCKPILES WILL REMAIN INACTIVE FOR 7 DAYS OR LONGER.
18. IMMEDIATELY STABILIZE ALL DISTURBED AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR LONGER. BETWEEN SEPTEMBER 15 AND OCTOBER 15: STABILIZE WITH MULCH, TACKIFIER, AND A PERENNIAL SEED MIXED WITH WINTER WHEAT, ANNUAL OATS, OR ANNUAL RYE, AS APPROPRIATE FOR REGION AND SOIL TYPE. OCTOBER 15 THROUGH COLD WEATHER: STABILIZE WITH A POLYMER AND DORMANT SEED MIX, AS APPROPRIATE FOR REGION AND SOIL TYPE.
19. STABILIZE AREAS OF FINAL GRADING WITHIN 7 DAYS OF REACHING FINAL GRADE.
20. SWEEPCLEAN UP ALL SEDIMENT/TRASH THAT MOVES OFF-SITE DUE TO CONSTRUCTION ACTIVITY OR STORM EVENTS BEFORE THE END OF THE SAME WORKDAY OR AS DIRECTED BY THE WORKING MUNICIPALITY. SEPARATE SWEEP MATERIALS (SOILS AND TRASH) AND DISPOSE OF APPROPRIATELY.
21. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST PER WDNR TECHNICAL STANDARD DUST CONTROL ON CONSTRUCTION SITES # 1088.
22. PROPERLY DISPOSE OF ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, OR OTHER CONSTRUCTION MATERIALS) AND DO NOT ALLOW THESE MATERIALS TO BE CARRIED BY RUNOFF INTO THE RECEIVING CHANNEL.
23. FOR NON-CANNELIZED FLOW ON DISTURBED OR CONSTRUCTED SLOPES 4:1 OR GREATER (OR AS SHOWN ON THE PLAN), PROVIDE CLASS I TYPE TYPE A (WITH ACCELERATED DEGRADABLE NETTING) EROSION CONTROL MATTING. SELECT EROSION MATTING FROM WOOD'S PRODUCT ACCEPTABILITY LIST (PAL). INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD NON-CHANNEL EROSION MAT #1052.
24. FOR CHANNELIZED FLOW ON DISTURBED OR CONSTRUCTED AREAS (OR AS SHOWN ON THE PLANS), PROVIDE NORTH AMERICAN GREEN SC150 (OR APPROVED EQUIV.) EROSION CONTROL MATTING. INSTALL AND MAINTAIN PER WDNR TECHNICAL STANDARD CHANNEL EROSION MAT #1053.
25. MAKE PROVISIONS FOR WATERING DURING THE FIRST 8 WEEKS FOLLOWING SEEDING OR PLANTING OF DISTURBED AREAS WHENEVER MORE THAN 7 CONSECUTIVE DAYS OF DRY WEATHER OCCUR.
26. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES (SUCH AS TEMPORARY SEDIMENT BASINS, DITCH CHECKS, EROSION CONTROL MATTING, SILT FENCING, FILTER SOCKS, WATTLES, SWALES, ETC.), OR AS DIRECTED BY WDNR/MUNICIPALITY.
26. NOTICE OF TERMINATION: WHEN THE SITE HAS BEEN FULLY STABILIZED AND ALL STORMWATER DISCHARGES FROM THE SITE AUTHORIZED UNDER THE WDNR PERMIT HAVE BEEN ELIMINATED, A NOTICE OF TERMINATION SHALL BE FILED WITH THE DNR. CONTRACTOR SHALL SUBMIT A COMPLETED NOTICE OF TERMINATION APPLICATION IN ACCORDANCE WITH THE PERMIT REQUIREMENTS PRIOR TO FINAL PAYMENT.



GENERAL NOTES:  
DETAIL OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERMIT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.  
WHEN POSSIBLE THE SILT FENCE SHOULD BE CONSTRUCTED IN AN ARC OR HORSESHOE SHAPE WITH THE ENDS POINTING UPSLOPE TO MAXIMIZE BOTH STRENGTH AND EFFECTIVENESS.

1. CROSS BRACE WITH 2" x 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS AS DIRECTED BY THE ENGINEER.
2. MINIMUM 14 GAUGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLAGE WIRE RINGS ON 12" C-C.
3. EXCAVATE A TRENCH A MINIMUM OF 4" WIDE AND 8" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
4. WIRE SUPPORT FENCE SHALL BE 14 GAUGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C-C.
5. GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLY-PROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUIV. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED.
6. STEEL POSTS SHALL BE STUDDED "TEE" OR "U" TYPE WITH A MINIMUM HEIGHT OF 1.28 BA/VA PL. (WITHOUT ANCHOR). FR ANCHORS SUFFICIENT TO RESIST POST MOMENT ARE REQUIRED. WOOD POSTS SHALL BE A MINIMUM SIZE OF 4" DIA. OR 1-1/2" x 3-1/2" EXCEPT WOOD POSTS FOR GEOTEXTILE FABRIC REINFORCED WITH NETTING SHALL BE A MINIMUM SIZE OF 1-1/8" x 1-1/8" OAK OR HICKORY.

ALTERNATIVES A AND B ARE EQUAL AND EITHER MAY BE USED.  
NOTE: ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOILS.

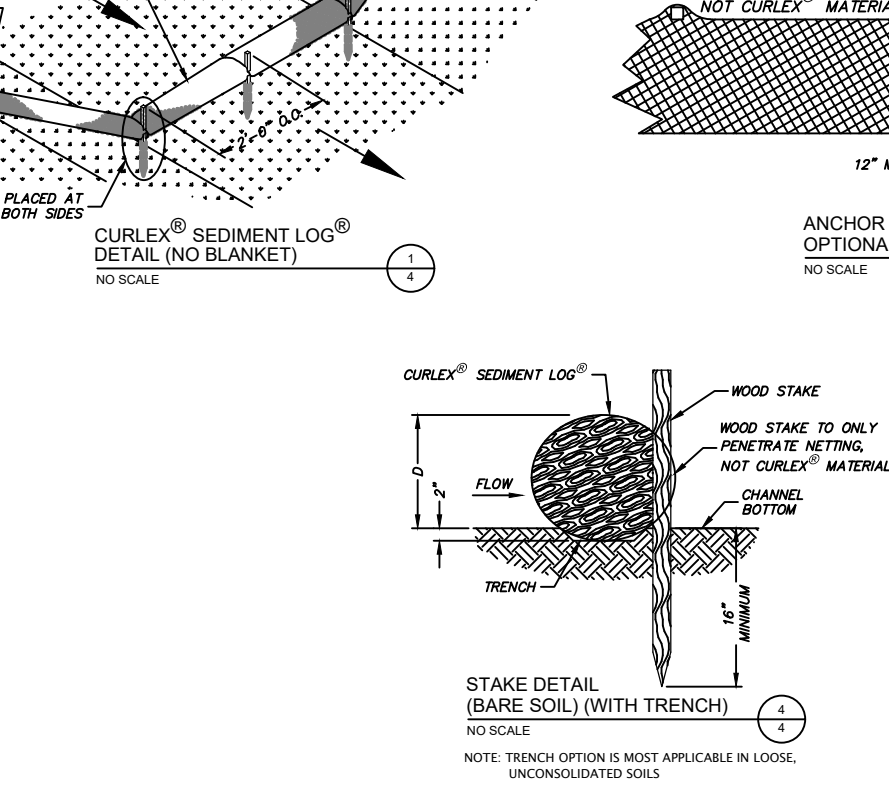


GENERAL NOTES:  
INLET PROTECTION DEVICES SHALL BE MAINTAINED OR REPLACED AT THE DIRECTION OF THE ENGINEER.  
MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.  
WHEN REMOVING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.  
FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10\"/>

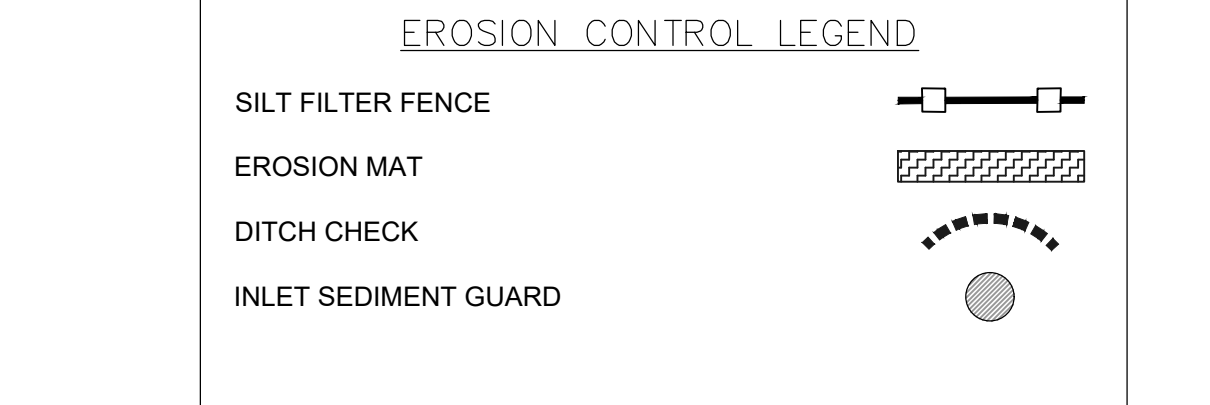
INSTALLATION NOTES:  
TYPES B & C: TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3\"/>

TYPE D: DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30\"/>

THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WALLS AND THE BAG MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES OF 3\"/>



GENERAL NOTES:  
DITCH CHECKS SHALL BE MANUFACTURED PRODUCTS AND LISTED ON THE CURRENT WOODSOT PAL LIST.  
INSTALL PER MANUFACTURERS REQUIREMENTS.  
ADJUST SPACING AS NEEDED TO MEET MANUFACTURERS REQUIREMENTS.



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

INLET PROTECTION  
NTS

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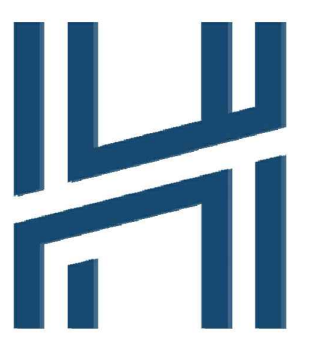
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Sheet Name:  
EROSION CONTROL PLAN

Sheet Number:

C1.30



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Project Name:  
**Rotary Park**

4100 Highland Rd  
Mequon, WI

Client:

Issuance:

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Scale: 1" = 20'



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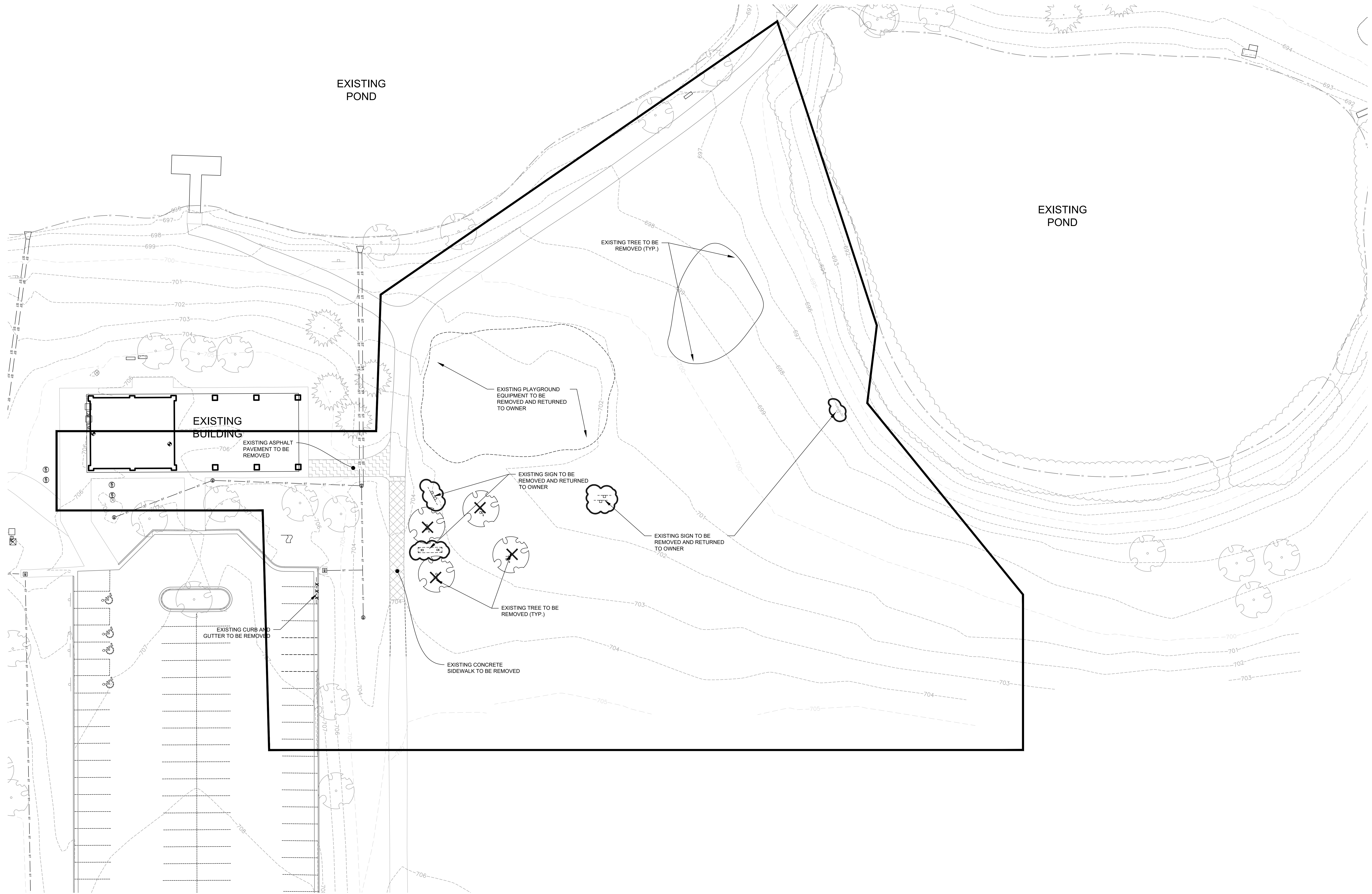
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Sheet Name:

**DEMOLITION  
PLAN**

Sheet Number:

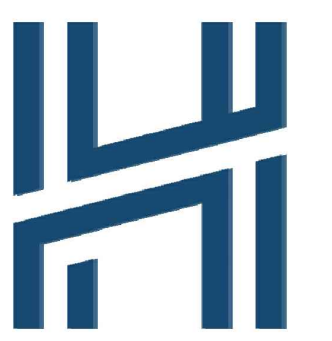
**C1.40**



DEMOLITION LEGEND	
	DENOTES ITEM TO BE REMOVED OR DEMOLISHED
	DENOTES ASPHALT PAVEMENT REMOVAL AREA
	DENOTES CONCRETE REMOVAL AREA
	DENOTES ITEM TO BE ABANDONED OR REMOVED
	DENOTES TREE TO BE REMOVED (MARK ALL TREE REMOVALS IN THE FIELD AND VERIFY WITH OWNER PRIOR TO REMOVAL)



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



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**Rotary Park**

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Mequon, WI

Client:

Issuance:

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Scale: 1" = 30'



Date: 03/13/2026

Project Number:

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Sheet Name:

EXISTING  
SURVEY

Sheet Number:

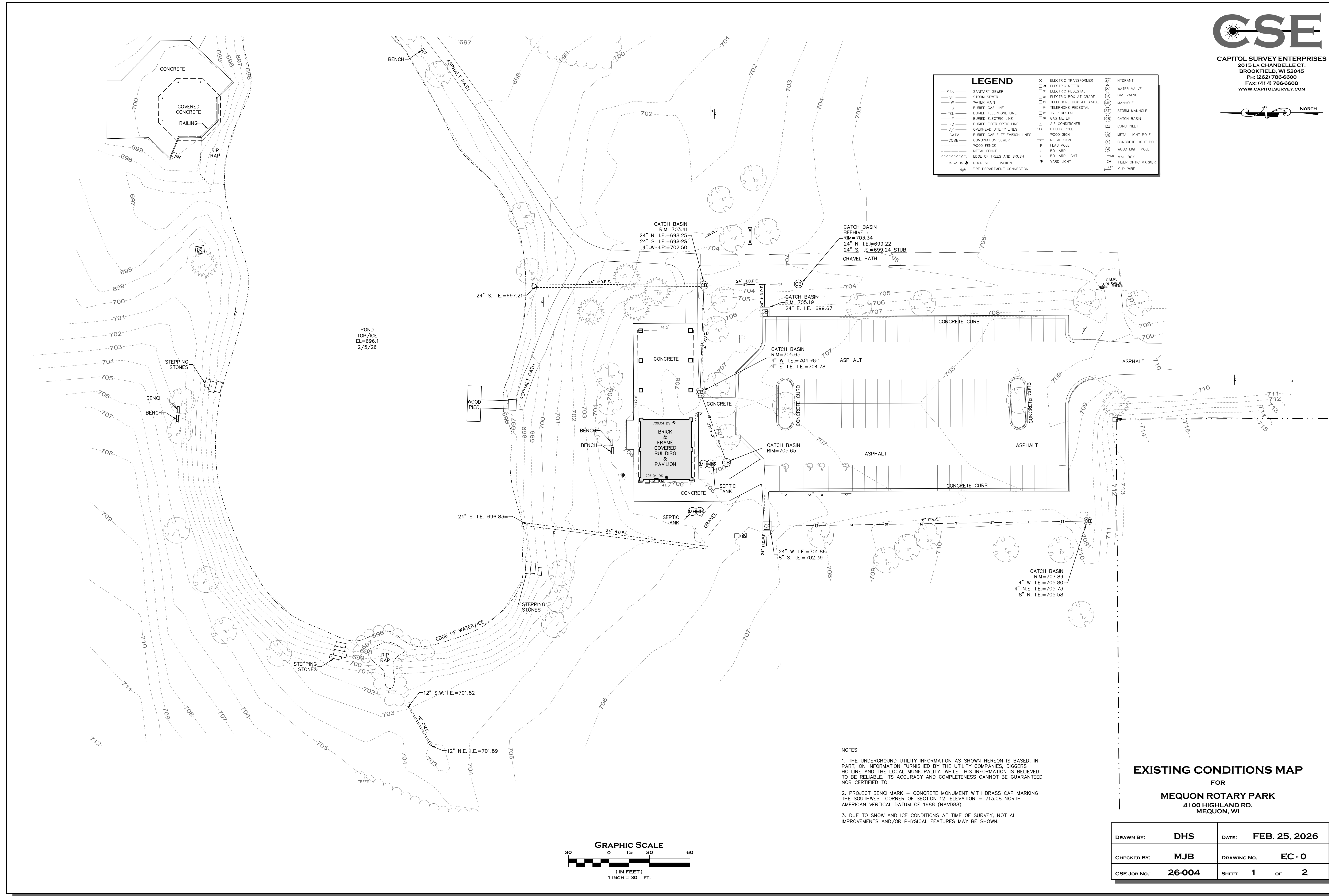
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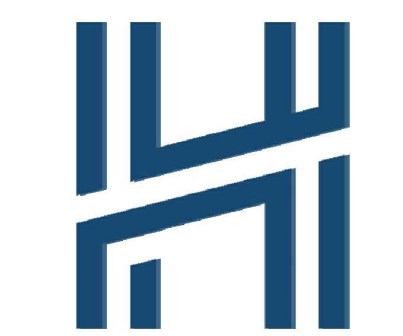


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LEGEND			
— SAN	— SANITARY SEWER	⊠	ELECTRIC TRANSFORMER
— ST	— STORM SEWER	⊠	ELECTRIC METER
— W	— WATER MAIN	⊠	ELECTRIC PEDESTAL
— G	— BURIED GAS LINE	⊠	ELECTRIC BOX AT GRADE
— TEL	— BURIED TELEPHONE LINE	⊠	TELEPHONE BOX AT GRADE
— E	— BURIED ELECTRIC LINE	⊠	TELEPHONE PEDESTAL
— FO	— BURIED FIBER OPTIC LINE	⊠	TV PEDESTAL
— //	— OVERHEAD UTILITY LINES	⊠	GAS METER
— CATV	— BURIED CABLE TELEVISION LINES	⊠	AIR CONDITIONER
— COMB	— COMBINATION SEWER	⊠	UTILITY POLE
— WOOD	— WOOD FENCE	⊠	WOOD SIGN
— METAL	— METAL FENCE	⊠	FLAG POLE
—	— EDGE OF TREES AND BRUSH	⊠	BOLLARD
—	— DOOR SILL ELEVATION	⊠	BOLLARD LIGHT
—	— FIRE DEPARTMENT CONNECTION	⊠	YARD LIGHT
		⊠	HYDRANT
		⊠	WATER VALVE
		⊠	GAS VALVE
		⊠	MANHOLE
		⊠	STORM MANHOLE
		⊠	CATCH BASIN
		⊠	CURB INLET
		⊠	METAL LIGHT POLE
		⊠	CONCRETE LIGHT POLE
		⊠	WOOD LIGHT POLE
		⊠	MAIL BOX
		⊠	FIBER OPTIC MARKER
		⊠	GUY WIRE





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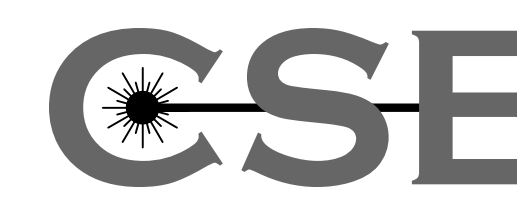
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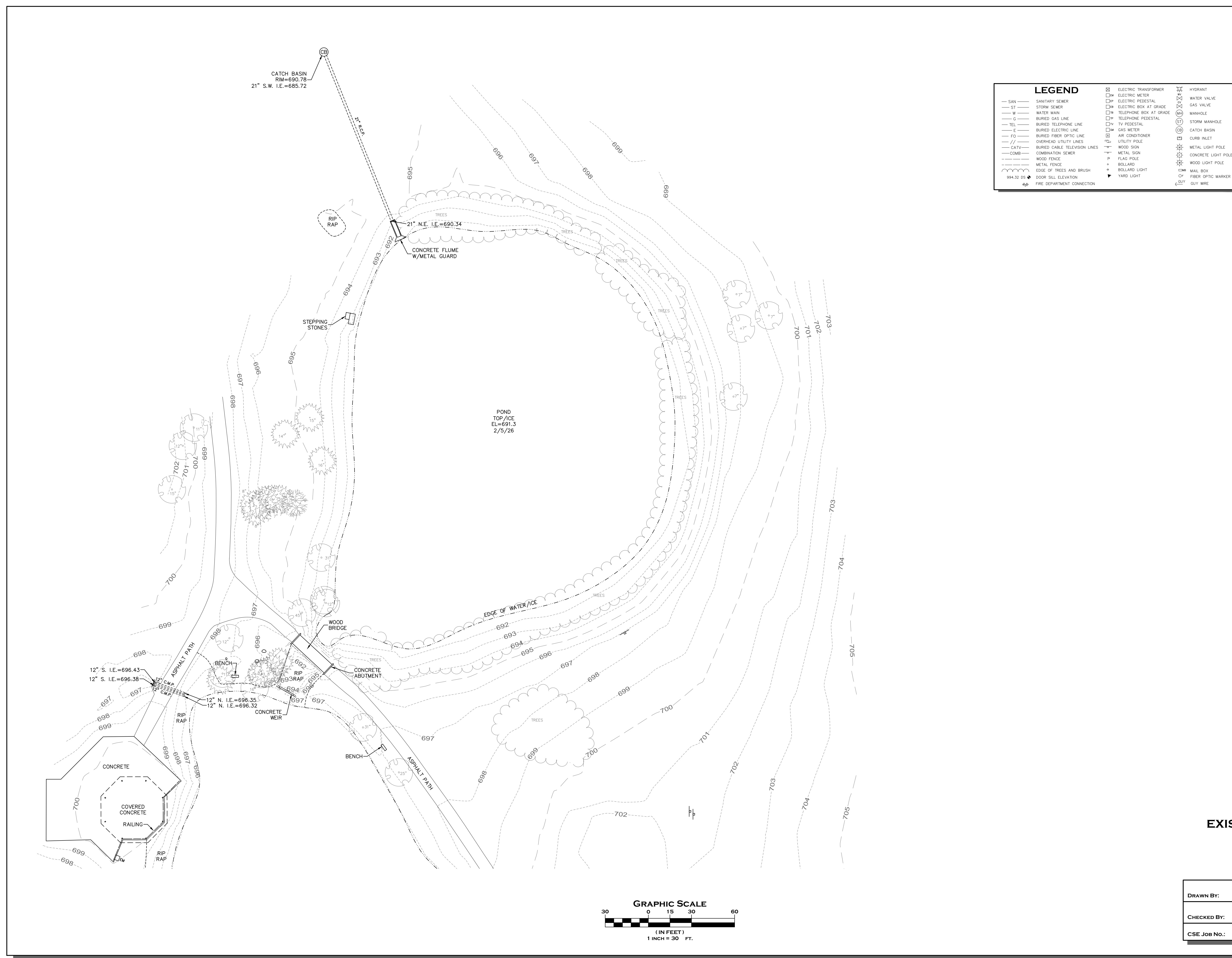
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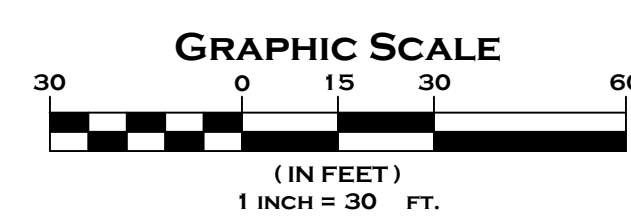


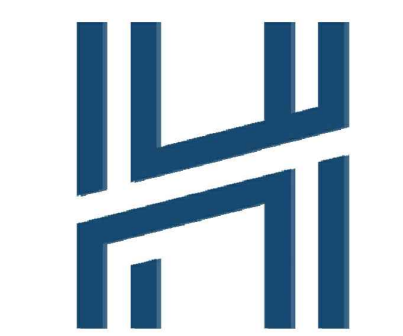
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— ST	STORM SEWER	⊠	ELECTRIC METER
— W	WATER MAIN	⊠	ELECTRIC PEDESTAL
— G	BURIED GAS LINE	⊠	ELECTRIC BOX AT GRADE
— TEL	BURIED TELEPHONE LINE	⊠	TELEPHONE BOX AT GRADE
— E	BURIED ELECTRIC LINE	⊠	TELEPHONE PEDESTAL
— FO	BURIED FIBER OPTIC LINE	⊠	TV PEDESTAL
— //	OVERHEAD UTILITY LINES	⊠	GAS METER
— CATV	BURIED CABLE TELEVISION LINES	⊠	AIR CONDITIONER
— COMB	COMBINATION SEWER	⊠	UTILITY POLE
— F	WOOD FENCE	⊠	WOOD SIGN
— M	METAL FENCE	⊠	METAL SIGN
—	EDGE OF TREES AND BRUSH	⊠	FLAG POLE
994.32 05	DOOR SILL ELEVATION	⊠	BOLLARD
—	FIRE DEPARTMENT CONNECTION	⊠	BOLLARD LIGHT
		⊠	YARD LIGHT
		⊠	HYDRANT
		⊠	WATER VALVE
		⊠	GAS VALVE
		⊠	MANHOLE
		⊠	STORM MANHOLE
		⊠	CATCH BASIN
		⊠	CURB INLET
		⊠	METAL LIGHT POLE
		⊠	CONCRETE LIGHT POLE
		⊠	WOOD LIGHT POLE
		⊠	MAIL BOX
		⊠	FIBER OPTIC MARKER
		⊠	GUY WIRE



**EXISTING CONDITIONS MAP**  
FOR  
**MEQUON ROTARY PARK**  
4100 HIGHLAND RD.  
MEQUON, WI

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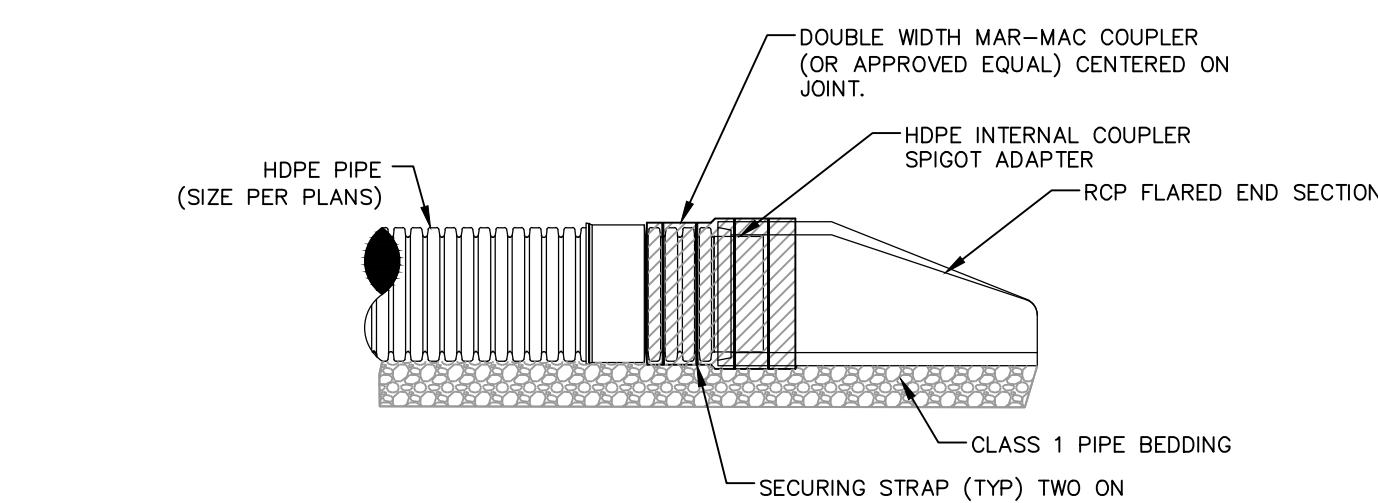
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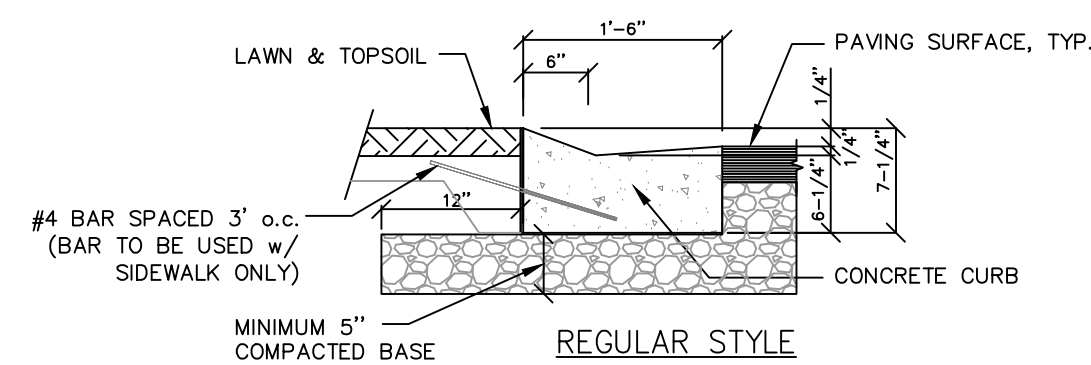
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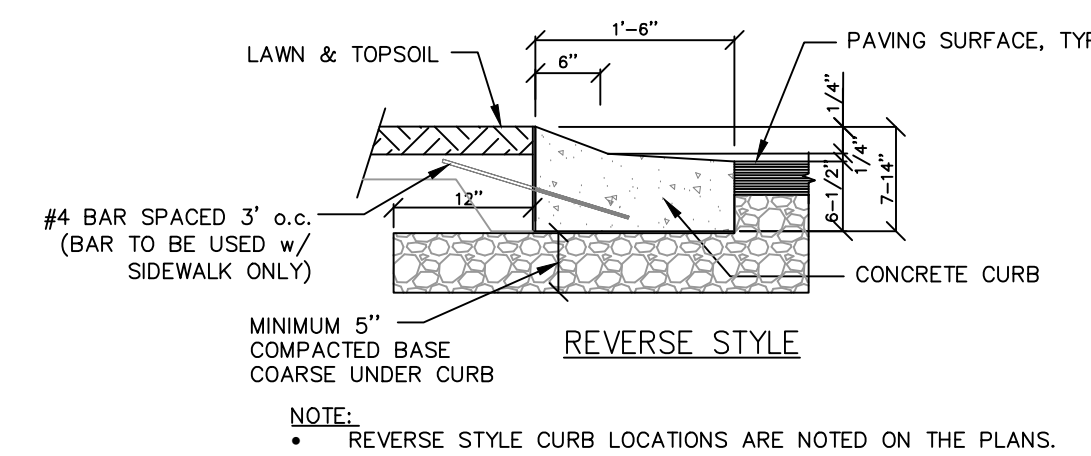
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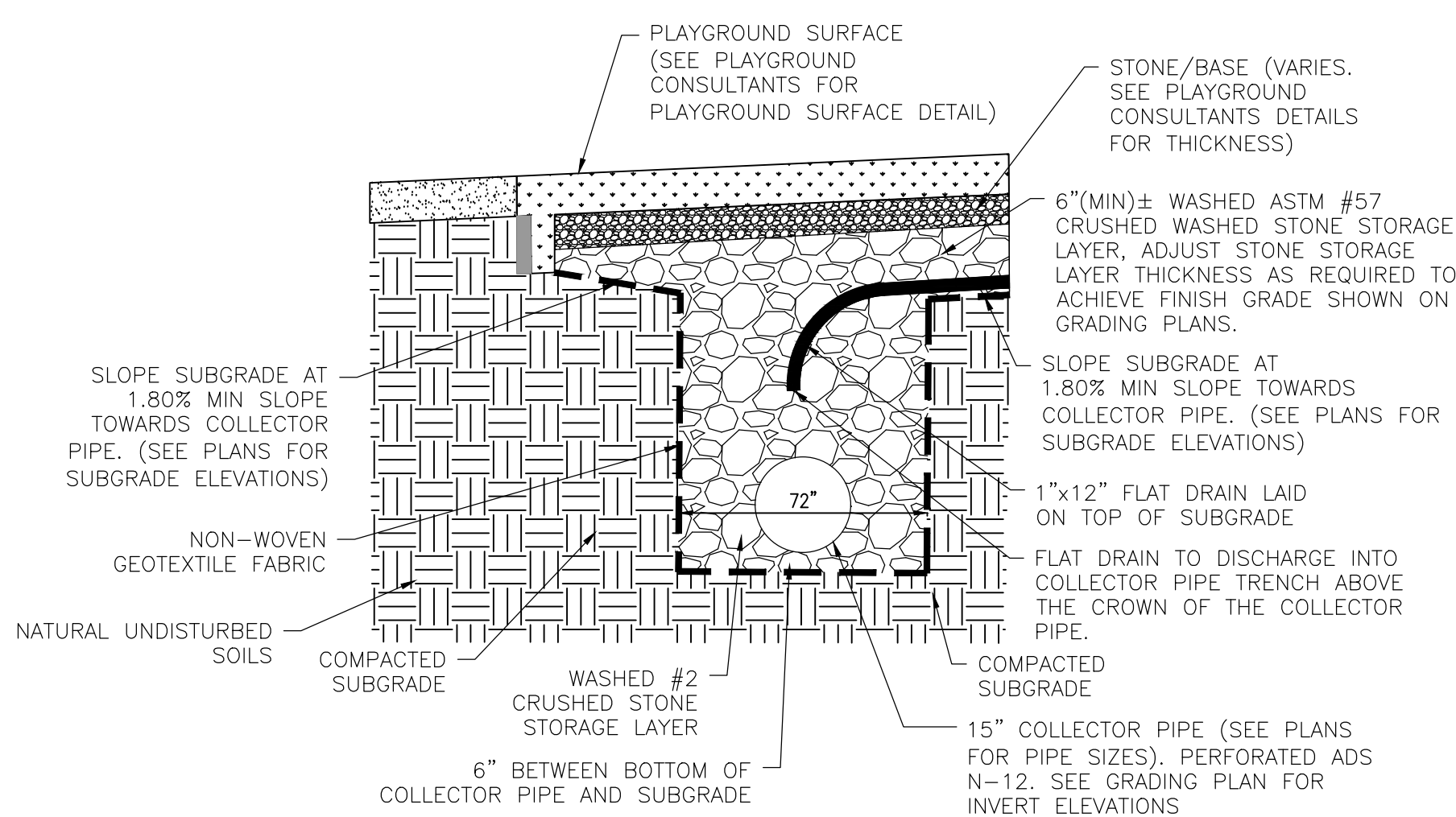
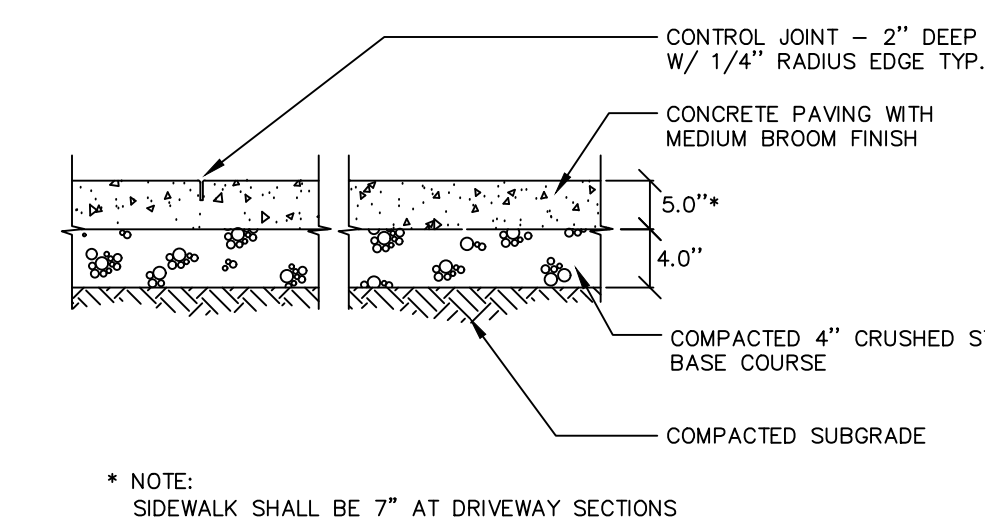
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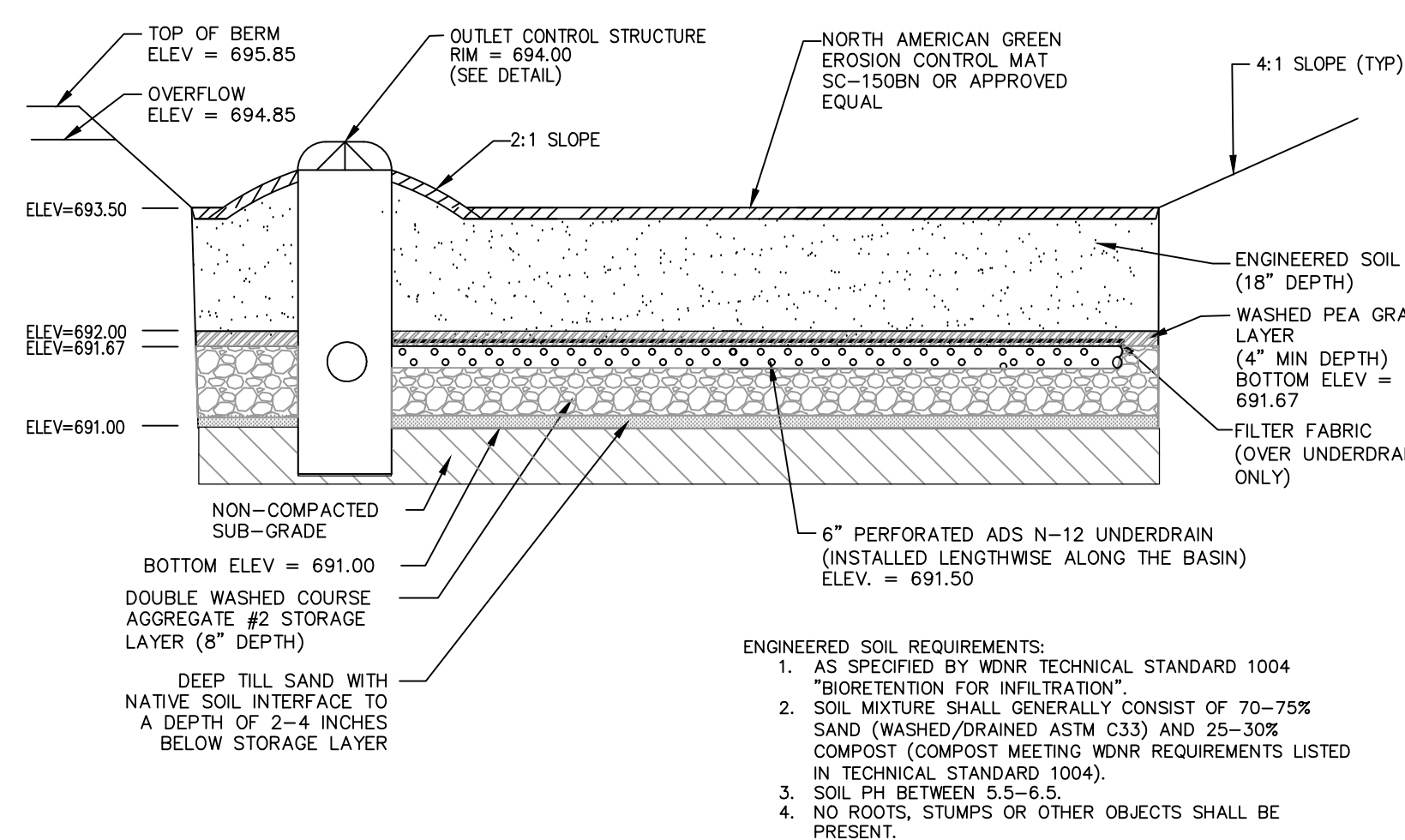
05 DEPRESSED CURB AND GUTTER  
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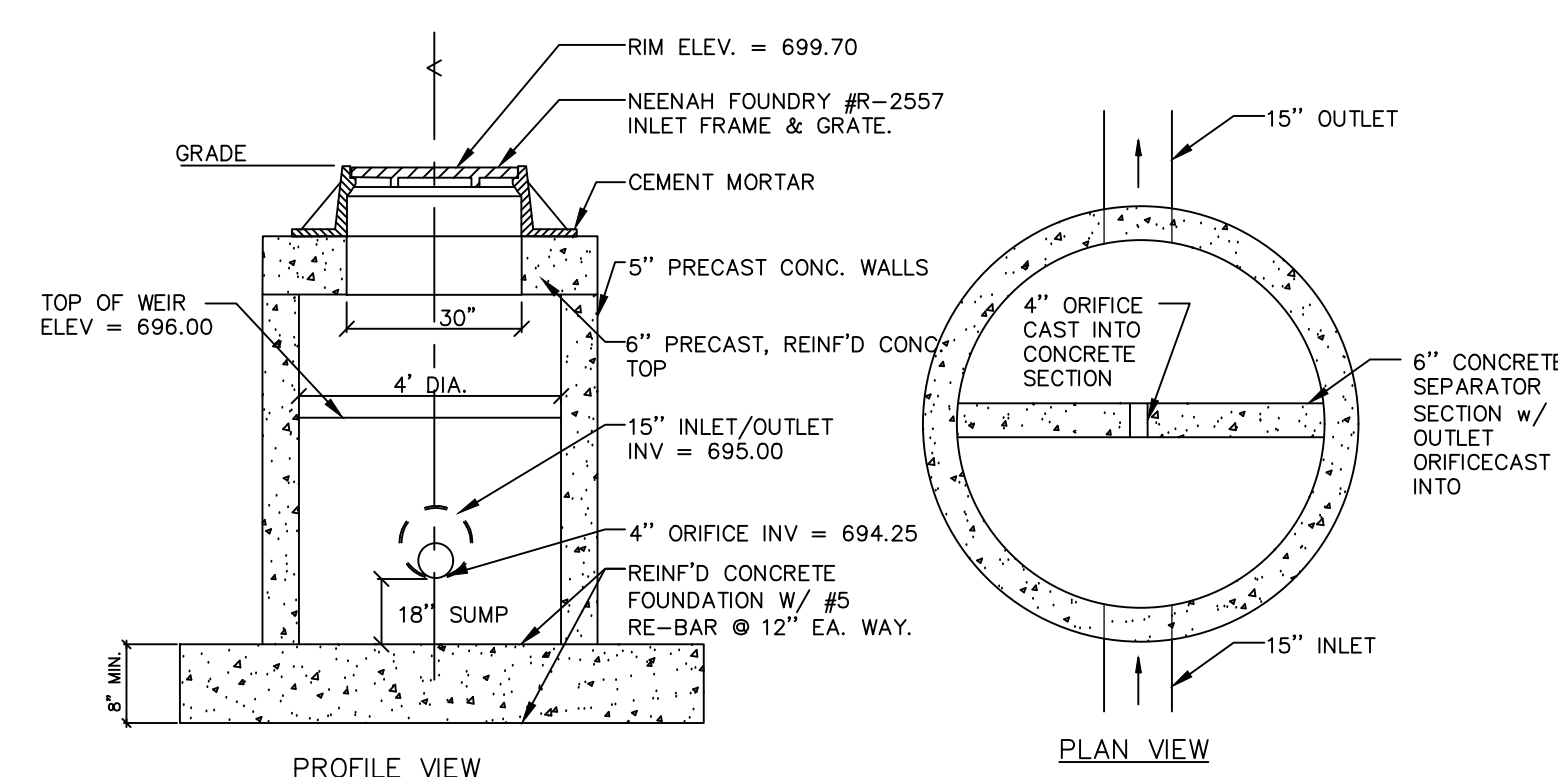
06 CONCRETE SIDEWALK DETAIL  
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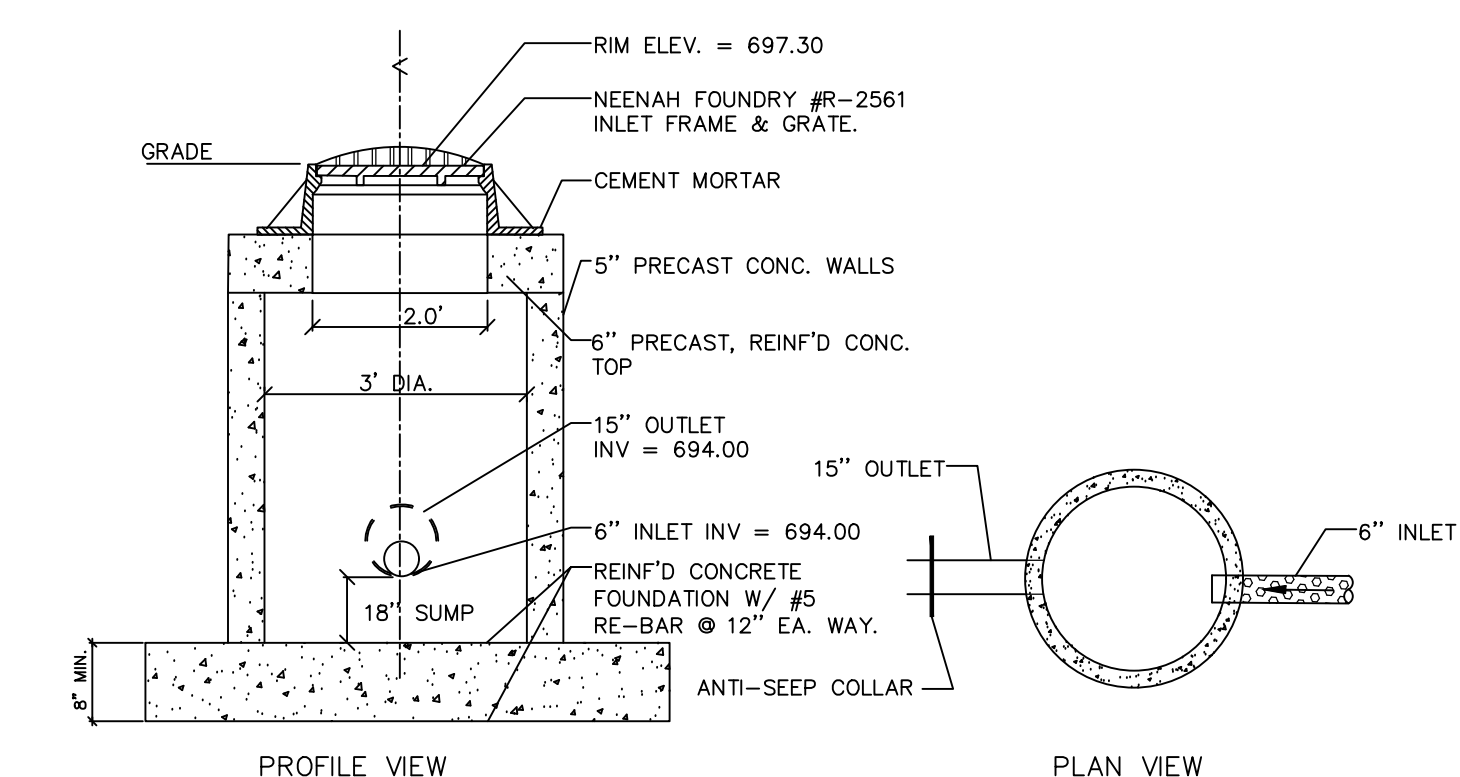
09 PLAYGROUND DRAINAGE SYSTEM DETAIL  
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02 BIO-RETENTION BASIN DETAIL  
NTS

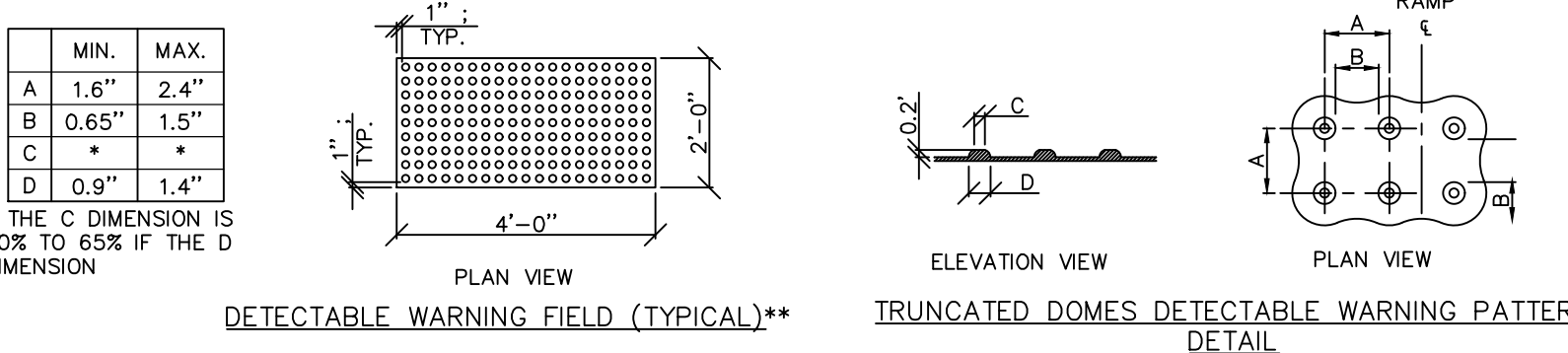


10 PLAYGROUND DRAINAGE OUTLET CONTROL STRUCTURE  
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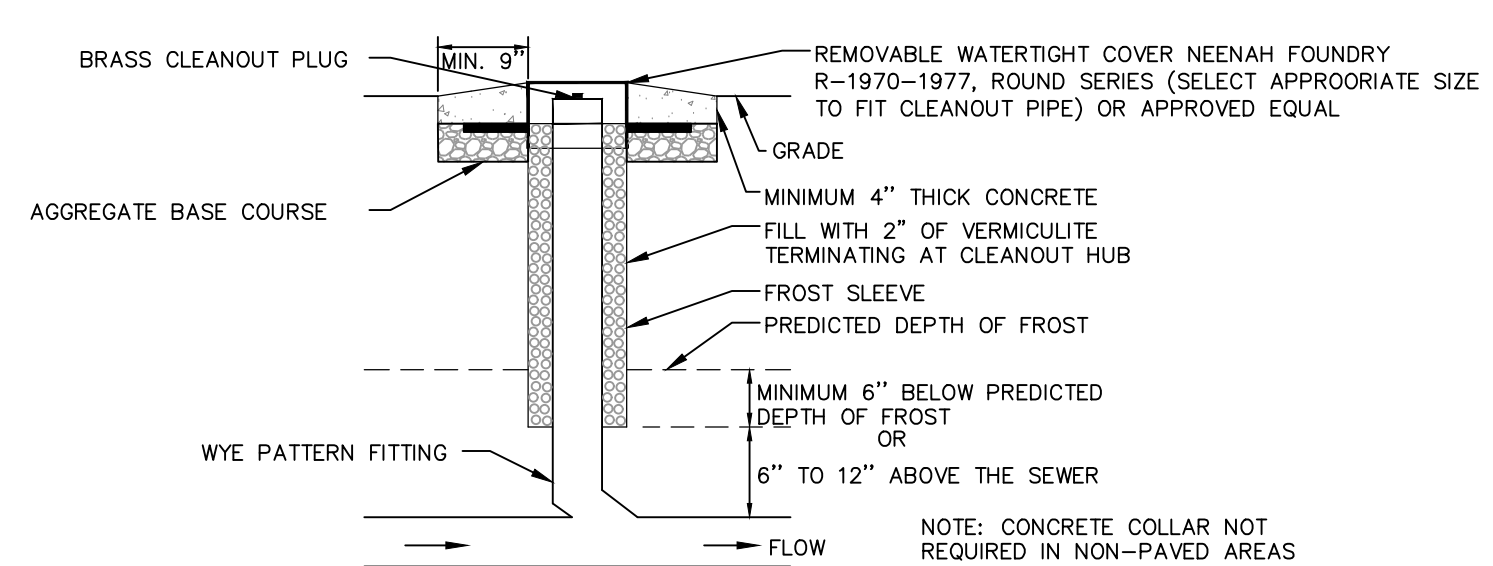
03 OUTLET CONTROL STRUCTURE  
NTS

07 HANDICAP RAMP - TYPE 4  
NTS



08 TRUNCATED DOMES  
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04 STORM CLEANOUT  
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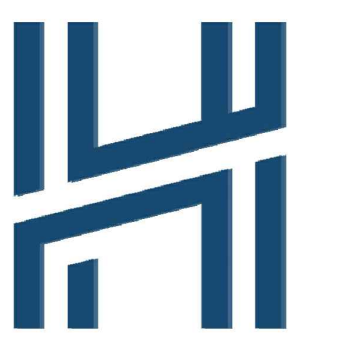
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**CONSTRUCTION  
DETAILS**

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255 North 21st Street,  
Milwaukee, Wisconsin 53233  
414.475.5554 · hecl.com

Project Name:  
**Rotary Park**

4100 Highland Rd  
Mequon, WI

Client:

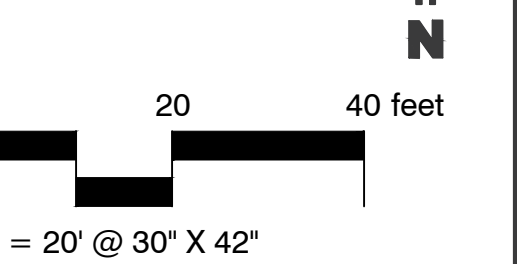
Issuance:

2026-03-17 60% DESIGN REVIEW

2026-05-01 City Submittal

2026-05-18 Plan Commission Submittal

Scale: 1" = 20'



Date: 05/01/2026

Project Number:

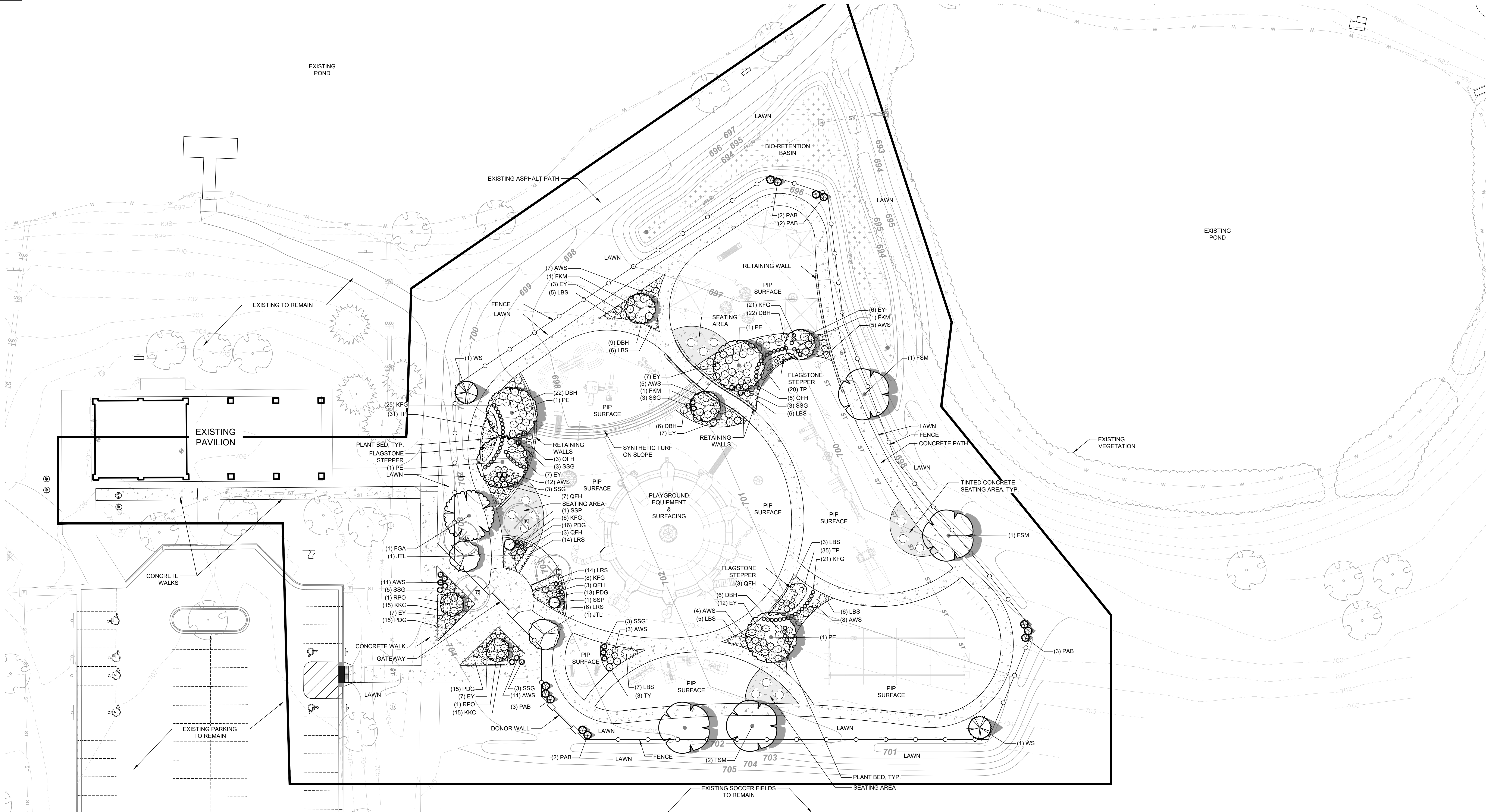
26-1012.00

Sheet Name:

LANDSCAPE PLAN

Sheet Number:

**L1.00**



**PLANT SCHEDULE**

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	SPACING
<b>DECIDUOUS TREES</b>							
	FSM	4	Fall Fiesta® Sugar Maple	Acer saccharum 'Ballista'	2" Cal.	B&B	As Shown
	FGA	1	American Beech	Fagus grandifolia	2" Cal.	B&B	As Shown
	RPO	2	Regal Prince Oak	Quercus robur x bicolor 'Long' TM	2" Cal.	B&B	As Shown
	PE	4	Princeton American Elm	Ulmus americana 'Princeton'	2" Cal.	B&B	As Shown
<b>ORNAMENTAL TREES</b>							
	FKM	3	Fire King™ Muscledwood	Carpinus caroliniana 'J.N. Select A'	1.5" Cal.	B&B	As Shown
	JTL	2	Ivory Silk Japanese Tree Lilac	Syringa reticulata 'Ivory Silk'	1.5" Cal.	B&B	As Shown
<b>EVERGREEN TREES</b>							
	WS	2	White Spruce	Picea glauca	7' Ht.	B&B	As Shown
	SSP	2	Chalet Swiss Stone Pine	Pinus cembra 'Chalet'	4' Ht.	B&B	As Shown
	PAB	12	Pyramidal Arborvitae	Thuja occidentalis 'Pyramidalis'	5' Ht.	B&B	As Shown

SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	SPACING
<b>DECIDUOUS SHRUBS</b>							
	DBH	65	Dwarf Bush Honeysuckle	Diervilla lonicera	18" Ht.	Cont.	As Shown
	QFH	24	Little Quick Fire Hydrangea	Hydrangea paniculata 'SMHPFL'	24" Ht.	Cont.	As Shown
	AWS	66	Anthony Waterer Spiraea	Spiraea x bumalda 'Anthony Waterer'	18" Ht.	Cont.	As Shown
<b>EVERGREEN SHRUBS</b>							
	EY	56	Everlow Japanese Yew	Taxus x media 'Everlow'	24" Sprd.	Cont.	As Shown
	TY	3	Taunton Yew	Taxus x media 'Tauntonii'	24" Sprd.	Cont.	As Shown
<b>ORNAMENTAL GRASSES</b>							
	KFG	81	Karl Foerster Feather Reed Grass	Calamagrostis x acutiflora 'Karl Foerster'	1 Gal.	Pot	24" o.c.
	SSG	23	Shenandoah Switch Grass	Panicum virgatum 'Shenandoah'	1 Gal.	Pot	36" o.c.
	LBS	38	Little Bluestem	Schizachyrium scoparium	1 Gal.	Pot	24" o.c.
	PDG	59	Prairie Dropseed	Sporobolus heterolepis	1 Gal.	Pot	18" o.c.
<b>PERENNIALS</b>							
	KKC	30	Kim's Knee High Coneflower	Echinacea purpurea 'Kim's Knee High'	4.5"	Pot	18" o.c.
	LRS	34	Little Spire Russian Sage	Perovskia atriplicifolia 'Little Spire'	4.5"	Pot	18" o.c.
	TP	86	Purple Carpet Mother of Thyme	Thymus praecox 'Purple Carpet'	4.5"	Pot	18" o.c.

**LANDSCAPE SHEET INDEX**

L1.00	Landscape Plan
L2.00	Landscape Details & Notes

**TREE IMPACT SUMMARY**

Trees to be Removed: 4  
Proposed Trees: 33

Tree Removals Symbol	Species	DBH	Condition
A	Freeman Maple	8"	Good
B	Freeman Maple	8"	Good
C	Freeman Maple	8"	Good
D	Freeman Maple	13"	Good

**GENERAL NOTES**

- Lawn areas to be seeded with premium, commercial grade seed mix; see specifications.
- Plant beds to receive a 2-3" deep layer of shredded hardwood mulch; see notes.
- All plantings shall comply with standards as described in the American Standard of Nursery Stock - ANSI Z60.1 (Latest Version)



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE-CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.

# LANDSCAPE NOTES

## GENERAL

- All landscape installation and maintenance to conform with all applicable local codes and ordinances.
- See site drawings for work limits, scope of construction, hardscape, dimensions and/or construction notes. See civil drawings for all hardscape, grading, stormwater management, site utilities and erosion control. See landscape drawings for landscape plans, site amenities, details, schedules, notes. See architectural drawings for all construction. See electrical drawings for all power, circuiting, lighting and security. See mechanical drawings for other site equipment.
- Contractor shall provide shop drawings and material submittals of all hardscape and landscape construction elements shown in plan set for landscape architect review prior to construction.
- Contractor to provide samples for landscape architect's approval on all colors, finishes and materials prior to construction, including (but not limited to) topsoil, gravels, mulches, seed mixes, etc.
- Caution: underground utilities are present on site. The contractor shall verify location of all above- and below-grade utilities, both public and private, prior to commencement of site construction. If unanticipated above- or below-grade conditions are encountered, notify client and landscape architect prior to proceeding. Coordinate with local public utility locating entity as needed.
- Contractor to verify hardscape layout prior to construction. Contact landscape architect if discrepancies are found.
- Contractor to limit construction traffic to within work limit lines. All adjacent damage shall be the responsibility of the contractor to restore. See civil drawings for limits of disturbance.
- All written dimensions supersede scaled dimensions. All dimensions are taken from face of curb, wall or existing building foundations.

## PLANTING

- Rough grading and topsoil import/spreading are to be completed by others. Finish grading, seed area and planting bed preparation shall be the landscape contractor's responsibility. Verify all existing site and grading conditions prior to construction.
- All areas disturbed by site construction shall be fine graded and restored with vegetative cover as shown. See plans for cover types and locations, see specifications for materials and installation.
- Landscape contractor shall verify plant quantities shown on plan. Symbol quantities take precedence over plant schedule. Landscape contractor shall forward a material list to the landscape architect prior to construction identifying species, sizes and plant sources to be used on the project. Any potential plant substitutions or changes to sizes shown on plan and appropriate cost credits / adjustments must be submitted in writing to the general contractor and approved by the owner's representative and landscape architect prior to installation.
- All plant materials shall conform to the schedule and shall meet quality requirements outlined in the ANLA "American Standard for Nursery Stock", ANSI Z60.1-2014. The landscape architect, general contractor or owner's representative reserves the right to reject any substandard planting material. Such rejected material shall be removed from the project site immediately.
- An owner's representative shall be allowed to inspect and approve trees at the nursery prior to delivery to the site.
- All nursery tags/labels shall be left on plant materials until the project punch-list inspection is completed by the landscape architect. Untagged materials will be assumed to be deficient.
- Topsoil requirements:
  - All planting beds shall contain screened, blended topsoil mix to a minimum depth of 18". All seeded areas shall have minimum depth of 4".
  - Existing topsoil meeting project specifications may be stripped, stored and re-used if previously approved. Landscape contractor shall remove all excessive clay, gravel and stones detrimental to healthy plant growth. Landscape contractor shall remove all debris greater than 1" diameter.
  - Subgrade shall be tilled and/or scarified prior to placement of topsoil.
  - Landscape contractor shall be responsible for obtaining soil tests for existing or imported topsoil. Soil testing results shall include (but are not limited to) soil pH, % organic matter, % nitrogen/phosphorus/potassium, % calcium, and soil texture (percentages of sand, silt and/or clay.) Soil testing shall include recommendations for soil amendments, if required to support growth of standard ornamental landscape materials.
  - Contaminated soil shall be removed from the project site if discovered.
- Grading and/or landscape contractor shall provide positive drainage away from all structures for a minimum of 10'.
- Landscape contractor is responsible for ensuring that all tree pits and planting areas drain properly. Notify landscape architect if drainage or moisture issues are encountered while planting.
- Tree Planting (see detail):
  - Identify root flare - the part of the trunk where roots spread out at the base of the tree. Root flare should be visible (not buried under mulch or soil) after the tree has been planted. Plant all trees slightly higher than finished grade at root flare.
  - Dig hole two to three times as wide as the root ball, and slightly shallower than root ball. Break up compacted soil on sides of hole, leaving bottom of hole firm.
  - Once tree has been placed in hole, ensure it is at the proper depth and vertical alignment before tamping soil around lower portion of root ball.
  - Remove and discard all synthetic twine from root ball.
  - Without loosening the root ball, peel back, cut and remove as much of the wire basket as possible.
  - Backfill with 25% compost and 75% existing soil blended prior to backfilling holes, in six inch lifts. Lightly compact each lift using foot pressure to settle backfill, support the tree and eliminate voids.
  - When the planting hole has been backfilled to three-quarters of its depth, pour water around the root ball to settle the soil. Continue backfilling until soil is brought to grade level.
  - Refer to Mulching note below.
  - Trees that are installed incorrectly will be replaced at the time and expense of landscape contractor.

- Tree Staking: Due to unique site characteristics and the specific qualities of each tree, some trees may need to be staked. If the root ball is unstable, the trunk is bending, or the tree is planted in a very windy or otherwise unstable location, it should be staked.
- Shrub Planting (see detail):
  - All shrubs shall be backfilled with 25% compost and 75% existing soil, blended prior to backfilling holes.
  - Remove twine and top third of burlap from B&B shrubs. Remove and discard all synthetic twine.
  - When planting hole has been backfilled to three-quarters of its depth, pour water around the root ball to settle the soil.
  - Continue backfilling until soil is brought to grade level.
- Plant Bed Preparation: the soil in all perennial and ornamental grass areas, shall be amended with compost prior to plant installation. Spread a 3" layer of compost (per note below) on top of clean topsoil and rototill to a depth of approximately 8".
- Compost shall be stable and weed-free organic matter. It shall be resistant to further decomposition and free of compounds, such as ammonia and organic acids in concentrations toxic to plant growth. The compost shall contain no pathogens or other chemical contaminants and be free of physical contaminants (i.e. plastic). The compost shall have a pH between 5.5 - 8.5, be finely ( $\frac{3}{8}$ " -  $\frac{1}{2}$ ") screened and contain an organic content between 25-65%.

- Unless otherwise shown, all shrubs, perennials and ornamental grasses to be planted in triangular arrangements. For plants not shown individually, refer to the spacing shown in the plant schedule.
- Mulching: All tree and shrub planting beds to receive a 3" deep layer of high quality, shredded hardwood mulch, reduced to a depth of 1" on top of root balls. All perennial and ornamental grass areas to receive 2" of the same mulch, with the exception of dry stormwater basins. Do not mulch bioretention / bioinfiltration basins - refer to civil plans for erosion control methods. Do not allow mulch to contact plant stems and tree trunks (keep 4" to 6" away from tree trunks). For trees in lawn areas, create a 3" deep, 4 ft. diameter ring of mulch, reduced to a depth of 1" on top of root ball. Form mulch into a low saucer shape a little higher at the outer edge to help contain water.
- Plant Bed Edging: Edge all planting beds with a 4" deep shovel cut or mechanical edge. Bedlines are to be cut per plan. A clear definition between the lawn and plant bed is required.

## LAWN / SEEDING

- This work shall consist of preparing the seed beds and/or sod areas and furnishing, sowing and mulching the required seed for the various seeded areas, as outlined in the site plans and specifications. All turf restoration shall be seeded turf unless otherwise noted.
- Rough grading, drainage work, topsoiling and fine grading shall be completed before sowing the seed mixes and/or installing sod. A minimum depth of 4" of blended, prepared and non-compacted topsoil is required for all seeded and/or sodded areas. The areas to be seeded and/or sodded shall be worked with plow chisels, discs and harrows, soil finishers and/or other appropriate equipment until a reasonably even and loose seedbed is obtained. Seed/sod beds shall be prepared immediately in advance of the seeding. If proposed seed/sod areas are weedy, contractor to apply herbicide or other weed control measures to eliminate weeds. Follow herbicide's recommended waiting period, if any, prior to seeding/sodding.
- Confirm that anticipated project schedule date(s) fall within industry standards for seed installation prior to performing any work. Installations completed outside of acceptable seeding dates shall be the performed at the sole responsibility and expense of the contractor. For dormant seeding, a minimum of one over-seed application in the following season will be required.
- Provide seed mix invoices, bag-tags or mix analysis results to landscape architect for approval prior to installation. Native seed shall be sold on a PLS basis.
- The seed mixtures shall be sown by means of equipment adapted to the purpose. Mechanical distribution of seed (i.e. Truax seed drill, Brillion seeder, cultipacker, slit-seeder, drop spreader or broadcast spreader) are the accepted methods.
- No seeding shall occur if the wind exceeds 12 MPH.
- Coordinate erosion control and/or mulching with civil drawings:
  - In sloped areas steeper than 4:1, erosion matting shall be installed by others. Landscape installation shall be coordinated with the grading contractor.
  - In areas with slopes between 4:1 and 8:1, grading and/or landscape contractor shall apply straw mulch, free of debris and seeds, on all newly seeded areas. Mulch shall be uniformly spread over the designated area at a rate of 55 bales per acre or as indicated in the respective seed supplier's specifications. Mulch material shall be chopped and blown into the seeded area. A facifier may be necessary to avoid wind damage.
  - Lightweight erosion control matting and/or hydromulch will be accepted as a no-cost alternate if approved by landscape architect prior to application.
- See civil drawings for erosion control measures. Coordinate with grading contractor where required to ensure that topsoil, seeding and/or mat installations are properly coordinated.
- Seed mix substitutions will be considered only if submitted for approval 10 days before the close of bidding. All mixes shall be installed and maintained per supplier's specifications.

**LAWN SEED MIX:**  
 "Deluxe 50 Lawn Seed Mix" shall be supplied by Reinders, Sussex, WI, 262-786-3300. Apply at 4 - 5 lbs per 1000 SF.

**DETENTION BASIN MIX:**  
 "Detention Basin / Bioswale Mix" shall be supplied by Prairie Nursery, Westfield, WI, 608-296-2741. Apply at 10 PLS lbs per acre. Mix with a cover crop per supplier's recommendations.

- Based on soil test results, apply an appropriate starter fertilizer at the time of seeding / sodding.
- Landscape contractor is responsible for establishing a smooth, uniform, quality turf. An acceptable quality turf is defined as having no more than 5% of the total area with bare spots larger than 1/2 square foot and uniform coverage throughout all turf areas.
- Lawn Sod Installation: Prepare the topsoil by removing / killing any existing vegetation and any stones on the surface greater than 1" diameter. Grade sod areas to finish grade, allowing for thickness of sod. Finished soil should be loose, not compacted. Use only a premium sod blend. Install sod uniformly with staggered joints, laid lightly end to end and side to side, leaving no gaps between the edges. On slopes, lay sod horizontally across the slope. Roll sod with a walk behind roller and water thoroughly immediately upon installation. Stake any sod installed on steep slopes or in swales, etc. Landscape contractor is responsible to provide a smooth, uniform, quality turf. Landscape contractor shall repair and re-sod any eroded, sunken or bare spots larger than 1/2 square foot until acceptance by owner.

## LANDSCAPE MAINTENANCE AND WARRANTY

- Maintenance until Substantial Completion: Landscape contractor is responsible for maintaining all landscape areas throughout construction until Substantial Completion of the landscape installation. Substantial completion is defined as sufficiently finished so that the landscape is functional / able to be utilized for its intended purpose. Only minor, corrective or warranty work remains. Maintenance includes all trees, shrubs, perennials, ornamental grasses and seeded/sodded areas. Work shall include:
  - watering as needed for establishment of plant material
  - watering as needed for establishment of seeded/sodded areas
  - weeding and/or herbicide application
  - mowing of seeded/sodded areas after appropriate waiting period
  - pruning of dead plant material
- Maintenance for One Year after Substantial Completion: Landscape contractor shall be responsible for providing comprehensive landscape establishment, maintenance and warranty care for one year after Substantial Completion. Prior to beginning installation, the landscape contractor shall submit a 12-month calendar for review/approval to the owner and/or landscape architect, including all anticipated maintenance activities and dates. This includes all trees, shrubs, perennials, ornamental grasses and seeded/sodded areas. Work shall include:
  - watering as needed for establishment and ongoing maintenance of plant material
  - watering as needed for establishment of seeded/sodded areas
  - weeding and/or herbicide application
  - mowing of seeded/sodded areas
  - pruning
  - fertilizing
  - pest management
  - spring/fall clean-ups
- Warranty and Replacements: All plants (trees, evergreens, shrubs, perennials and ornamental grasses) shall be guaranteed (100% replacement) for one year from the date of Substantial Completion. This assumes the owner performs required maintenance (i.e. regular watering, etc.) after substantial completion of the landscape installation. Only one replacement per plant will be required during the warranty period, except for losses due to failure to comply with landscape specifications. Replacements shall be plants of the same variety specified on the plan and closely match adjacent specimens in size. The landscape contractor is responsible for keeping a documented record of which plants have been replaced during the warranty period.

## HARDSCAPE / AMENITY

### PLAYGROUND EQUIPMENT

- Playground Equipment: All equipment provided and installed by Gerber Leisure. Coordinate installation with General Contractor and Landscape Architect.
- Poured in Place Surface: All surfacing in playgrounds areas is provided and installed by Gerber Leisure. Coordinate installation with General Contractor and Landscape Architect.

### FENCING

- Ornamental Fence: Shall be 6' ht. Jarrah Premier #202 Flat Top Panel with black finish or approved equal. Install per manufacturer's specifications.

### WALLS

- Retaining Wall: Versa-Lok Standard Units and Caps or approved equivalent. Color TBD from standard color options; contractor to provide samples of Ashbury Haze, Buff and Silver. Final selection by owner and coordinated with landscape architect. Install per manufacturers specifications. See civil plans for top and bottom of wall elevations.

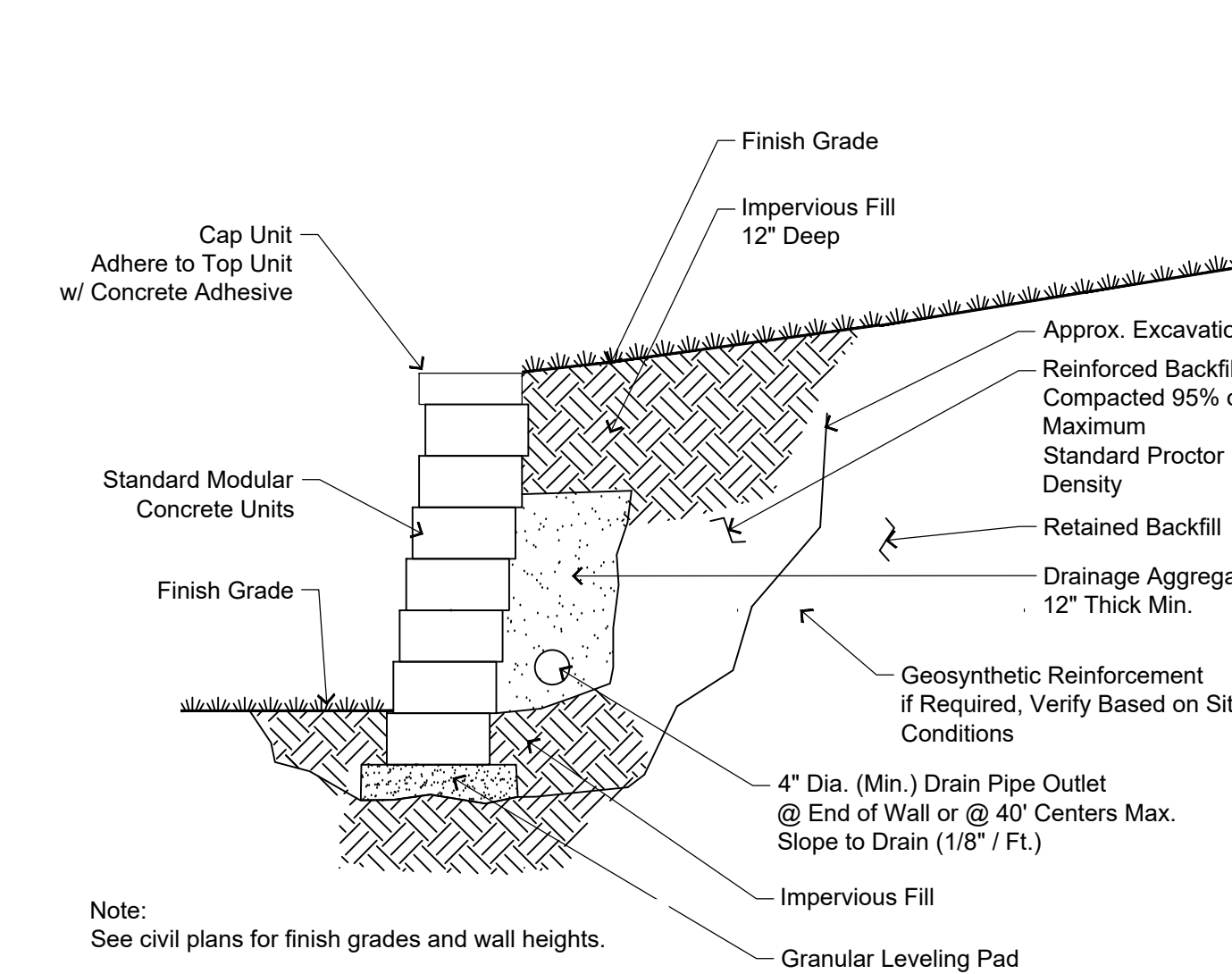
### SITE FURNISHINGS

- Outdoor Site Furnishings: Provided and installed by Gerber Leisure. Coordinate installation with General Contractor and Landscape Architect.
- Shade Structures: Provided and installed by Gerber Leisure. Coordinate installation with General Contractor and Landscape Architect.
- Signage to be provided and installed by Gerber Leisure. Details plans and specifications will be provided at a later date for review and city approval.

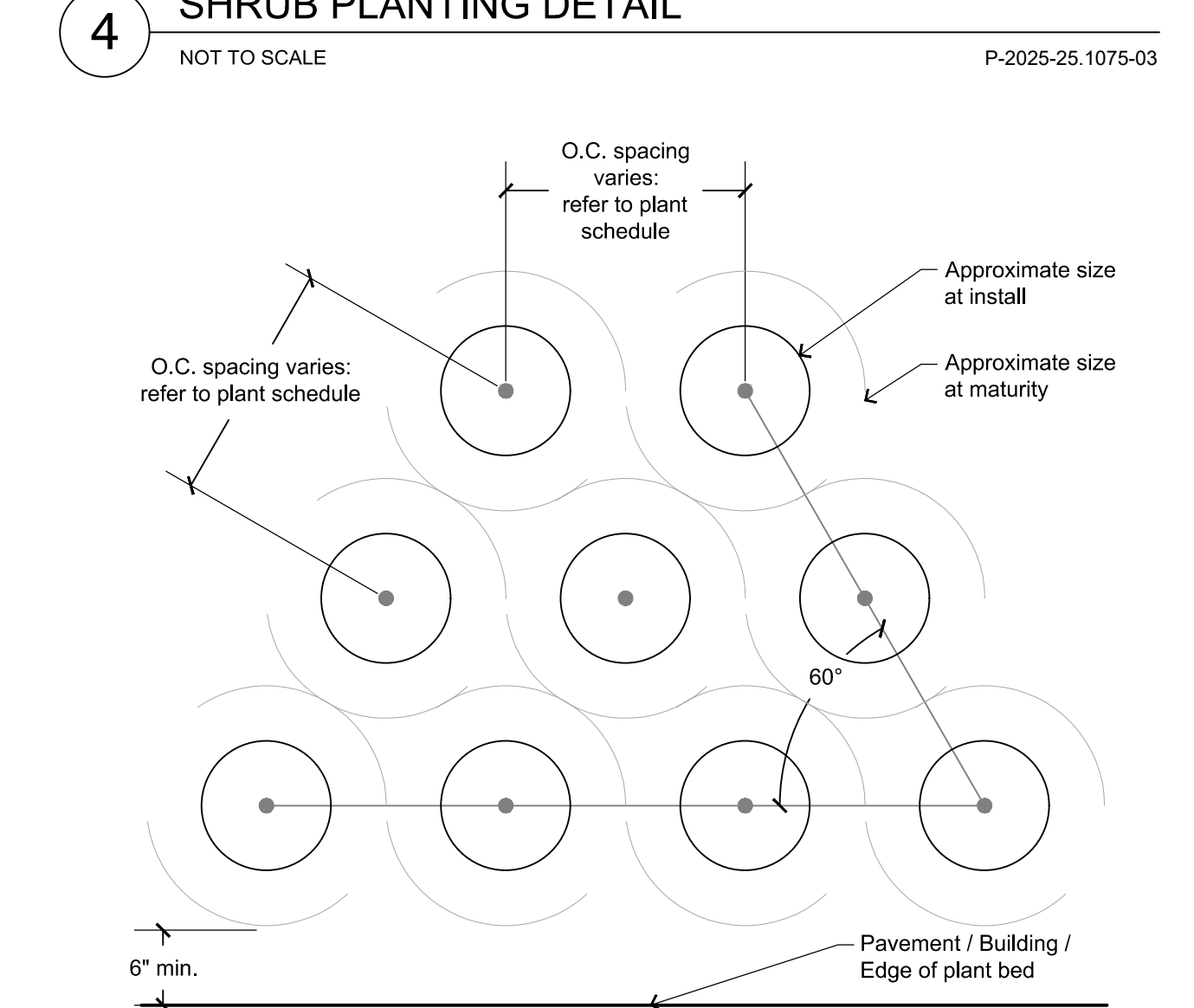
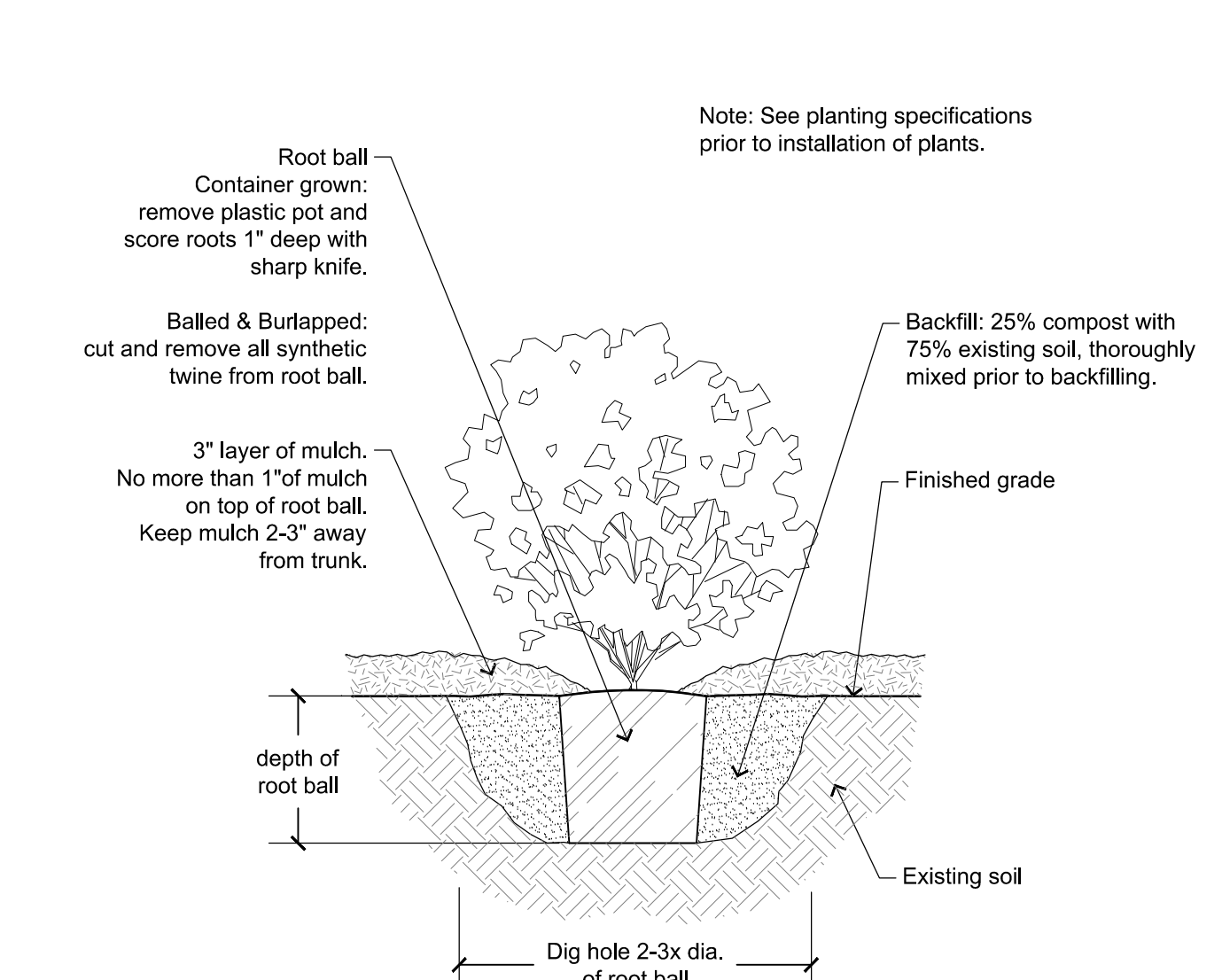
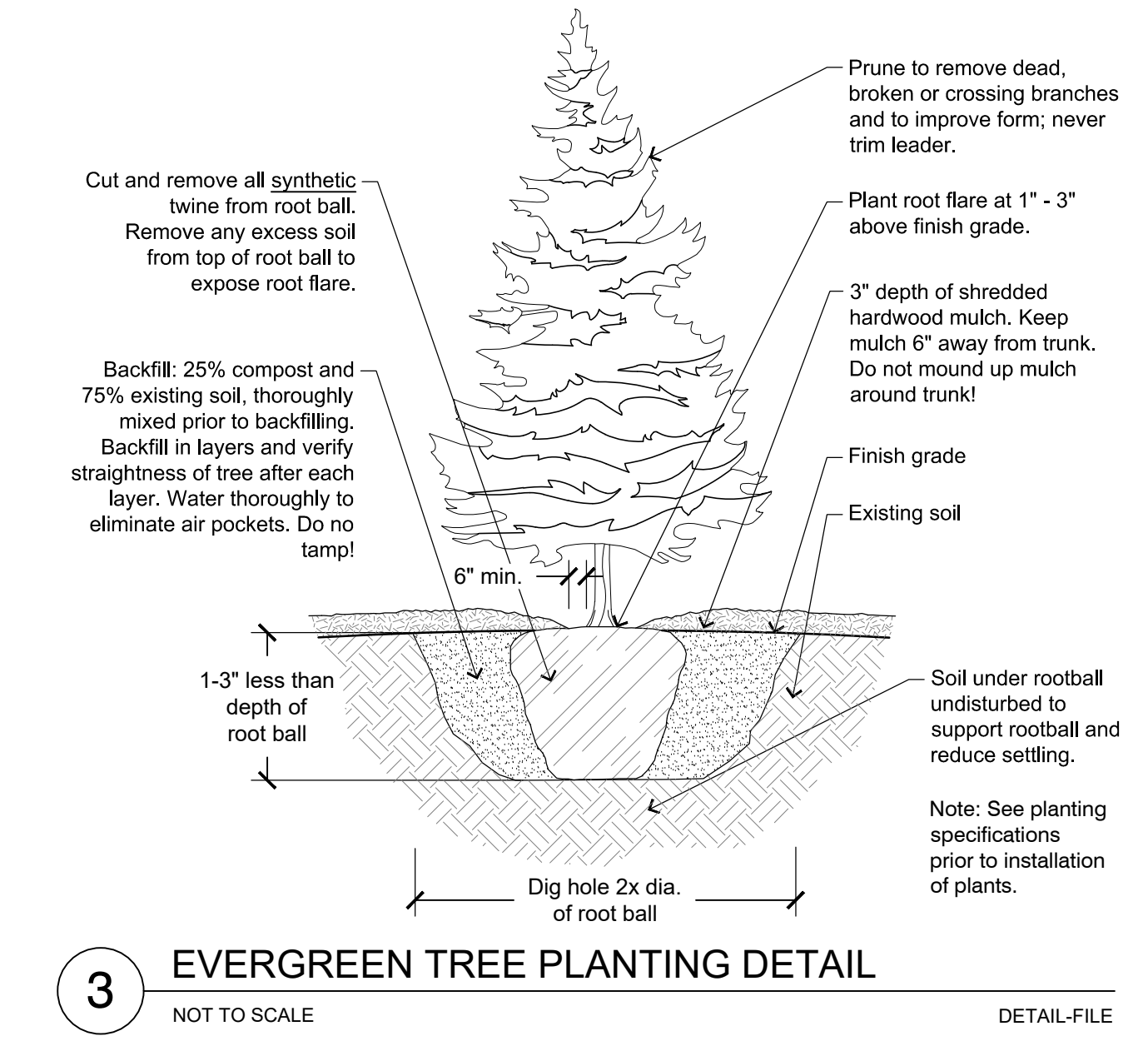
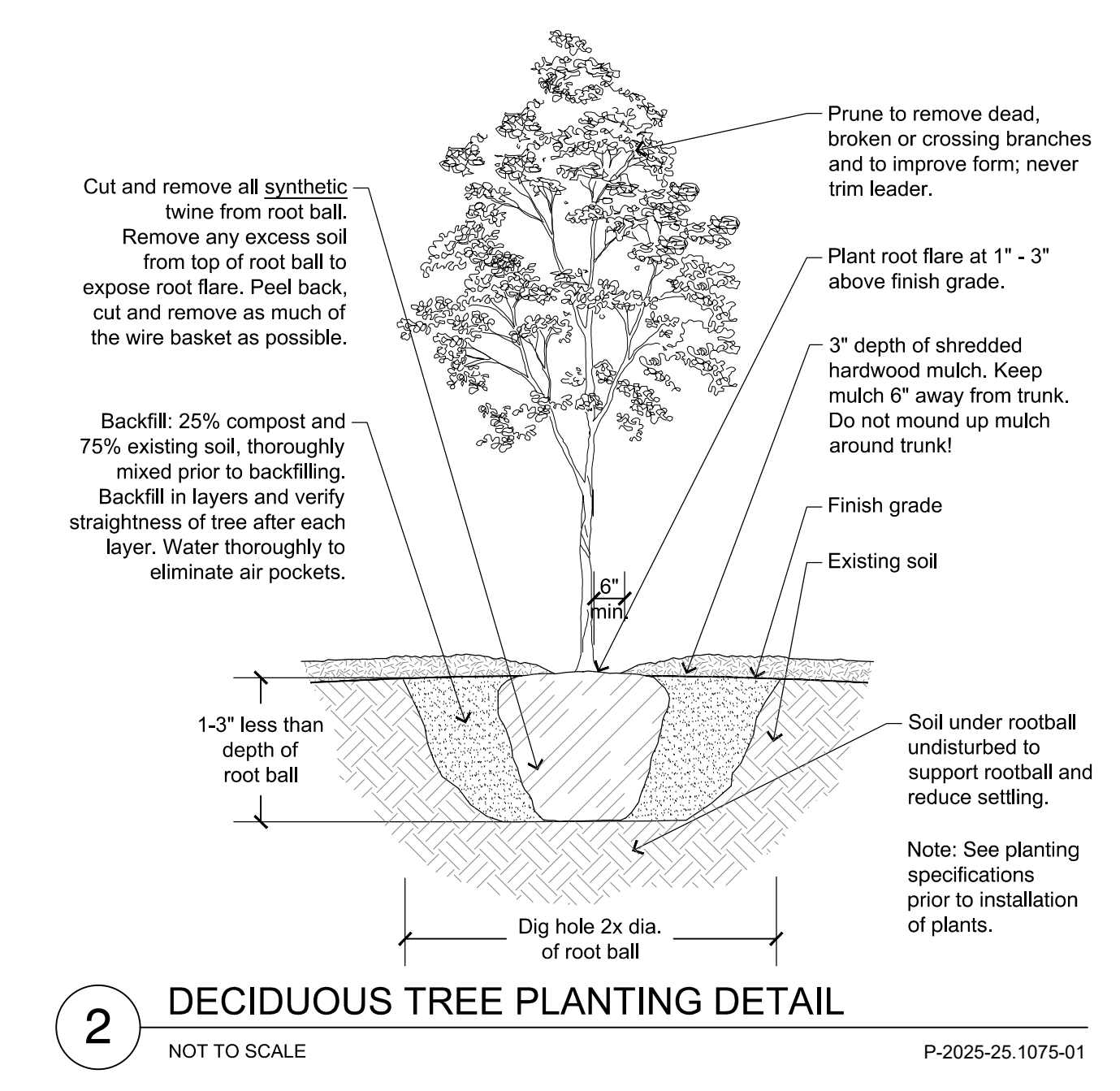
### HARDSCAPE

- Retaining Wall: Unilock Quarry Smooth Stone and Ledgestone Caps or approved equal. Color TBD from standard color options. Contractor to provide grey and buff cap samples. Final selection by owner and coordinated with landscape architect. Install per manufacturer's specifications. See civil plans for top and bottom of wall elevations.
- Flagstone Steppers - Shall be approximately 18"-36" diameter limestone pavers, 2" thick, set on a 3" crushed stone base over compacted sub-base.
- Tinted Concrete / Integral Colored Concrete: Install where shown on landscape plans. See civil drawings for concrete detail. Shall be 'SikaColor - 100 P' integral admixture, sealed with 'Selectseal Plus' water-based sealant. Available from Sika USA, Aurora, IL, 800-262-3388, or approved equal. Color TBD from standard SikaColor - 100 P options; assume U118 Gull Gray color for pricing purposes. Contractor shall provide up to three 2'x2' test-pours of different colors for final selection, each with appropriate sealant and broom finish. Final selection by owner and coordinated with landscape architect.

## LANDSCAPE HARDSCAPE DETAILS



## LANDSCAPE PLANTING DETAILS



**HARWOOD**  
 civil - landscape architecture  
 structural - mechanical - electrical  
 plumbing / fire protection - security  
 lighting design - telecommunications

255 North 21st Street,  
 Milwaukee, Wisconsin 53233  
 414.475.5554 • hecL.com

Project Name:  
**Rotary Park**

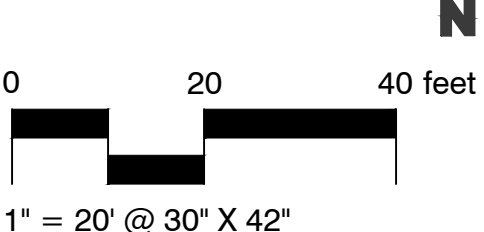
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2026-05-18	Plan Commission Submittal

Scale: 1" = 20'



Date: 05/01/2026

Project Number:

26-1012.00

Sheet Name:

LANDSCAPE  
 DETAILS & NOTES

Sheet Number:

**L2.00**



IN ACCORDANCE WITH WISCONSIN STATUTE 182.0175, DAMAGE TO TRANSMISSION FACILITIES, EXCAVATOR SHALL BE SOLELY RESPONSIBLE TO PROVIDE ADVANCE NOTICE TO THE DESIGNATED "ONE CALL SYSTEM" NOT LESS THAN THREE WORKING DAYS PRIOR TO COMMENCEMENT OF ANY EXCAVATION REQUIRED TO PERFORM WORK CONTAINED ON THESE DRAWINGS, AND FURTHER, EXCAVATOR SHALL COMPLY WITH ALL OTHER REQUIREMENTS OF THIS STATUTE RELATIVE TO EXCAVATOR'S WORK.



11333 N. Cedarburg Road  
Mequon, WI 53092-1930  
Phone: 262/236-2914  
Fax: 262/242-9655

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[www.cityofmequonwi.gov](http://www.cityofmequonwi.gov)

**Buildings and Grounds**

**TO: Park and Open Space Board**  
**FROM: Justin Bodoh, Building and Grounds Superintendent**  
**DATE: June 17, 2026**  
**SUBJECT: 2027 Park Capital Budget Review**

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### **Background**

The Park and Open Space Board adopted the 2019 Park and Open Space Plan, which included a long-term Capital Improvements Plan to guide investments in the City’s park system. In 2025, the plan was updated to reflect current priorities, infrastructure needs, and community demand. The proposed FY 2026–2030 Capital Plan continues to implement these recommendations through phased improvements funded by the Capital Projects Fund and other available funding sources.

The FY 2026 capital program priorities include projects such as enhanced security camera systems at River Barn and Rotary Parks, ADA accessibility improvements, playground replacement at Riverview Park, kayak rental kiosks, restoration landscaping and tree replacement initiatives, and improved park signage and wayfinding. Future years continue funding for park planning and system-wide improvements.

### **Analysis**

The proposed Capital Plan prioritizes projects that improve public safety, modernize aging infrastructure, address accessibility requirements, and enhance the overall visitor experience throughout the City’s park system. Projects have been selected based on recommendations contained in the Park and Open Space Plan and ranked according to their importance in maintaining and improving existing facilities while meeting community needs.

The five-year funding strategy provides a balanced approach that allows the City to complete high-priority improvements while maintaining flexibility to pursue grants, partnerships, and alternative funding opportunities. Staff recommends the Park and Open Space Board review the proposed Capital Plan and forward its recommendations for inclusion in the City’s capital budgeting process.

The City typically initiates the internal budget process in July with final budget adoption in

November. The attached document for the 2026 budget is the form that is utilized internally for capital funding requests. Staff proposes updating that as outlined in this report.

**Fiscal Impact**

The proposed FY 2027–2031 Capital Plan includes total expenditures of **\$510,000**, allocated as follows:

- **FY 2027:** \$110,000
- **FY 2028:** \$100,000
- **FY 2029:** \$100,000
- **FY 2030:** \$100,000
- **FY 2031:** \$100,000

Funding is anticipated to come primarily from the **Capital Projects Fund**, with certain projects leveraging additional sources such as park impact fees, grants, donations, and public-private partnerships where available. The FY 2026 Park Planning & Improvements account currently has an available capital allocation of **\$283,668.12**, providing sufficient funding for the proposed projects.

**Recommendation**

Staff does not recommend requesting a significant increase to the Parks capital allocation at this time, as doing so would reduce funding available for other City capital priorities. Instead, staff recommends maintaining the proposed capital budget and continuing to seek outside funding opportunities to supplement City resources and advance additional park improvements as funding becomes available.

Attachments:  
26\_27 CAP POSB

**Capital Plan**  
**City of Mequon, Wisconsin**

**FY 2026**            *through*            **FY 2030**

**Project #**            **10474**  
**Project Name**    **Park Planning & Improvements**  
**Department**     Parks  
**Contact**            J. Bodoh  
**Type of Project**   Buildings  
**Useful Life (Yrs)** 10  
**Priority**              1 Most Important  
**Current CAP** **\$283,668.12**

<b>Expenditures</b>	<b>FY 2026</b>	<b>FY 2027</b>	<b>FY 2028</b>	<b>FY 2029</b>	<b>FY 2030</b>	<b>Total</b>
Construction	\$118,250.00	\$110,000.00	\$100,000.00	\$100,000.00	\$100,000.00	<b>\$528,250.00</b>
<b>Total</b>	<b>\$118,250.00</b>	<b>\$110,000.00</b>	<b>\$100,000.00</b>	<b>\$100,000.00</b>	<b>\$100,000.00</b>	<b>\$528,250.00</b>
<b>Funding Sources</b>	<b>FY 2026</b>	<b>FY 2027</b>	<b>FY 2028</b>	<b>FY 2029</b>	<b>FY 2030</b>	<b>Total</b>
Capital Projects Fund	\$118,250.00	\$110,000.00	\$100,000.00	\$100,000.00	\$100,000.00	<b>\$528,250.00</b>
<b>Total</b>	<b>\$118,250.00</b>	<b>\$110,000.00</b>	<b>\$100,000.00</b>	<b>\$100,000.00</b>	<b>\$100,000.00</b>	<b>\$528,250.00</b>

**Description**

In 2019, the Park and Open Space Board completed a Park & Open Space Plan which includes a Capital Improvements Plan. Capital improvements to a park are the additional labor and materials that improve the overall value and usefulness of that park. Capital improvements are designated and funded individually through segregated municipal funds. In 2025, the Park & Open Space compensation plan has been updated. 2026 Capital Projects include: 1. WiFi and Keyless Entry with Security Cameras at River Barn and Rotary Park (South Rotary and Reuter Pavilions), 2. Playground Replacement at Riverview Park, 3. ADA Accessible Picnic Tables - System Wide Park Improvements, 4. Kayak Rental Kiosks at Villa Groove and Garrisons Glen, 5. Restoration Landscape and Plantings, 6. EAB Removal and Tree Replacment, and 7. Improved Signage including Wayfinding / Directional

**Justification**

The capital improvements program for each park is a combination of several types of projects. These projects are ranked according to their importance and priority in the overall development of the park and the value of the project to the overall City park system. Capital improvements are ranked in the following manner:

1. Improvements to existing facilities that will:
  - i. Correct health and safety hazards
  - ii. Upgrade deficient facilities
  - iii. Modernize adequate but outdated facilities
2. Installation of facilities as deemed appropriate and necessary through public demand.
3. Development of new facilities as deemed necessary through level of service, population projection and age cohort analysis.

**Budget Impact/Other**

The funds can be secured and allocated through the annual budget, grants, donations, public/private partnerships, and the park impact fee account.

The following projects are requested to be funded in part by combinations of capital, park impact fees, and ARPA funding.

1. Rotary Park - Installation of City Water, Gas, WiFi, Keyless entry. Total = \$164,000

2. Reconstruction of basketball/pickleball court at Rotary Park- \$40,000 Capital, \$30,000 Park Impact, \$20,000 public/private partnership. Total = \$90,000



11333 N. Cedarburg Road  
Mequon, WI 53092-1930  
Phone: 262/236-2914  
Fax: 262/242-9655

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[www.cityofmequonwi.gov](http://www.cityofmequonwi.gov)

**Buildings and Grounds**

**TO: Park and Open Space Board**  
**FROM: Justin Bodoh, Building and Grounds Superintendent**  
**DATE: June 17, 2026**  
**SUBJECT: Emerald Ash Borer (EAB) Program Update**

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### **Background**

The City of Mequon adopted its Emerald Ash Borer (EAB) Policy in 2017 to proactively manage the anticipated loss of ash trees on public property due to infestation by the Emerald Ash Borer. At the time of adoption, it was estimated that more than 27,000 ash trees existed within the public right-of-way and on City-owned lands. The policy established a phased removal strategy prioritizing public safety while also recognizing the importance of tree replacement to preserve environmental benefits, aesthetics, and property values.

Since implementation, the Department of Public Works has led the majority of removal efforts, supplemented by contracted services where necessary. As the program has matured and the highest-risk trees have been addressed, the City has begun shifting focus toward replacement plantings and long-term urban forest restoration.

### **Analysis**

Since 2017, the City has removed approximately 12,800 ash trees, with roughly 11,753 completed by City staff and 1,046 completed through contracted services. Staff estimates the City has progressed to Step 6 of the original EAB Policy and anticipates responsibility for approximately 2,800 remaining ash trees, primarily located in parks, natural areas, and low-lying public properties. Please note that removal of all ash trees may not be required, as those within natural areas which would not impact public safety may remain.

The EAB Policy establishes a goal of replacing trees removed through the EAB management program at a 1:1 ratio. To date, the City has planted 667 replacement trees through direct City efforts and supplemented by the resident-driven Street Tree Replacement Program. As large-scale removals decline, resources are increasingly being directed toward strategic reforestation efforts and restoring canopy coverage throughout the community.

Current removal priorities within the parks include Katherine Kearney Carpenter Dog Park, Riverview Park, Grasslyn Nature Preserve, Rotary Park trails, and the Fiesta Lane/Columbia Drive easement. Planned replacement plantings are identified in neighborhoods including Westchester Lakes, Lakeshore Drive north of Mequon Road, Range Line Circle, Haddenstone,

and Woodridge Estates.

In addition to managing City-owned trees, staff continues to receive inquiries regarding ash trees on private property and works with residents and homeowners' associations to provide guidance and promote compliance with the City's nuisance tree ordinance.

	Staff Removals	Contracted Removals
2017	1,772	95
2018	2,934	110
2019	2,220	254
2020	329	72
2021	1,645	144
2022	1,567	79
2023	515	200
2024	470	45
2025	301	47

Most of the work is completed by the City of Mequon Department of Public Works. However, some Ash tree removal is contracted. The estimated distribution of tree removal is as follows:

	Staff	Contracted
EAB Trees Removed	11,753	1,046

**Fiscal Impact**

**Recommendation**

This item is presented for informational purposes. Staff recommends that the Park and Open Space Board acknowledge the continued progress of the City's Emerald Ash Borer management program and support ongoing efforts to transition from large-scale removals toward strategic tree replacement and long-term urban forest sustainability. Continued investment in replacement plantings will help restore canopy coverage, preserve environmental benefits, and maintain the character of Mequon's parks and public spaces.

Attachments:  
None

**Park and Open Space Board  
2026 Work Plan (June 17, 2026)**

<b>Month</b>	<b>Agenda Topics</b>
June	<ul style="list-style-type: none"><li>• <i>Tentative:</i> Budget Request</li><li>• <i>Tentative:</i> EAB Status Review</li></ul>
September	<ul style="list-style-type: none"><li>• <i>Tentative:</i> Budget Review</li></ul>
November	<ul style="list-style-type: none"><li>• <i>Tentative:</i> FY27 Capital Improvement Projects for Potential Selection</li></ul>

**Future Agenda Topics**

- Community Sign Template Approval
- EAB status review
- Donation/Dedication “Manual”