



11333 N. Cedarburg Road  
Mequon, WI 53092-1930  
Phone: 262/242-3100

[www.cityofmequonwi.gov](http://www.cityofmequonwi.gov)

Department of Community Development  
Taped and Televised

**PLANNING COMMISSION**  
**Regular Meeting**  
**Monday, April 27, 2026 - 6:00 PM**  
**Christine Nuernberg Hall**  
**Agenda**

**6:00 P.M. OR SUCH LATER TIME AS REQUIRED TO ENTER SESSION UPON CALL TO ORDER FOR THE PURPOSE OF MEETING CONCURRENTLY WITH THE PLANNING COMMISSION AUTHORITY AND THE JOINT EXTRATERRITORIAL ZONING COMMITTEE UPON THE SUBJECT MATTER LISTED AS ITEMS #4 (a) AND #4 (b) BELOW, WHICH IS ALSO LISTED AS ITEMS #3 (a) & #3 (b) ON THE JOINT EXTRATERRITORIAL ZONING COMMITTEE AGENDA FOR ITS MEETING WHICH IS TO COMMENCE AT THE SAME PLACE AT 6:00 P.M.**

- 1) Call to Order and Roll Call**
- 2) Meeting Minutes**
- 3) Consent Agenda**
  - a) Fastsigns of Waukesha for Steny's North Shore. The applicant is seeking minor request approval for a sign waiver for the property located at 5616 W. Donges Bay Road.
  - b) TNT Fireworks. The applicant is seeking minor request approval for temporary use to allow for a firework sale tent in the parking lot of the property located at 10930 N. Port Washington Road.
  - c) Riverland Meadows. The applicant is seeking landscape plan approval to allow for a 12-lot conservation subdivision for the property located at the southwest corner of Pioneer Road and Riverland Road.
  - d) Bonnilake Real Estate, LLC. The applicant is seeking landscape plan approval for a 13-lot conservation subdivision on 60 acres for the properties located at the northeast corner of Granville and Mequon Roads and the west portion of 11449 N. Farmdale Road.

**4) Public Hearing/JETZCO**

- a) Laury Clark for Launch Equity Acquisition Partners. The applicant is seeking rezoning recommendation approval within the Town of Grafton Joint Extra Territorial Zoning Area for the 35.5 acre parcel located at 997 Lakefield Road in the Town of Grafton from the Town of Grafton's A-1 (Prime Agriculture) zoning district to Town of Grafton's A-2 (Agriculture) zoning district and R-3 (Urban Single-Family Residential) zoning district to allow for a one-acre parcel and an approximate 34.5 acre parcel.
- b) Neumann Developments Inc. for Leben Family Limited Partnership. The applicant is seeking rezoning recommendation approval within the Town of Grafton Extra Territorial Zoning Area for the 185 acre parcel located at 1306-1372 Pioneer Road from Town of Grafton's A-1 (Prime Agriculture) and A-2 (Agriculture) zoning district to Town of Grafton's R-3 (Urban Single-Family Residential) zoning district to allow for 112 single-family residential lots within the Town of Grafton.

**5) Public Hearing**

- a) Concordia University. The applicant is seeking conditional use grant approval to allow for outdoor lighting for the soccer and softball fields for the property located at 12800 N. Lake Shore Drive.
- b) The Victory Companies, Inc. for Timmis. The applicant is seeking conditional use grant amendment approval to allow for a modification to the regulations of the warming drawer temperature for the guest house located at 3131 W. Donges Bay Road.

**6) Regular Business**

- a) Mark LaLonde. The applicant is seeking development agreement and minor request approval to allow for 36,200 C.Y. of fill for contaminated soil capping for the property located at 6529 W. Highland Road ( **Remove from table**).

**7) Announcements**

The next meeting is Monday, May 18, 2026, at 6:00 p.m.

**8) Adjourn**

DATED: April 22, 2026

/s/ Andrew Nerbun, Mayor

---

Notice is hereby given that a quorum of other governmental bodies may be present at this meeting to present, discuss and/or gather information about a subject over which they have decision-making responsibility, although they will not take formal action thereto at this meeting. Persons with disabilities requiring accommodation for attendance at this meeting should contact the City Clerk's Office at 262-236-2914, twenty-four (24) hours in advance of the meeting.

Any questions regarding this agenda may be directed to the City Clerk's Office at 262-236-2914, Monday through Friday, 8:00 AM – 4:30 PM.



11333 N. Cedarburg Road  
Mequon, WI 53092-1930  
Phone: 262/242-3100

[www.cityofmequonwi.gov](http://www.cityofmequonwi.gov)

Department of Community Development  
Taped and Televised

### 1) Call to Order and Roll Call

The meeting was called to order by Acting Chair Alderman Rob Strzelczyk at 6:00 p.m.

**Also present:** Director of Community Development Kim Tollefson, City Assistant Engineer Cole McCraw, Assistant Director of Community Director Jac Zader, Planner Natalie Redding and Administrative Assistant Robin Buzzell.

### 2) Meeting Minutes Approval of February 23, 2026

<b>MOTION:</b>	Approve
<b>MOVER:</b>	Commissioner Rebecca (Becky) Schaefer
<b>SECONDER:</b>	Commissioner Nancy Urbani
<b>AYES:</b>	Alderman Robert Strzelczyk, Alderman Brian Parrish, Commissioner Bruce Barnes, Architect Martin Choren, Commissioner Rebecca (Becky) Schaefer, Commissioner Nancy Urbani, Commissioner Oliver Ellsworth
<b>NAYS:</b>	None
<b>RESULT:</b>	Approved by Voice Acclamation

### 3) Consent Agenda

- a) Fox Nest LLC. The applicant is seeking certified survey map approval for the properties located at 13376 & 13400 N. Silver Fox Drive.

- b) Granville Ridge LLC. The applicant is seeking minor request approval to allow for 15,000 C.Y. of fill for a 13-lot conservation subdivision on 60 acres for the properties located at the northwest corner of Granville and Mequon Roads and the west portion of 11449 N. Farmdale Road.
- c) Groth Design Group for Concordia University - School of Nursing. The applicant is seeking building and site plan amendment to allow for a building addition to the existing School of Nursing for the property located at 12800 N. Lake Shore Drive.

<b>MOTION:</b>	Approve the Consent Agenda (3 items)
<b>MOVER:</b>	Architect Martin Choren
<b>SECONDER:</b>	Alderman Brian Parrish
<b>AYES:</b>	Alderman Robert Strzelczyk, Alderman Brian Parrish, Commissioner Bruce Barnes, Architect Martin Choren, Commissioner Rebecca (Becky) Schaefer, Commissioner Nancy Urbani, Commissioner Oliver Ellsworth
<b>NAYS:</b>	None
<b>RESULT:</b>	Approved by Voice Acclamation

- a) Almo Corporation LP. The applicant is seeking conditional use grant, building and site plan amendment, and master sign plan approval to allow for warehousing for the property located at 5201-5401 W. Donges Bay Road [Remove from table].

<b>MOTION:</b>	Motion to open a public hearing
<b>MOVER:</b>	Alderman Brian Parrish
<b>SECONDER:</b>	Commissioner Nancy Urbani
<b>AYES:</b>	Alderman Robert Strzelczyk, Alderman Brian Parrish, Commissioner Bruce Barnes, Architect Martin Choren, Commissioner Rebecca (Becky) Schaefer, Commissioner John Stoker, Commissioner Nancy Urbani, Commissioner Oliver Ellsworth
<b>NAYS:</b>	None
<b>RESULT:</b>	Approved by Voice Acclamation

No Public Comment

<b>MOTION:</b>	Close Public Hearing
<b>MOVER:</b>	Architect Martin Choren
<b>SECONDER:</b>	Commission John Stoker
<b>AYES:</b>	Alderman Robert Strzelczyk, Alderman Brian Parrish, Commissioner Bruce Barnes, Architect Martin Choren, Commissioner Rebecca (Becky)

	Schaefer, Commissioner John Stoker, Commissioner Nancy Urbani, Commissioner Oliver Ellsworth
<b>NAYS:</b>	None
<b>RESULT:</b>	Approved by Voice Acclamation

Asst. Dir. Jac Zader stated that there was a lengthy discussion regarding this item at the previous Commission meeting in February. At that meeting, the Commission made a determination that the existing use is a conditional use. The applicant has submitted information, as late as today, that is somewhat conflicting. He explained that the original request was to install a gate along Donges Bay Road and to place barriers in the interior east interior parking lot to prevent trucks from idling there. There is also a gate at the south of the building between the two tenant bays. The new plan submitted today already has some of the barriers installed, it shows the use of the existing gate with concrete barriers preventing access to the interior east parking area. Staff believe this simply moves the issue to the north, allowing trucks to possibly idle closer to the recently approved Donges Cove development.

Asst. Dir. Zader met with the applicant and shared a site plan he created that shows a gate installed about 100 ft in from Donges Bay Road to avoid any trucks blocking Donges Bay Road. This would need to be manned or remotely manned from the building to allow trucks access to the site. Landscape islands would be required to be installed to prohibit access to the interior east parking lot. There are a few areas on site that staff request be cleaned up where there are missing trees. Staff require a formal landscaping plan to address additional areas where landscaping is recommended. The staff report is based off the site plan created by staff.

The submitted master sign plan ("MSP") shows 24 signs which includes many regulatory signs that are not typically included in a MSP. Staff recommend tabling this approval until the site plan can be decided upon.

Regardless of the site plan chosen, a number of conditions have been added to the CUG including:

- Trucks shall not remain parked on the premises after loading or unloading.
- Delivery trucks shall not idle during loading or unloading.
- There shall be no truck traffic to or from the site outside the listed business hours.

Staff would like a list of the Saturday dates that the applicant will be open and operating. It is also recommended that the staff site plan be implemented by June 30, 2026, for the first phase. The second phase would need to include the wetland delineation, which won't occur for a few months until the growing season (condition #9 to return to the Commission once the issue is addressed by the DNR).

Staff recommend approval of the staff site plan, but additional conditions may need to be added depending on the Commission's decision of which site plan is approved.

The applicant is represented by Attorney Brian Randall as a representative for Almo Corporation. He stated that they had a quick turnaround from the meeting last month to get a new plan

submitted for this meeting. They proposed a gate located at the entrance to the site at Donges Bay Road with a gate that could be closed when the site is not operational. It appears that most of the issues of trucks idling on site occur during non-business hours (per the police call log included in the packet pgs. 100-101).

The business owner's regional manager, John, explained that they share the concern about the complaints from the neighbors. They have already placed concrete barriers in the interior southeast parking lot so that trucks are not able to access the site. He proposes replacing and reinstalling the gate at the northeast corner of the site with access control and directing the trucks off the property through another series of concrete barriers. This would eliminate the need for a 24-hour patrol. They collectively request to continue their mitigation efforts for the next 30 days to monitor the success of the implemented changes.

There was discussion regarding the different locations to install the gate, the type of gate and general information about the operations on site.

Commissioner Urbani made a motion to table the Master Sign Plan

She made a motion to approve the CUG with the following changes and conditions:

- Staff Conditions #1- #4 & #9 to remain as is.
- #6 - north parking lot, north of the gate
- #7 - Amend the gate to be located at the property line & shall be electronic (staff to have some design authority)
- #8 - Amend landscaping plan to subject to staff review
- Gates to be closed when not operational
- Allow concrete barriers south of the interior parking lot fence

<b>MOTION:</b>	Approve the CUG and the site plan with changes to conditions
<b>MOVER:</b>	Commissioner Nancy Urbani
<b>SECONDER:</b>	Commissioner Bruce Barnes
<b>AYES:</b>	Alderman Robert Strzelczyk, Alderman Brian Parrish, Commissioner Bruce Barnes, Architect Martin Choren, Commissioner Rebecca (Becky) Schaefer, Commissioner John Stoker, Commissioner Nancy Urbani, Commissioner Oliver Ellsworth
<b>NAYS:</b>	None
<b>RESULT:</b>	Approved by Roll Call Vote

- b) Southland Industries for 5401 W. Donges Bay Owner LP. The applicant is seeking conditional use grant approval to allow for warehousing for the property located at 5201-5401 W. Donges Bay Road.

<b>MOTION:</b>	Open Public Hearing
<b>MOVER:</b>	Commissioner John Stoker
<b>SECONDER:</b>	Commissioner Rebecca (Becky) Schaefer
<b>AYES:</b>	Alderman Robert Strzelczyk, Alderman Brian Parrish, Commissioner Bruce Barnes, Architect Martin Choren, Commissioner Rebecca (Becky) Schaefer, Commissioner John Stoker, Commissioner Nancy Urbani, Commissioner Oliver Ellsworth
<b>NAYS:</b>	None
<b>RESULT:</b>	Approved by Voice Acclamation

No public comment

<b>MOTION:</b>	Close Public Hearing
<b>MOVER:</b>	Commissioner John Stoker
<b>SECONDER:</b>	Commissioner Rebecca (Becky) Schaefer
<b>AYES:</b>	Alderman Robert Strzelczyk, Alderman Brian Parrish, Commissioner Bruce Barnes, Architect Martin Choren, Commissioner Rebecca (Becky) Schaefer, Commissioner John Stoker, Commissioner Nancy Urbani, Commissioner Oliver Ellsworth
<b>NAYS:</b>	None
<b>RESULT:</b>	Approved by Voice Acclamation

Asst. Dir. Zader stated this is the same building as the previous item and the same conditions will apply to this item. Staff are supportive of this submittal.

<b>MOTION:</b>	Approve with same conditions as last item
<b>MOVER:</b>	Commissioner Martin Choren
<b>SECONDER:</b>	Commissioner John Stoker
<b>AYES:</b>	Alderman Robert Strzelczyk, Alderman Brian Parrish, Commissioner Bruce Barnes, Architect Martin Choren, Commissioner Rebecca (Becky) Schaefer, Commissioner John Stoker, Commissioner Nancy Urbani, Commissioner Oliver Ellsworth

<b>NAYS:</b>	None
<b>RESULT:</b>	Approved by Roll Call Vote

**5) Regular Business**

- a) Excel Engineering for Hat Trick Development LLC. The applicant is seeking rezoning recommendation from R-3 with CGO overlay to R-3/TDR/PUD, concept plan and preliminary plat addition approval to allow for 19 single-family lots for the property located immediately north of 8440 W. Donges Bay Road (Enclave at Mequon Preserve Phase X).

Asst. Dir. Zader stated this is relatively straight forward though there are many regulatory issues. He showed a map of the parcel and surrounding area. He explained that the applicant has an option on the parcel immediately to the west of the Enclave at Mequon Preserve subdivision, to extend Skylark Lane directly into their parcel and then create a cul-de-sac south of that road. The yield is 16- lots and the last 3 TDR credits will be used. They own 2 of the credits and they are purchasing 1 credit from an entity which they have a contract on. Staff is supportive of the use of the TDR credits. This development requires a rezoning recommendation as it will be incorporated into the existing Enclave development PUD.

He clarified that Condition #14 contains a typo in the staff report and the correction is: a minimum of 1900 square feet for a single-story and 2100 for a multi-story.

The proposal meets all the requirements of the TDR and R-3 zoning standards and staff are supportive of the development and recommend approval.

**Public Hearing**

Julianne Hunter - 8440 W. Donges Bay Road - is the neighbor directly south of the proposed development. She is pleased about the stormwater issues being addressed and does not want any runoff or erosion issues to affect her property. She is happy about the green space and the plantings. She wants to voice a concern regarding lighting early in the process. She is concerned about excess lighting adversely affecting their quality of light as well as the wildlife in the area. They do not object to any additional plantings or trees added to the site.

Asst. Dir. Zader stated the city does not regulate single-family lighting unless there are trespass lighting issues. There is a connection path between the two developments on the south end of the proposed parcel and a sidewalk is required on the north side of Skylark Lane.

<b>MOTION:</b>	Approve
<b>MOVER:</b>	Commissioner John Stoker
<b>SECONDER:</b>	Commissioner Nancy Urbani

<b>AYES:</b>	Alderman Robert Strzelczyk, Alderman Brian Parrish, Commissioner Bruce Barnes, Architect Martin Choren, Commissioner Rebecca (Becky) Schaefer, Commissioner John Stoker, Commissioner Nancy Urbani, Commissioner Oliver Ellsworth
<b>NAYS:</b>	None
<b>RESULT:</b>	Approved by Roll Call Vote

- b) P2 Development Company, LLC. The applicant is seeking building and site plan approval for the five (5) properties located at 11030, 11020, and 10950 N. Buntrock Avenue, 11027 N. Weston Drive and the property immediately to the south.

**Public Feedback**

Kathy Burghardt - 6340 W. Industrial Drive - she owns the property on Industrial Drive south of the proposed development, and she wants to ensure the drainage is reviewed so that she will not get runoff to her property. She also wants to confirm that that vacant portion of her parcel is not restricted by the new development.

Asst. Dir. Zader stated this request is for building and site plan approval for the first phase of the proposed development, which consists of 58 row houses that previously received rezoning approval. Staff have met with the applicant numerous times and requested significant changes to the lighting, landscaping and site and all the changes have been made. The staff report does not reflect that the changes have already been completed. He showed the site plan and talked through a few of the features. He explained the second phase will only include the 3-story multi-use building along Weston Drive.

There are three different architectural designs that will be incorporated. Staff support the architecture submitted as well as the project as a whole.

Asst. City Engineer Cole McCraw explained there is an existing drain way through the site that will be reviewed to ensure the appropriate size piping is in place and the site will need to meet storm water management regulations.

There was some discussion about the traffic and pedestrian traffic in the area, sidewalks and acceleration/deceleration by-pass lanes.

<b>MOTION:</b>	Approve
<b>MOVER:</b>	Architect Martin Choren
<b>SECONDER:</b>	Commissioner John Stoker

<b>AYES:</b>	Alderman Robert Strzelczyk, Alderman Brian Parrish, Commissioner Bruce Barnes, Architect Martin Choren, Commissioner Rebecca (Becky) Schaefer, Commissioner John Stoker, Commissioner Nancy Urbani, Commissioner Oliver Ellsworth
<b>NAYS:</b>	None
<b>RESULT:</b>	Approved by Voice Acclamation

- c) Mark LaLonde. The applicant is seeking minor request approval to allow for 36,200 C.Y. of for contaminated soil capping for the property located at 6529 W. Highland Road.

Asst. City Engineer McCraw stated the applicant is seeking approval for fill exceeding 1,000 C.Y. The application is for the first phase which includes 36,000 C.Y. of fill. There is an 11-phase plan for filling this 60-acre parcel. The first phase is on the northern half, which is the only area that does not contain wetlands as there is some floodplain to the south as well. The total overall request would be for 250,000 - 440,000 C.Y. of fill. That breaks down to 30,000 dump truck loads. The first phase is 2,500-3,000 truckloads. He showed the site plan and stated that the proposal is for 8-12 feet of fill in the highlighted area on the site plan (pg. 191).

There is contamination of the soil on site due to some of the historical uses; gravel mine and asphalt batch plant, which caused contamination to the groundwater and the soil. A letter from the applicant's environmental consultant in the packet outlines some of the measures taken to clean up the site. The fill would cap the contaminated area, which typically a 2-foot cap is recommended. Staff have some concerns regarding the requested 8–12 feet of fill for the entire site. The applicant mentioned residential development may be part of the long-range goal. Additionally, there has not been soil testing where septic systems could be placed yet. Staff have a concern that if the entire parcel has 8–12 feet of soil over it, it could potentially disturb or possibly destroy where the septic systems can be placed. This needs to be done first so as to not hinder the applicant further down the line.

Staff are not supportive of the fill outside submittal of a development plan. The soil cap may be more acceptable for staff approval. Some of the current changes recommended to the plan require additional information from the DNR and the applicant's environmental consultant. Specimen trees on site need to be included on any future site plan. He mentioned other considerations, such as each future phase would each require Planning Commission approval and each approval is only good for 1 year. The applicant has indicated that this is a multi-year endeavor. At the end of each approval term, the applicant would need to complete as-built what has been approved. Staff recommend tabling this request until additional information can be provided, including a dedicated plan showing the actions on site for phase 1. The City Attorney recommends a development agreement to provide some protection for hauling operations on the streets, fill specifications, erosion control, etc. DNR clarification as to the increased thickness is also requested along with a haul map route for review.

The applicant, Mark LaLonde, stated the site is contaminated and contains a dozen monitoring wells. He explained that he does not have a plan currently as he simply wants to improve the site. The land was bought for recreation purposes for his kids to ride 4-wheelers during Covid. They have been cleaning the site, but it is an ongoing process. The filing will take years to complete. He wants to be able to accept fill as it becomes available. He believes that he has remained compliant and wants to remain compliant with city requirements. The 8–12 feet of fill is to ensure that the cap is not penetrated. He is disappointed that the staff recommendation is to table the request.

There was discussion about the steps the applicant has taken with the site, and questions from the Commission regarding timelines for filing the site.

<b>MOTION:</b>	Table
<b>MOVER:</b>	Alderman Brian Parrish
<b>SECONDER:</b>	Commissioner Rebecca (Becky) Schaefer
<b>AYES:</b>	Alderman Robert Strzelczyk, Alderman Brian Parrish, Commissioner Bruce Barnes, Commissioner Martin Choren, Commissioner Rebecca (Becky) Schaefer, Commissioner John Stoker, Commissioner Nancy Urbani, Commissioner Oliver Ellsworth
<b>NAYS:</b>	None
<b>RESULT:</b>	Approved by Roll Call Vote

**6) Policy**

Joint Extraterritorial Zoning Committee (JETZCO). The city is seeking three (3) Planning Commission members to serve on JETZCO related to two (2) zoning applications within the Town of Grafton.

Asst. Dir. Zader stated that the Mayor requests 3 Planning Commission volunteers to be part of the JETZCO committee. There will be 3 members from the City of Grafton as well. The Common Council voted to continue to partake in the extraterrestrial zoning decision-making. The proposals include a very dense development across Pioneer Road abutting Mequon. The meeting will be on the same night as the Planning Commission meetings.

Volunteer Commissioners: Schaefer, Barnes, Ellsworth

**7) Announcements**

The next meeting is Monday, April 27, 2026, at 6:00 p.m.

**8) Adjourn**

<b>MOTION:</b>	Adjourn
<b>MOVER:</b>	Commissioner Rebecca (Becky) Schaefer
<b>SECONDER:</b>	Commissioner John Stoker
<b>AYES:</b>	Alderman Robert Strzelczyk, Alderman Brian Parrish, Commissioner Bruce Barnes, Commissioner Martin Choren, Commissioner Rebecca (Becky) Schaefer, Commissioner John Stoker, Commissioner Nancy Urbani, Commissioner Oliver Ellsworth
<b>NAYS:</b>	None
<b>RESULT:</b>	Approved by Voice Acclamation

The meeting concluded at 8:28 p.m.

Respectfully Submitted,  
Robin Buzzell, Administrative Assistant

DRAFT



11333 N. Cedarburg Road  
Mequon, WI 53092-1930  
Phone: 262/236-2914  
Fax: 262/242-9655

---

[www.cityofmequonwi.gov](http://www.cityofmequonwi.gov)

**Community Development**

**TO: Planning Commission**  
**FROM: Natalie Redding, Planner**  
**DATE: April 27, 2026**  
**SUBJECT: Fastsigns of Waukesha for Steny's North Shore. The applicant is seeking minor request approval for a sign waiver for the property located at 5616 W. Donges Bay Road.**

---

**Background:** The applicant is requesting a sign waiver for the property located at 5616 W Donges Bay Road. Steny's is proposing a wall sign on the south elevation of the building at a height which exceeds the maximum permitted per the City of Mequon sign code. The site, occupied by Steny's and District 5, was approved for building and site plan amendment in September of 2023.

**Analysis**

The building is zoned NC, and per Section 62-11(a)(5) of the City of Mequon sign code, each tenant of a multi-tenant building in the NC district is permitted one wall sign not exceeding 30 square feet in area. The District 5 wall sign was approved at a staff level in March, at 29.7 square feet. The proposed Steny's wall sign meets the allowable square footage area at 29.8 square feet but proposes placement at a height which exceeds the maximum of 20 feet allowed per City of Mequon sign code, thus requiring a waiver. The sign is proposed on the south elevation of the building facing Donges Bay Road at roughly 25 feet.

Due to the presence of windows on the upper half of the building, along with the peaked roof and lack of a central location available on the lower half of the building, staff believes there is justified hardship to require the need for a height waiver. Considering the constrained area within the building's peak, however, staff believes that the sign as proposed at 29.8 square feet is too large for the available wall area. As such, staff asked that the applicant submit an additional rendering showing the sign at a reduced square footage (see Exhibit A). Staff believes that the sign as shown at 24.9 square feet is more proportional in the proposed space, without compromising on visibility. Staff is otherwise supportive of the sign design, which is consistent with other Steny's logo as seen at other locations.

**Staff Recommendation:**

**Planning staff recommends approval of the monument sign waiver based on the following:**

1. The sign shall be permitted at 24.9 square feet, per Exhibit A.

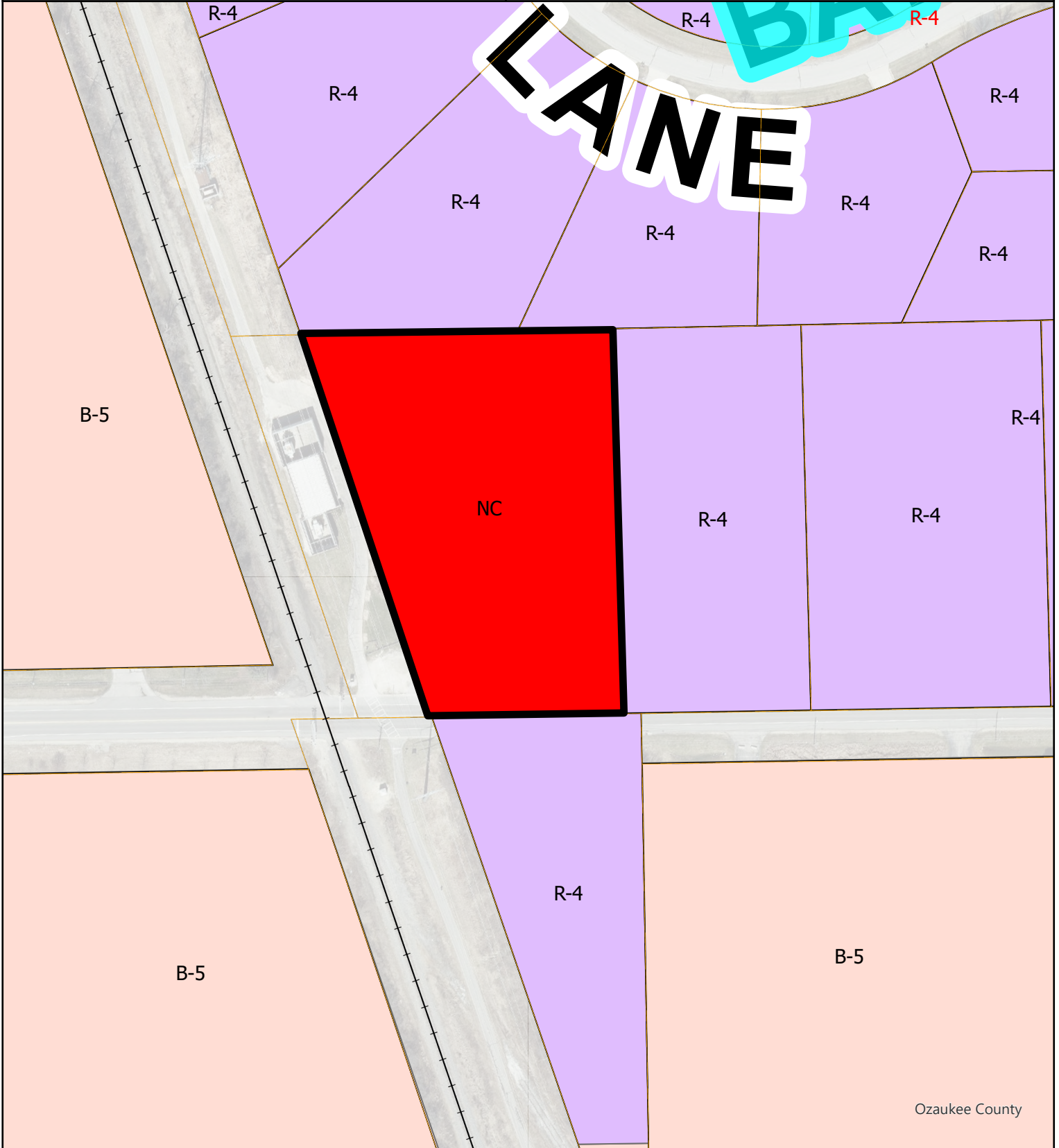
2. Final staff review and approval of sign permit.

Attachments:

Packet Docs\_Stenys

STENY'S

AC	Arrival Corridor	IPS	Institutional & Public Service
A-1	Agricultural Preserve	NC	Neighborhood Commercial
A-2	General Agricultural	OA	Agricultural Overlay
B-1	Neighborhood Business	PUD	Planned Unit Development Overlay
B-2	Community Business	P-1	Park & Recreation
B-3	Office & Service Business	R-1	Single-Family Residential (5 Ac. Min.)
B-4	Business Park	R-1B	Single-Family Residential (2.5 Ac. Min.)
B-5	Light Industrial	R-2	Single-Family Residential (2 Ac. Min.)
B-6	Rural Industrial	R-2B	Single-Family Residential (1.5 Ac. Min.)
B-7	Rural Business	R-3	Single-Family Residential (1 Ac. Min.)
C-1	Shoreland/Wetland Conservancy	R-4	Single-Family Residential (3/4 Ac. Min.)
C-2	General Conservancy	R-5	Single-Family Residential (1/2 Ac. Min.)
CGO	Central Growth Overlay	R-6	Single-Family Residential (4 DU/Ac.)
FFO	Flood Fringe Overlay	RM	Multi-Family Residential
FW	Floodway	TC	Town Center
IPS	Institutional & Public Service	TDR	Transfer of Development Rights





**PROPOSED FRONT LIT - CUSTOM SHAPE - CABINET SIGN**



FRONT VIEW



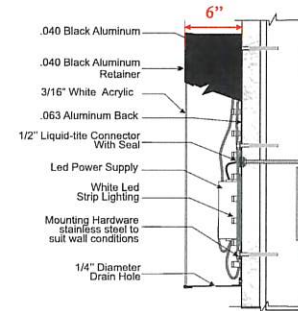
Face: 3/16" White Acrylic/Poly  
Returns: 6" Black Alum Returns  
LED: White LED Module

Color Reference:  
C:13 M:96 Y:97 K:4 FULL COLOR PRINT

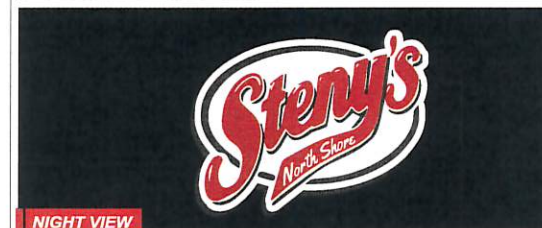
Backs: .063" White/Black Alum  
Retainers: Black Color Alum  
Mounting: Flush Mounted

**SIDE VIEW CROSS SECTION DETAIL**  
- LED ILLUMINATED CABINET SIGN (LIGHT BOX) -

LOW VOLTAGE L.E.D LIGHTING SYSTEM | U.L LISTED CLASS 2 - CONFORMS TO U.L 48 & NEC 600 CODE



NOTE: SPECIFIC MATERIAL THICKNESSES FOR THIS SIGN TYPE WILL BE DETERMINED BASED ON MANUFACTURING STANDARDS



NIGHT VIEW

**SQFT CALCULATION**

Wide:	6'-2"
High:	4'-10"
<b>Total SQFT:</b>	<b>29.80</b>

**ELECTRICAL**

<b>120/277 VOLTS</b>
<b>20 AMPS</b>
<small>PRIMARY ELECTRICAL CONNECTIONS TO BE MADE BY LICENSED ELECTRICAL CONTRACTORS</small>

DATE	03-05-2026
REVISION	
PROJECT NAME	Steny's & District 5
ADDRESS	5616 W. Donges Bay Rd. Mequon WI
SIGN TYPE	Channel Letters
PM	Danielle
DESIGNER	IU

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY FASTSIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT BEING PLANNED FOR YOU BY FASTSIGNS. IT IS NOT TO SHOWN TO ANY ONE OUTSIDE YOUR ORGANIZATION, NOR IS IT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

Init. **Overlays are for illustrative purposes only. Final result, size of sign & scale may vary very slightly.**

SCALE  
P-1/1  
COLORS ON PROOF MAY VARY FROM ACTUAL PRODUCT USED

**PROPOSED FRONT LIT - CUSTOM SHAPE - CABINET SIGN**

**FASTSIGNS**  
of Waukesha



5616 W. Donges Bay Rd. Mequon WI



SIGN SCHEDULE	
<b>A</b>	<b>WALL SIGN - CABINET SIGN</b>
<b>B</b>	<b>WALL SIGN - CABINET SIGN</b>
<b>C</b>	<b>MONUMENT SIGN</b>

DATE	03-05-2026
REVISION	
PROJECT NAME	Steny's & District 5
ADDRESS	5616 W. Donges Bay Rd. Mequon WI
SIGN TYPE	Channel Letters
PM	Danielle
DESIGNER	IU

SCALE

P-1/1  
COLORS ON PROOF MAY VARY FROM ACTUAL PRODUCT USED

THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY FASTSIGNS. IT IS SUBMITTED FOR YOUR PERSONAL USE IN CONNECTION WITH A PROJECT BEING PLANNED FOR YOU BY FASTSIGNS. IT IS NOT TO SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION, NOR IS IT TO BE USED, REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION. THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.

Init: Overlays are for illustrative purposes only. Final result, size of sign & scale may vary very slightly.



14-153-0009.000

14-153-0008.000

14-153



14-050-06-12-000

14-026-11-000.01

14-050-06-11-001

5800W

5700W

5616W

5520W

5607W

5715W  
Ste. A-B

Donges



11333 N. Cedarburg Road  
Mequon, WI 53092-1930  
Phone: 262/236-2914  
Fax: 262/242-9655

---

[www.cityofmequonwi.gov](http://www.cityofmequonwi.gov)

**Community Development**

**TO: Planning Commission**  
**FROM: Natalie Redding, Planner**  
**DATE: April 27, 2026**  
**SUBJECT: TNT Fireworks**

---

**Background:** The applicant is seeking minor request approval to allow for a temporary use at the Brixmor Pavilions parking lot, located at 10906-11116 N Port Washinton Road. The temporary use proposes the placement of a tent and a storage container within The Pavilion’s parking lot for the sale of fireworks. The applicant was approved through the Planning Commission in June of 2025 for the same temporary use request at the same location.

**Temporary Use:**

The applicant is proposing placing a 20x40 tent at the northern end of the Mequon Pavilions property, towards the west side of the parking lot between Sierra and The Tile Shop. The tent is roughly 20 feet tall at its peak, and roughly 7 feet tall from the ground to the top of each pole forming its base. The tent would occupy ten parking spaces total, and a 20x8 storage container – roughly 9 feet in height – is planned to be located just south of the tent, occupying two parking spaces. The storage container would be locked in the evenings and serve as fireworks storage and overnight security. The applicant proposes operating for a total of ten days, from June 25<sup>th</sup> through July 5<sup>th</sup>, between the hours of 9:00 AM and 9:00 PM daily. Two employees are proposed to staff the tent during this ten-day period. The applicant has received written permission from Brixmor, the landlord of the property, to conduct this temporary use. The proposed location for the tent and storage container follows what was proposed and approved in June of 2025.

**Analysis:**

At the time of the temporary use approval in June of 2025, staff was made aware that the tent remained up for multiple days following the required date of removal, thus violating the conditions of the Planning Commission approval. In light of this prior noncompliance, staff emphasizes that the proposed tent is strictly limited to the approved ten-day period. The tent shall not go up any earlier than June 25<sup>th</sup>, and the applicant will be granted a one-day window following the conclusion of sales to fully dismantle and remove the structure. Installation of the tent prior to June 25<sup>th</sup> and/or failure to comply with the removal deadline will result in enforcement action, including applicable fines, in accordance with city regulations and may result in denial of temporary use permit requests in the future.

**Legal Opinion and SOFD Analysis:**

The city of Mequon Code of Ordinances dictates the following:

**Sec. 30-72. - Sale and use of fireworks restricted.**

*No person shall sell, expose or offer for sale, use, keep, and discharge or explode any fireworks within the limits of the City of Mequon except as provided in section 30-91.*

(Ord. No. 2004-1128, § I(11.01(1)), 1-11-2005)

As such, and following direction from City Attorney Sajdak per last year's approval of the temporary use, the following condition of approval is required:

*The applicant shall certify to SOFD that they are selling fireworks as that term is defined in section 30-71 (2)(a-n)*

Staff notified both the Police Department and SOFD of the proposed temporary use, and no additional conditions were requested by either department.

**Staff Recommendation:**

Staff recommends **approval** of the temporary use based on the following conditions:

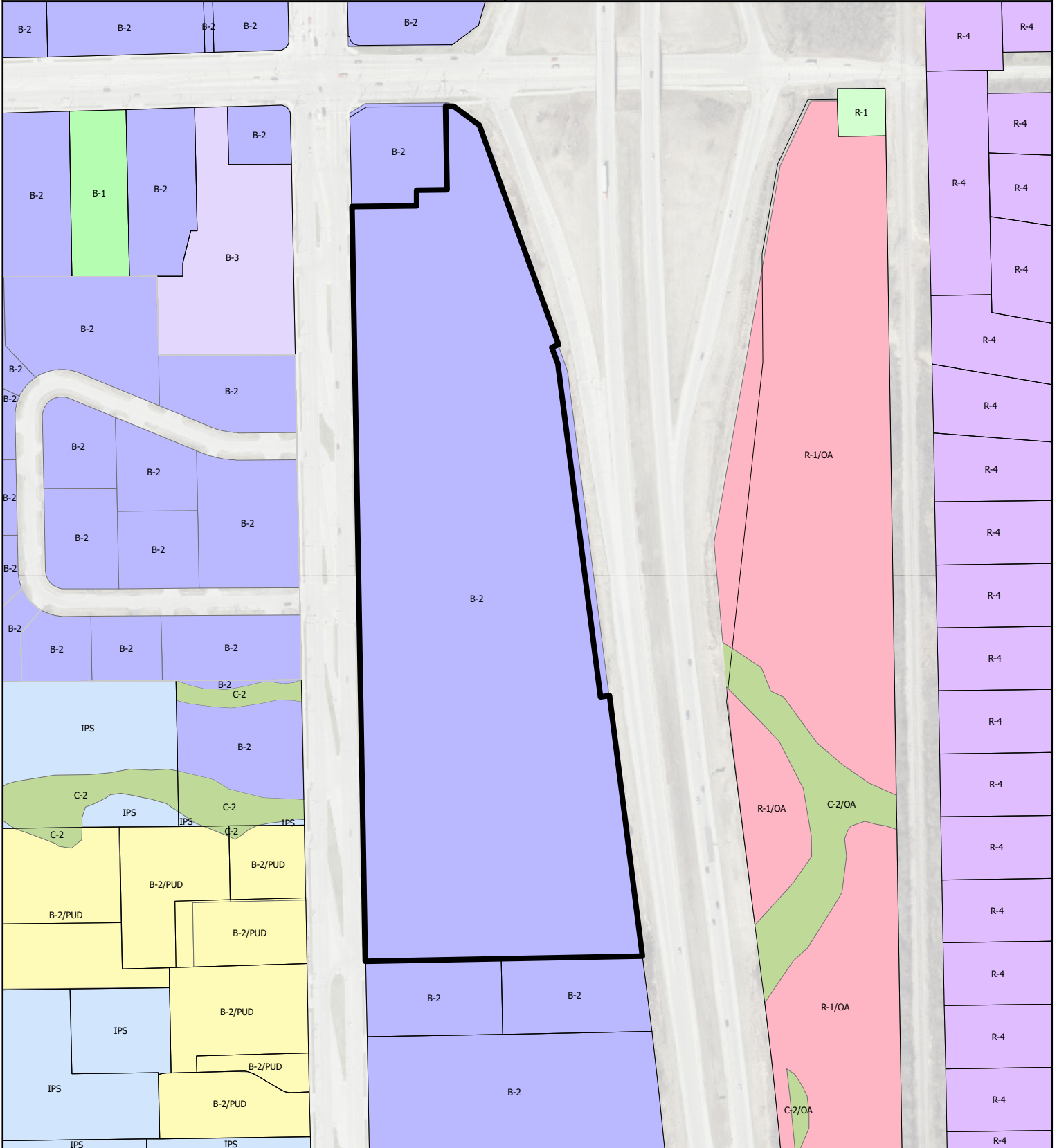
1. The site plan/tent set-up shall follow what is laid out in the site plan. Signage on tent to be limited to entrance/exit signs. One 30 square foot banner may be allowed and is subject to a city approved banner permit and fee. Community Development staff will conduct a site visit once the tent is in place to ensure signage complies.
2. The tent is to be no taller than 20 feet.
3. The dates and hours of operation will be limited to Thursday, June 25<sup>th</sup> through Sunday, July 5<sup>th</sup>, 9:00 AM to 9:00 PM.
4. The tent shall be taken down no later than end of day on June 6<sup>th</sup>. Any later date of removal will result in the applicant incurring fines in accordance with city regulations.
5. SOFD review and confirmation of the applicant's compliance with section **30-71** of the City of Mequon code of ordinances prior to commencement of the temporary use.

Attachments:

Packet Docs\_TNT

# TNT FIREWORKS

AC	Arrival Corridor	IPS	Institutional & Public Service
A-1	Agricultural Preserve	NC	Neighborhood Commercial
A-2	General Agricultural	OA	Agricultural Overlay
B-1	Neighborhood Business	PUD	Planned Unit Development Overlay
B-2	Community Business	P-1	Park & Recreation
B-3	Office & Service Business	R-1	Single-Family Residential (5 Ac. Min.)
B-4	Business Park	R-1B	Single-Family Residential (2.5 Ac. Min.)
B-5	Light Industrial	R-2	Single-Family Residential (2 Ac. Min.)
B-6	Rural Industrial	R-2B	Single-Family Residential (1.5 Ac. Min.)
B-7	Rural Business	R-3	Single-Family Residential (1 Ac. Min.)
C-1	Shoreland/Wetland Conservancy	R-4	Single-Family Residential (3/4 Ac. Min.)
C-2	General Conservancy	R-5	Single-Family Residential (1/2 Ac. Min.)
CGO	Central Growth Overlay	R-6	Single-Family Residential (4 DU/Ac.)
FFO	Flood Fringe Overlay	RM	Multi-Family Residential
FW	Floodway	TC	Town Center
IPS	Institutional & Public Service	TDR	Transfer of Development Rights



March 9, 2026

To Whom it May Concern,

Permission is hereby granted to American Promotional Events Inc., DBA TNT Fireworks for the exclusive right to use the property commonly referred to as Mequon Pavilions located at 10930 N Port Washington Road, Mequon, WI, 53092 using Tent space for their 2026 Fourth of July fireworks sale.

It is understood that the grantees will be responsible for conducting the sales in accordance with all City, County and State regulations, and the property will be left clean and free of debris, in addition to any and all of the requirements as set forth in the temporary license agreement.

Should you need anything further from the Landlord (Brixmor Property Group), please feel free to contact me at (610) 834-7575.

Thank you,



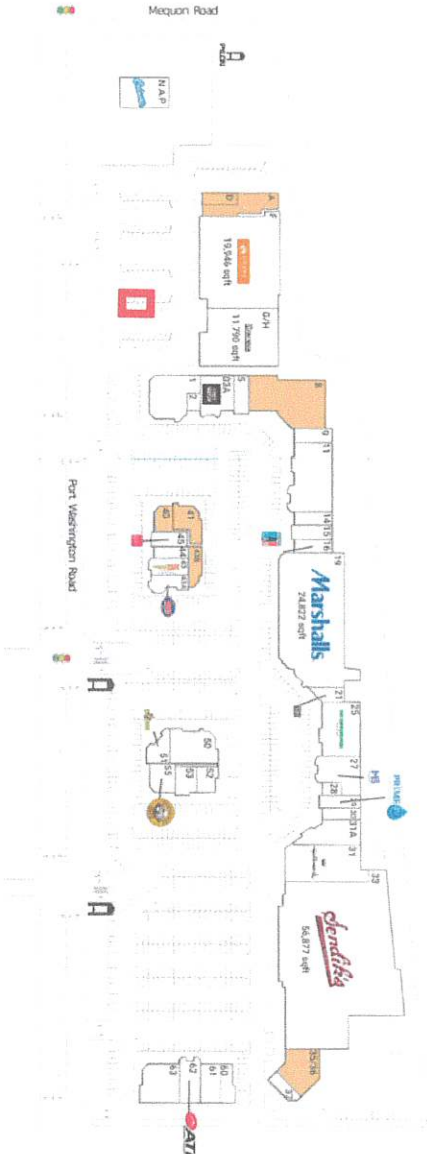
Laura McLaughlin

Vice President, Specialty Leasing

# Mequon Pavilions

Milwaukee-Waukesha, WI

10930 N Port Washington Road | Mequon, WI 53092-5031  
43.2178, -87.9229



## Available Space

A	3,284 SF
D	1,167 SF
8	9,038 SF
35/36	3,357 SF
40	1,455 SF
41	2,265 SF
43B	1,382 SF

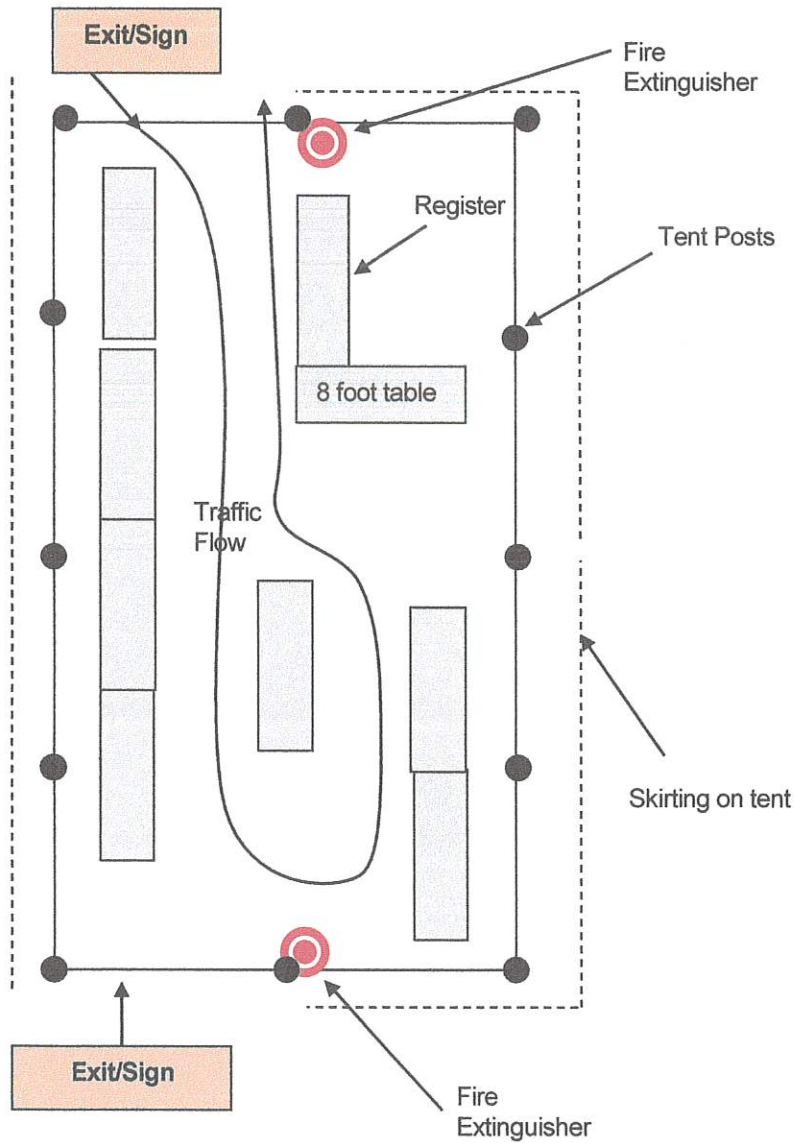
## Current Retailers

F	Sierra Trading Post	19,946 SF	31A	Fred Astaire Dance Studio	5,012 SF
G/H	The Tile Shop	11,790 SF	33	Sendik's Food Market	56,877 SF
N.A.P.	Culvers	0 SF	37	Elite Nutrition	950 SF
1	Chancery Restaurant	5,808 SF	43	Tropical Smoothie Cafe	1,574 SF
2	First Watch	592 SF	43A	Jersey Mike's Subs	1,491 SF
03A	Hart Hearing Care	4,030 SF	44	Great Clips	1,332 SF
5	Center	1,540 SF	45	European Wax Center	1,320 SF
9	Mathnasium	8,423 SF	50	Game Universe	4,300 SF
11	Pure Hockey	1,480 SF	51	Big Frog Custom T-Shirts & More	1,869 SF
14	Allure Intimate Apparel	1,673 SF	52	Taco Pros	2,352 SF
15	Wild Birds Unlimited	1,540 SF	53	Yen Ching Express	1,155 SF
16	StretchLab	24,822 SF	55	Einstein Bros. Bagels	2,351 SF
19	Marshalls	1,285 SF	60	Bliss Nails & Spa	1,502 SF
21	The Joint	6,963 SF	61	Club Champion	2,656 SF
25	Pet Supplies Plus	3,731 SF	62	ATT Physical Therapy	2,764 SF
27	Massage Envy	700 SF	63	Neroli Salon And Spa	4,021 SF
28	Klinke Cleaners	1,498 SF			
29	Prime IV Hydration & Wellness				
30	The UPS Store	1,390 SF			
31	Hallmark	6,014 SF			

Tent Floor Plan and Layout Sketch



20' x 40' Tent



< Notes on Next Page >

### List of Notes for Floor Plan

- \* 20' x 40' = 800 square feet in area
- \* 8 foot tables are used for displays
- \* All aisles will be at least 4 feet wide in shopping floor space
- \* 2 remote exits will have Lighted EXIT combo signs above them –
- \* Tent openings/doorways will be at least 7 feet wide
- \* Since all fireworks are 'packaged', the packaged fireworks act as a flame breaks (Code: 7.3.15.3.4) along with the 4 foot spaces between aisles
- \* Exits will be available within the 35 foot requirement of each other (less than 35 feet from any point within the tent)
- \* Fire extinguishers will be present - one pressurized water type and a dry chemical with rating of at least 2A (10 lb)
- \* Display area will not exceed 50% of the square footage of tent
- \* "Fireworks – No Smoking" signs will be posted near entrances/exits and visible from within the tent (minimum of 3)
- \* "No Fireworks Discharge Within 300 Feet" signs will be posted on all four sides of the tent (facing outside)
- \* Flame Certificates will be available on the tent – showing flame resistance
- \* Merchandise displayed within the perimeter of the sales area will not exceed 6 feet in height.
- \* Evacuation Plan will be posted along with permits and sales tax license

### List of Notes for Site Plan

- \* Any generator used would be placed 20 feet away from tent when in operation
- \* Parked Vehicles will be at least 10 feet away
- \* Nearest gas station or retail propane-dispensing stations will be over 50 feet away
- \* No flammable gas bulk dispensers will be within 300 feet
- \* No other buildings or cfrs will be located within 20 feet
- \* Extra storage of fireworks other than inside inventory, will be no less than 20 feet away
- \* Fire department vehicle access is readily available

### 167.10 Regulation of fireworks.

- (1) DEFINITION. In this section, "fireworks" means anything manufactured, processed or packaged for exploding, emitting sparks or combustion which does not have another common use, but does not include any of the following:
- (a) Fuel or a lubricant.
  - (b) A firearm cartridge or shotgun shell.
  - (c) A flare used or possessed or sold for use as a signal in an emergency or in the operation of a railway, aircraft, watercraft or motor vehicle.
  - (d) A match, cigarette lighter, stove, furnace, candle, lantern or space heater.
  - (e) A cap containing not more than one-quarter grain of explosive mixture, if the cap is used or possessed or sold for use in a device which prevents direct bodily contact with a cap when it is in place for explosion.
  - (f) A toy snake which contains no mercury.
  - (g) A model rocket engine.
  - (h) Tobacco and a tobacco product.
  - (i) A sparkler on a wire or wood stick not exceeding 36 inches in length that is designed to produce audible or visible effects or to produce audible and visible effects.
  - (j) A device designed to spray out paper confetti or streamers and which contains less than one-quarter grain of explosive mixture.
  - (k) A fuseless device that is designed to produce audible or visible effects or audible and visible effects, and that contains less than one-quarter grain of explosive mixture.
  - (L) A device that is designed primarily to burn pyrotechnic smoke-producing mixtures, at a controlled rate, and that produces audible or visible effects, or audible and visible effects.
  - (m) A cylindrical fountain that consists of one or more tubes and that is classified by the federal department of transportation as a Division 1.4 explosive, as defined in 49 CFR 173.50.
  - (n) A cone fountain that is classified by the federal department of transportation as a Division 1.4 explosive, as defined in 49 CFR 173.50.
  - (p) A novelty device that spins or moves on the ground.

Only these type of novelty fireworks not considered  
fireworks



Reference: TNT Fireworks Tent Emergency Procedures

Note for all scenarios: The tent will be closed for business in each of these events until the situation is resolved or weather issue has passed.

**The emergency procedures for TNT Fireworks tents will be implemented in the following manner:**

Thunder Storms

Operators and tent attendees will gather belongings and move indoors or inside of cars/vehicles until the storm has passed. Once clear, the sale will reopen for business.

Tornado Watch

In the event of a tornado warning, all operators and attendees will be directed to evacuate the tent and seek shelter in a low-lying area. Any electrical items will be turned off.

Mobile Shooter

In the event of a mobile shooter, all operators and attendees will be instructed to lie on the ground and emergency personnel will be notified. No action will be taken to approach the mobile shooter.

Fire

In the event of a fire in its early stages, operators will utilize the fire extinguishers on site to attempt to extinguish the flames. If the fire is unmanageable, emergency personnel will be contacted immediately by dialing 9-1-1. Simultaneously, operators and attendees will vacate the tent.



11333 N. Cedarburg Road  
Mequon, WI 53092-1930  
Phone: 262/236-2914  
Fax: 262/242-9655

---

[www.cityofmequonwi.gov](http://www.cityofmequonwi.gov)

**Community Development**

**TO: Planning Commission**  
**FROM: Natalie Redding, Planner**  
**DATE: April 27, 2026**  
**SUBJECT: Riverland Meadows**

---

**Background:** The applicant is seeking minor request approval for a landscaping plan for the Riverland Meadows conservation subdivision located on the corner of Pioneer Road and Riverland Road. The Planning Commission approved the preliminary plat, development agreement, and stewardship plan for the conservation subdivision at the December 1<sup>st</sup>, 2025, meeting.

### **Landscaping Plan**

#### Open Space Features

The submitted landscaping plan centers on a short grass prairie restoration across the majority of the site. The plan also includes the removal of buckthorn and other invasive species to support the establishment and long-term success of native plantings.

The applicant is proposing berms along Pioneer Road to aid in screening and provide a visual buffer for the site. The berms are to be planted with Black Hills Spruce and White Pine to provide year-round screening. Additional tree plantings are shown near the new road connection to Riverland. Following the original plan submittal, staff recommended that the applicant add additional landscaping along Riverland to improve the continuity of plantings along this stretch of road. As such, the applicant added an additional five sugar maples to the landscaping plan along Riverland Road, which is reflected in the current plan. In addition to these landscaping recommendations, staff recommended that the applicant extend the grass walking path behind Lots 6, 7, and 8 to improve site connectivity.

#### Street Tree Plan

Street trees are proposed along the internal roadway and within island areas. Street trees include a mix of Greenspire Linden, Shademaster Honey Locust, Swamp White Oak, Bur Oak, and Autumn Blaze Maple. Ivory Silk Lilac is proposed within roadway islands, and Autumn Brilliance Serviceberry is planned for the cul-de-sac. The street tree plan received conditional approval from the City of Mequon Tree Board on April 16<sup>th</sup>. The changes required by the Tree Board have been made and are reflected in the current plan.

Entry Signage

The plan mentions a future subdivision identification sign with a landscaped bed at the entrance, which if pursued, will require staff approval for compliance with the city of Mequon sign code. Overall, staff is supportive of the landscaping plan. Further details on maintenance and management are addressed in the associated stewardship plans that were approved in December of 2025.

**Planning Staff Recommendation:**

Planning Staff recommends **approval** of the landscape plan and street tree plan subject to the following conditions:

1. The applicant shall submit final plans within 60 days of Planning Commission action for staff final review and approval, or the required plan(s) shall be submitted to Planning Commission for additional review and action and subject to all necessary fees.

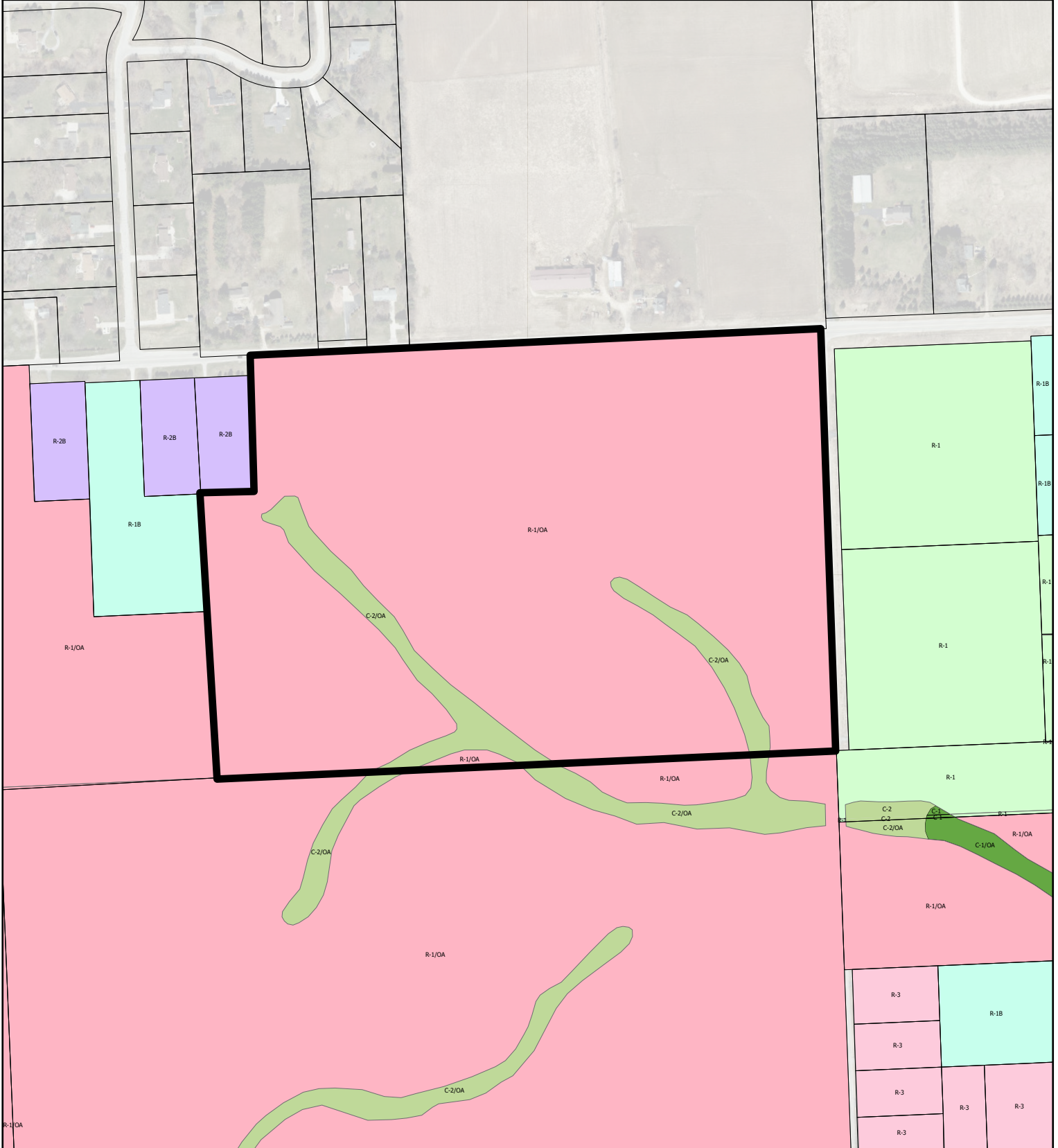
Attachments:

Packet Docs\_Riverland

# RIVERLAND MEADOWS

## KEAJEN PROPERTIES, LLC.

AC	Arrival Corridor	IPS	Institutional & Public Service
A-1	Agricultural Preserve	NC	Neighborhood Commercial
A-2	General Agricultural	OA	Agricultural Overlay
B-1	Neighborhood Business	PUD	Planned Unit Development Overlay
B-2	Community Business	P-1	Park & Recreation
B-3	Office & Service Business	R-1	Single-Family Residential (5 Ac. Min.)
B-4	Business Park	R-1B	Single-Family Residential (2.5 Ac. Min.)
B-5	Light Industrial	R-2	Single-Family Residential (2 Ac. Min.)
B-6	Rural Industrial	R-2B	Single-Family Residential (1.5 Ac. Min.)
B-7	Rural Business	R-3	Single-Family Residential (1 Ac. Min.)
C-1	Shoreland/Wetland Conservancy	R-4	Single-Family Residential (3/4 Ac. Min.)
C-2	General Conservancy	R-5	Single-Family Residential (1/2 Ac. Min.)
CGO	Central Growth Overlay	R-6	Single-Family Residential (4 DU/Ac.)
FFO	Flood Fringe Overlay	RM	Multi-Family Residential
FW	Floodway	TC	Town Center
IPS	Institutional & Public Service	TDR	Transfer of Development Rights



Riverland Meadows Conservation Subdivision

March 23, 2026

Landscape Plan Review and Approval:

Northern Exposure Landscaping, Inc. has prepared the attached landscape plan for review and approval by Planning Commission and the Tree Board.

The majority of the site consists of a short grass prairie restoration.

The plan incorporates street trees of several varieties along the road and in the islands. We have applied for street tree approval from the Mequon Tree Board.

In accordance with the grading plan for the subdivision, we are constructing screening berms along Pioneer Road. These berms are planted with a combination of Black Hills Spruce and White Pine trees to reduce the visual impact of the road. Where the existing grade allows, the berms are located back from the road right of way to incorporate them into the short grass prairie.

We will be removing the buckthorn and many of the invasive trees in the old farmstead site and around the perimeter of the site.

The landscape plan shows additional trees adjacent to the new road connection to Riverland. In the future we will apply for sign approval for one identification sign at the entry, with a landscape bed as required in the sign ordinance. We have reserved a location on the other side of the entry for a complimentary landscape bed. The entry island will include a mix of perennials.

Thank you.



Symbol	Qty	Key	Common	Botanical	Size
	37	AFAB	Autumn Blaze Maple	<i>Acer x freemanii 'Autumn Blaze'</i>	3"
	3	ACRP	Autumn Brilliance Serviceberry Tree Form	<i>Amelanchier x grandiflora 'Autumn Brilliance'</i>	3"
	23	QUMA	Bur Oak	<i>Quercus macrocarpa</i>	3"
	24	TICO	Greenspire Linden	<i>Tilia cordata 'Greenspire'</i>	3"
	5	SRIS	Ivory Silk Lilac	<i>Syringa reticulata 'Ivory Silk'</i>	3"
	24	GLTS	Shademaster Honey Locust	<i>Gleditsia triacanthos 'Shademaster'</i>	3"
	5	ACSA	Sugar Maple	<i>Acer saccharum</i>	3"
	19	QUBI	Swamp White Oak	<i>Quercus bicolor</i>	3"
	79	PGD	Black Hills Spruce	<i>Picea glauca var. densata</i>	7" 7' min. tree
	42	PSY	White Pine	<i>Pinus sylvestris</i>	7" 7' min. tree

**PLANT LEGEND**

ALL STREET TREES - CITY OF MEQUON COMPLIANCE:  
 ALL STREET TREES SHALL BE MINIMUM 3-INCH CALIPER, MEASURED 4 INCHES ABOVE GROUND, AND BALLED, BURLAPPED, AND STAKED PER CITY STANDARDS (SEC. 08-564 & 08-637).  
 IF 3-INCH CALIPER TREES ARE NOT AVAILABLE, TREES MAY BE REPLACED WITH 2-INCH CALIPER, SUBJECT TO CITY APPROVAL.  
 PLANT AT A RATE OF NOT LESS THAN 1 TREE PER 30 FT OF ROADWAY FRONTAGE, WITHIN THE ROW, APPROXIMATELY 2 FT FROM PROPERTY LINE, UNLESS OTHERWISE APPROVED.  
 TREE BOARD SPACING GUIDELINES: LOW GROWTH = 20 FT, MEDIUM GROWTH = 30 FT, TALL GROWTH = 40 FT. (SEE TABLE)  
 A MINIMUM OF THREE (3) DIFFERENT SPECIES PER SUBDIVISION, WITH 15-40% MAX OF ANY ONE SPECIES.  
 TREES OUTSIDE THE ROW REQUIRE A STREET TREE PRESERVATION & MAINTENANCE EASEMENT.  
 ANY STREET TREE THAT DIES OR IS DAMAGED WITHIN THREE (3) YEARS SHALL BE REPLACED IN KIND.  
 FINAL SPECIES SELECTION AND SPACING ARE SUBJECT TO APPROVAL BY THE CITY FORESTER AND TREE BOARD.

**NOTES:**

1. ALL PLANT MATERIAL SHALL COMPLY WITH THE STANDARDS DESCRIBED IN THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1 - LATEST EDITION).
2. ALL NURSERY STOCK SHALL BE FREE OF DISEASES, HARMFUL INSECTS, DAMAGE, DEFORMITIES, AND OTHER DEFECTS.
3. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED PLANTING DETAILS AND SPECIFICATIONS.
4. ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3-INCH DEEP DARK BROWN ENVIRONMENTAL MULCH RING WITH A SHOVEL-CUT EDGE.
5. ALL DISTURBED AREAS SHALL BE REPAIRED, REGRADED, AND RE-SEEDED OR SOILED AS NECESSARY TO RESTORE PRE-CONSTRUCTION CONDITIONS.
6. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONTACT DIGGERS HOTLINE (800-485-1111) THREE (3) BUSINESS DAYS BEFORE EXCAVATION.
7. THE OWNER SHALL MAINTAIN ALL PLANT MATERIAL IN A HEALTHY GROWING CONDITION PER THE APPROVED PLAN. PLANTINGS SHALL BE KEPT FREE OF WEEDS AND DEBRIS AND ADEQUATELY WATERED DURING THE ESTABLISHMENT PERIOD.
8. ANY PLANT MATERIAL THAT DIES OR BECOMES DAMAGED WITHIN TWELVE (12) MONTHS OF INSTALLATION SHALL BE REPLACED IN KIND BY THE CONTRACTOR OR OWNER.

Street Tree Planting Plan

Sheet Title

Designed by

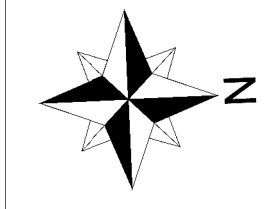
Milana Mirka

Northern Exposure Landscaping  
 Office: 262-242-3877  
 office@northernexposureld.com



Riverland Meadows  
 4001 W Pioneer Road  
 Mequon, WI 53092

April 21, 2026  
 Date



Scale: 1" = 100'

L:1



11333 N. Cedarburg Road  
Mequon, WI 53092-1930  
Phone: 262/236-2914  
Fax: 262/242-9655

---

[www.cityofmequonwi.gov](http://www.cityofmequonwi.gov)

**Community Development**

**TO: Planning Commission**  
**FROM: Natalie Redding, Planner**  
**DATE: April 27, 2026**  
**SUBJECT: Bonnilake Real Estate, LLC**

---

**Background:** The applicant is seeking minor request approval of a landscaping plan for the Granville Ridge conservation subdivision. The Planning Commission approved the preliminary plat, development agreement, and stewardship plan for the conservation subdivision at the February 23<sup>rd</sup>, 2026, meeting.

### **Landscaping Plan**

The proposed landscaping plan emphasizes a naturalistic design approach, with the majority of the site dedicated to short grass prairie restoration. The final layout of all landscape elements shall be subject to staff review and approval to confirm consistency with City design objectives.

#### *Perimeter Open Space Features*

A grass-covered landscape berm is incorporated along Mequon Road, designed to integrate with the perimeter of the stormwater pond on the eastern portion of the site and extend into the existing wooded area to the west, creating a cohesive visual edge. The topography of the berm throughout the street frontage shall be designed with an undulating and serpentine form to reinforce a naturalistic appearance, similar to the nearby Sutton Ridge subdivision. Along the eastern portion of Mequon Road, the applicant has added an additional landscaped berm, strengthening the visual buffer along this corridor. The applicant shall obtain staff approval of the final detailed berm design, including grading and configuration. The ultimate height of the berms along Mequon Road shall be subject to staff approval to ensure a consistent height and appearance along the street frontage, achieving a softened, natural design.

The plans also include the removal of invasive buckthorn along the site perimeter, including within the small, wooded area at the corner of Granville Road and Mequon Road. Staff recommends that the area along Mequon Road be cleared of miscellaneous natural brush to create an enhanced and attractive street edge, while retaining substantial trees and preserving visual character. This approach is consistent with improvements required of other conservation subdivisions fronting Mequon Road including Sutton Ridge, Aster Woods and Farmdale Estates.

### Street Tree Plan

The applicant received conditional approval from the City of Mequon Tree Board on April 16<sup>th</sup>, and the recommended modifications have been incorporated into the current plan. These updates include an adjustment to the groupings of tree species along both Mequon Road and Granville Road. Street trees are planned along Mequon Road, Granville Road, along the road internal to the subdivision, and within the two entry islands, which will also feature a mix of perennial plantings to enhance seasonal interest. The arrangement of tree groupings shall be coordinated with the overall ground cover and prairie design to maintain a unified landscape composition.

While the original plan included a formal row of street trees along Granville Road, this has been updated to reflect a more rural, naturalistic character consistent with the surrounding context. The revised plan now features groupings of trees rather than a continuous line. Staff recommends incorporating additional low-level plant clusters within these groupings to further enhance the visual buffer and overall streetscape.

### Open Space and Entry Signage

The plan does not currently include a subdivision identification sign, however, any future proposal for signage will require staff review to ensure compliance with the City of Mequon sign code. The applicant has also agreed, per staff's recommendation, to extend the proposed grass walking path around the full perimeter of the site, extending behind lots 6 and 7 and lots 12 and 13 as well as across the open space frontage of the lots along Granville Road, improving pedestrian connectivity. This is reflected in the current plan.

Overall, staff is supportive of the proposed landscaping plan and finds it to be consistent with the desired character and design objectives for the area. More details as to the management and maintenance plans for the site are discussed in the Stewardship plan approved at the February 23<sup>rd</sup> Planning Commission meeting.

### **Planning Staff Recommendation:**

Planning Staff recommends **approval** of the landscape plan and street tree plan subject to the following conditions:

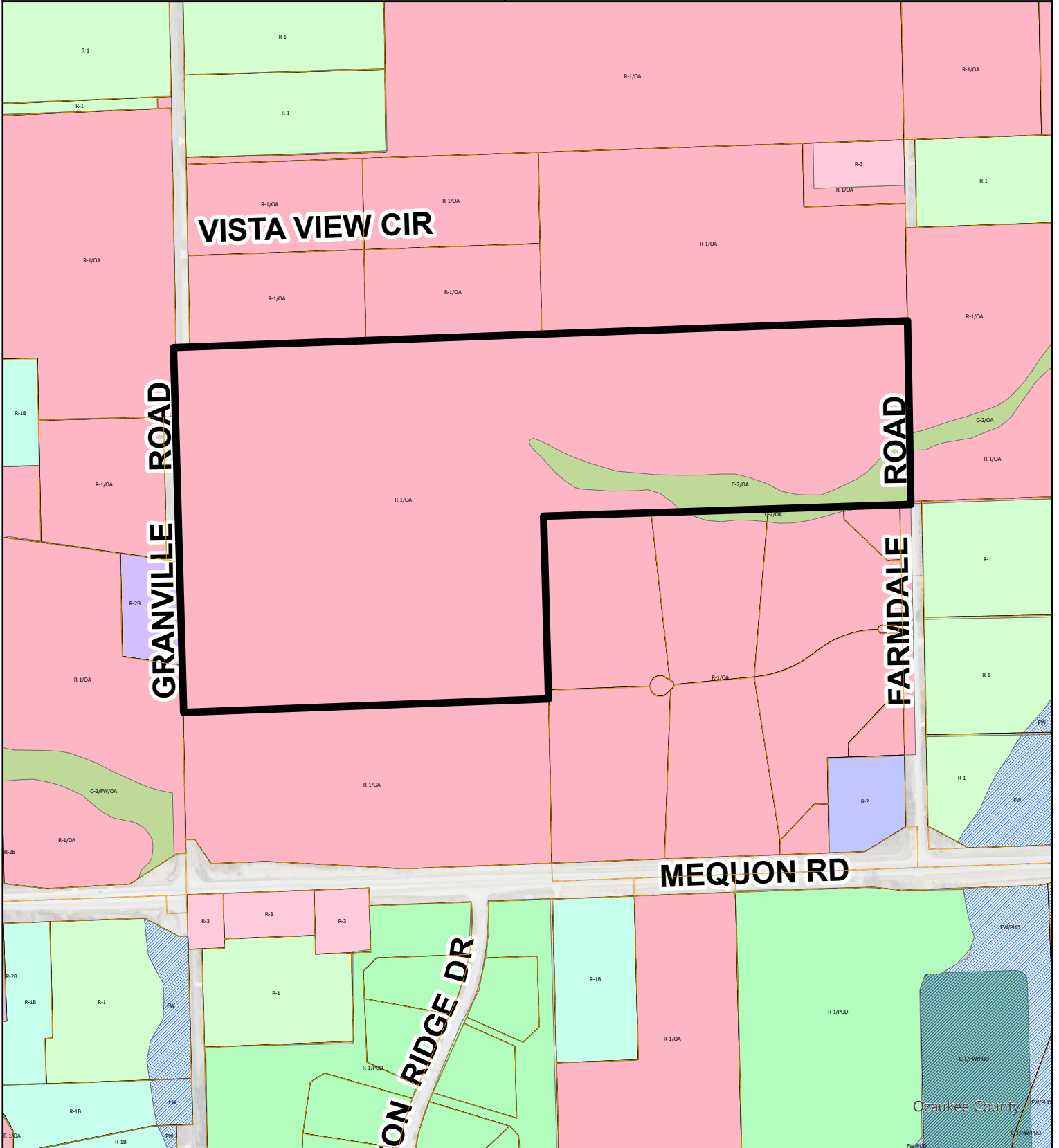
1. Final landscaping layout, including ground cover plantings, berm height and design, and spacing/tree grouping layout to require staff review and approval.
2. The applicant shall submit each final plan within 60 days of Planning Commission action for review and approval by staff or the required plan(s) shall be submitted to Planning Commission for additional review and action and subject to all necessary fees.

Attachments:

Packet Docs\_Granville

# GRANVILLE RIDGE, LLC

AC	Arrival Corridor	IPS	Institutional & Public Service
A-1	Agricultural Preserve	NC	Neighborhood Commercial
A-2	General Agricultural	OA	Agricultural Overlay
B-1	Neighborhood Business	PUD	Planned Unit Development Overlay
B-2	Community Business	P-1	Park & Recreation
B-3	Office & Service Business	R-1	Single-Family Residential (5 Ac. Min.)
B-4	Business Park	R-1B	Single-Family Residential (2.5 Ac. Min.)
B-5	Light Industrial	R-2	Single-Family Residential (2 Ac. Min.)
B-6	Rural Industrial	R-2B	Single-Family Residential (1.5 Ac. Min.)
B-7	Rural Business	R-3	Single-Family Residential (1 Ac. Min.)
C-1	Shoreland/Wetland Conservancy	R-4	Single-Family Residential (3/4 Ac. Min.)
C-2	General Conservancy	R-5	Single-Family Residential (1/2 Ac. Min.)
CGO	Central Growth Overlay	R-6	Single-Family Residential (4 DU/Ac.)
FFO	Flood Fringe Overlay	RM	Multi-Family Residential
FW	Floodway	TC	Town Center
IPS	Institutional & Public Service	TDR	Transfer of Development Rights



Granville Ridge Conservation Subdivision

March 23, 2026

Landscape Plan Review and Approval:

Northern Exposure Landscaping, Inc. has prepared the attached landscape plan for review and approval by Planning Commission.

The majority of the site consists of a short grass prairie restoration.

The plan incorporates street trees of several varieties along the road and in the two entry islands. We have made an application for Mequon Tree Board approval of the street trees.

A small grass covered landscape berm has been included with the trees along Mequon Road. This berm will be tied into the perimeter of the storm water pond on the east end of the site and into the wooded area on the west.

We will be removing the buckthorn around the perimeter of the site and many of the invasive trees in the small wooded area at the corner of Granville Road and Mequon Road.

We do not anticipate a subdivision identification sign at this time.

The entry islands will include a mix of perennials.



Plant Legend					
Symbol	Qty	Key	Common	Botanical	Size
	28	AFAB	Autumn Blaze Maple	<i>Acer x freemanii</i> 'Autumn Blaze'	3"
	23	AFAF	Autumn Fantasy Maple	<i>Acer x freemanii</i> 'Fantasy'	3"
	20	QUMA	Bur Oak	<i>Quercus macrocarpa</i>	3"
	4	PYCC	Chanticleer Pear	<i>Pyrus calleryana</i> 'Chanticleer'	3"
	25	PLAB	Exclamation London Plane Tree	<i>Platanus x acerifolia</i> 'Morton Circle'	3"
	30	TICO	Greenspire Linden	<i>Tilia cordata</i> 'Greenspire'	3"
	6	GYDI	Kentucky Coffee Tree	<i>Gymnocladus dioicus</i>	3"
	26	QUBI	Swamp White Oak	<i>Quercus bicolor</i>	3"

**STREET TREES – CITY OF MEQUON COMPLIANCE:**  
 ALL STREET TREES SHALL BE MINIMUM 3-INCH CALIPER, MEASURED 8 INCHES ABOVE GRADE, AND BALLED, BURLAPPED, AND STAKED PER CITY STANDARDS (SEC. 58-564 & 58-637). IF 3-INCH CALIPER TREES ARE NOT AVAILABLE, TREES MAY BE REPLACED WITH 2.5-INCH CALIPER, SUBJECT TO CITY APPROVAL.  
 PLANT AT A RATE OF NOT LESS THAN 1 TREE PER 30 FT OF ROADWAY FRONTAGE, WITHIN THE ROW, APPROXIMATELY 2 FT FROM PROPERTY LINE, UNLESS OTHERWISE APPROVED.  
 TREE BOARD SPACING GUIDELINES: LOW GROWTH = 20 FT, MEDIUM GROWTH = 30 FT, TALL GROWTH = 40 FT.  
 A MINIMUM OF THREE (3) DIFFERENT SPECIES PER SUBDIVISION, WITH 15-40% MAX OF ANY ONE SPECIES.  
 TREES OUTSIDE THE ROW REQUIRE A STREET TREE PRESERVATION & MAINTENANCE EASEMENT.  
 ANY STREET TREE THAT DIES OR IS DAMAGED WITHIN THREE (3) YEARS SHALL BE REPLACED IN KIND.  
 FINAL SPECIES SELECTION AND SPACING ARE SUBJECT TO APPROVAL BY THE CITY FORESTER AND TREE BOARD.  
 NOTES:  
 1. ALL PLANT MATERIAL SHALL COMPLY WITH THE STANDARDS DESCRIBED IN THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1, LATEST EDITION).  
 2. ALL NURSERY STOCK SHALL BE FREE OF DISEASES, HARMFUL INSECTS, DAMAGE, DEFORMITIES, AND OTHER DEFECTS.  
 3. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH APPROVED PLANTING DETAILS AND SPECIFICATIONS.  
 4. ALL TREES PLANTED IN TURF AREAS SHALL RECEIVE A 3-INCH DEEP DARK BROWN ENVIRO-MULCH RING WITH A SHOVEL-CUT EDGE.  
 5. ALL DISTURBED TURF AREAS SHALL BE SEEDED WITH AN APPROVED SHORT PRAIRIE GRASS SEED MIX, SUITABLE FOR LOCAL SITE CONDITIONS.  
 6. THE CONTRACTOR SHALL LOCATE AND VERIFY ALL EXISTING UTILITIES, INCLUDING ANY IRRIGATION LINES, PRIOR TO DIGGING. CONTACT DIGGERS HOTLINE (800-242-8511) THREE (3) BUSINESS DAYS BEFORE EXCAVATION.  
 7. THE OWNER SHALL MAINTAIN ALL PLANT MATERIAL IN A HEALTHY GROWING CONDITION PER THE APPROVED PLAN. PLANTINGS SHALL BE KEPT FREE OF WEEDS AND DEBRIS AND ADEQUATELY WATERED DURING THE ESTABLISHMENT PERIOD.  
 8. ANY PLANT MATERIAL THAT DIES OR BECOMES DAMAGED WITHIN TWELVE (12) MONTHS OF INSTALLATION SHALL BE REPLACED IN KIND BY THE CONTRACTOR OR OWNER.

**Street Tree Planting Plan**

Sheet Title

Designed by  
Milana Mikalij

COPYRIGHT Northern Exposure Landscaping, Inc. 2026  
 ALL RIGHTS RESERVED. THIS DRAWING IS UNLESS CHANGED, COPIED OR ASSIGNED TO ANY THIRD PARTY IN ANY FORM OR MANNER WITHOUT FIRST OBTAINING THE EXPRESSED WRITTEN PERMISSION OF Northern Exposure Landscaping, Inc.

Northern Exposure Landscaping  
 Office: 262-242-3877  
 office@northernexposureld.com

**Granville Ridge**  
 11449 N. Farmdale Road  
 Mequon, WI 53097

April 21, 2026  
 Date

Scale: 1' = 100'

**L:1**

Page 38 of 177



11333 N. Cedarburg Road  
Mequon, WI 53092-1930  
Phone: 262/236-2914  
Fax: 262/242-9655

---

[www.cityofmequonwi.gov](http://www.cityofmequonwi.gov)

Community Development

**TO:** Planning Commission  
**FROM:** Natalie Redding, Planner  
**DATE:** April 27, 2026  
**SUBJECT:** Laury Clark for Launch Equity Acquisition Partners. The applicant is seeking rezoning recommendation approval within the Town of Grafton Joint Extra Territorial Zoning Area for the 35.5 acre parcel located at 997 Lakefield Road in the Town of Grafton from the Town of Grafton's A-1 (Prime Agriculture) zoning district to Town of Grafton's A-2 (Agriculture) zoning district and R-3 (Urban Single-Family Residential) zoning district to allow for a one-acre parcel and an approximate 34.5 acre parcel.

---

**Background:** The city has received a rezoning application for the property located at 997 Lakefield Road in the Town of Grafton. The applicant is seeking rezoning recommendations following the division of a one-acre parcel from the current 35.55-acre farmstead. This area is within the 2005 JETZCO area where the city has previously exercised extraterritorial zoning authority (see Exhibit A). The current zoning for this property is A-1 (Exclusive Agricultural).

### History

In 2003 and 2005, the City exercised extraterritorial zoning authority over all portions of Sections 28, 29, 31, 32 and 33, which lie in the Town of Grafton and within the extraterritorial zoning jurisdiction of the City of Mequon. This area includes the subject property for this zoning request. Not much development has occurred in this area since the city exercised its authority. Since the Common Council had not weighed in on the issue of extraterritorial zoning in some time, staff presented the issue to the Council in March of 2026. As a group, they decided to continue exercising extraterritorial zoning authority over the Town of Grafton.

### Analysis

The applicant is seeking rezoning recommendation approval from A-1 to R-3 to allow for a one-acre parcel to be divided from the 35.55-acre farmstead as fulfillment of a 10-year contract. The applicant is also seeking rezoning approval from A-1 to A-2 for the remainder parcel following the land division, as the remainder parcel will no longer meet the minimum lot size required in the A-1 zoning district.

Staff is supportive of the requested rezoning from A-1 to R-3 and from A-1 to A-2, as it represents a reasonable and non-controversial extraterritorial matter that is consistent with local

planning objectives and poses no measurable impact to the Mequon community. The request reflects the applicant's effort to fulfill a long-standing contractual agreement initiated in consultation with the Town of Grafton and aligned with the future land use plan in place at that time. While current zoning standards have changed, the proposed one-acre configuration is compatible with surrounding development patterns, as similar lot sizes already exist nearby (see Exhibit B). The rezoning will not alter the existing character or use of the property, maintains access for the remaining farmland, and supports the preservation of the existing farmhouse.

**Staff Recommendation:**

Staff recommends **approval** of the rezoning for the proposed 1-acre parcel from A-1 to R-3, and for the remainder parcel from A-1 to A-2, based on the following:

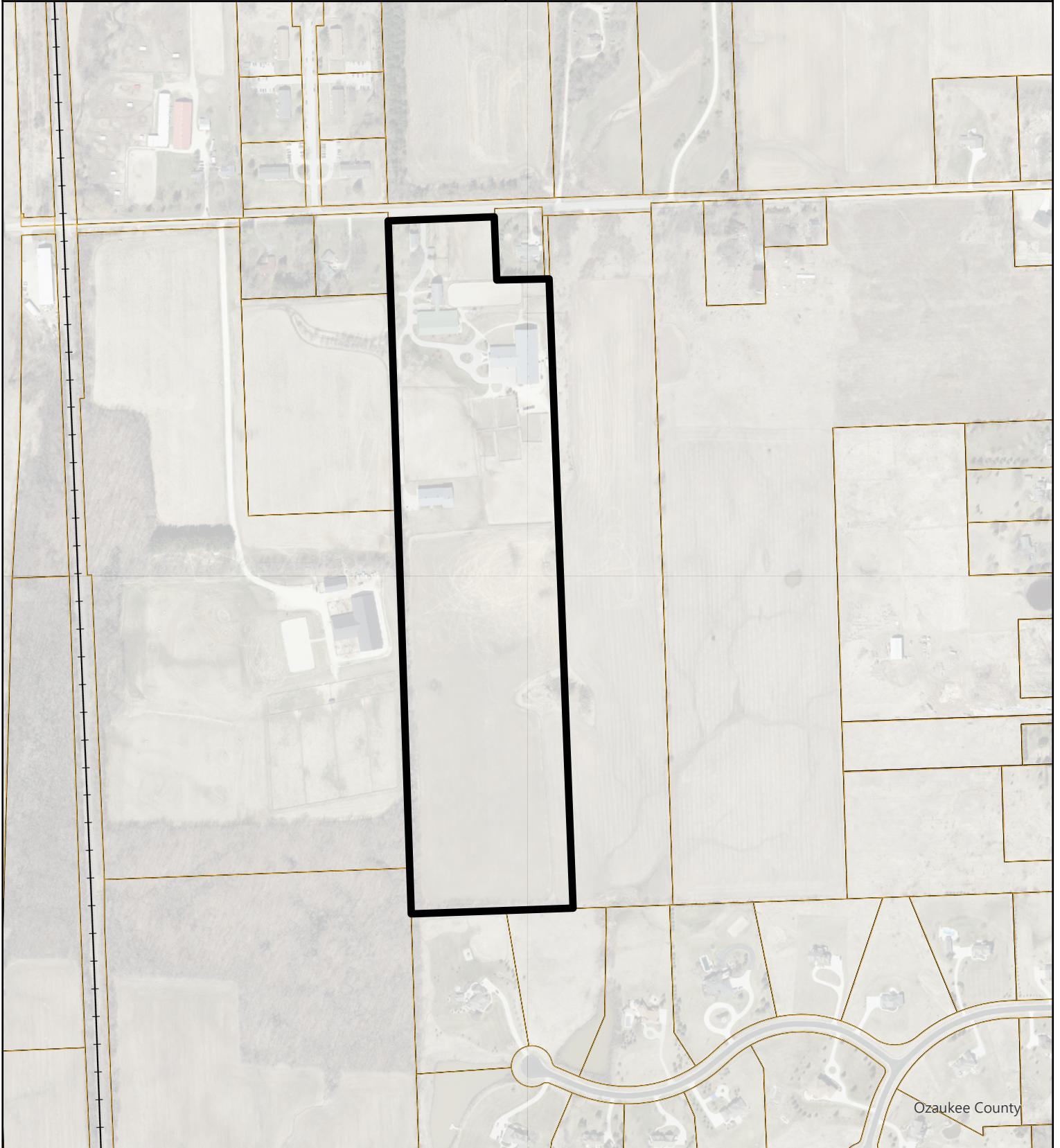
1. Common Council action on the rezoning.

Attachments:

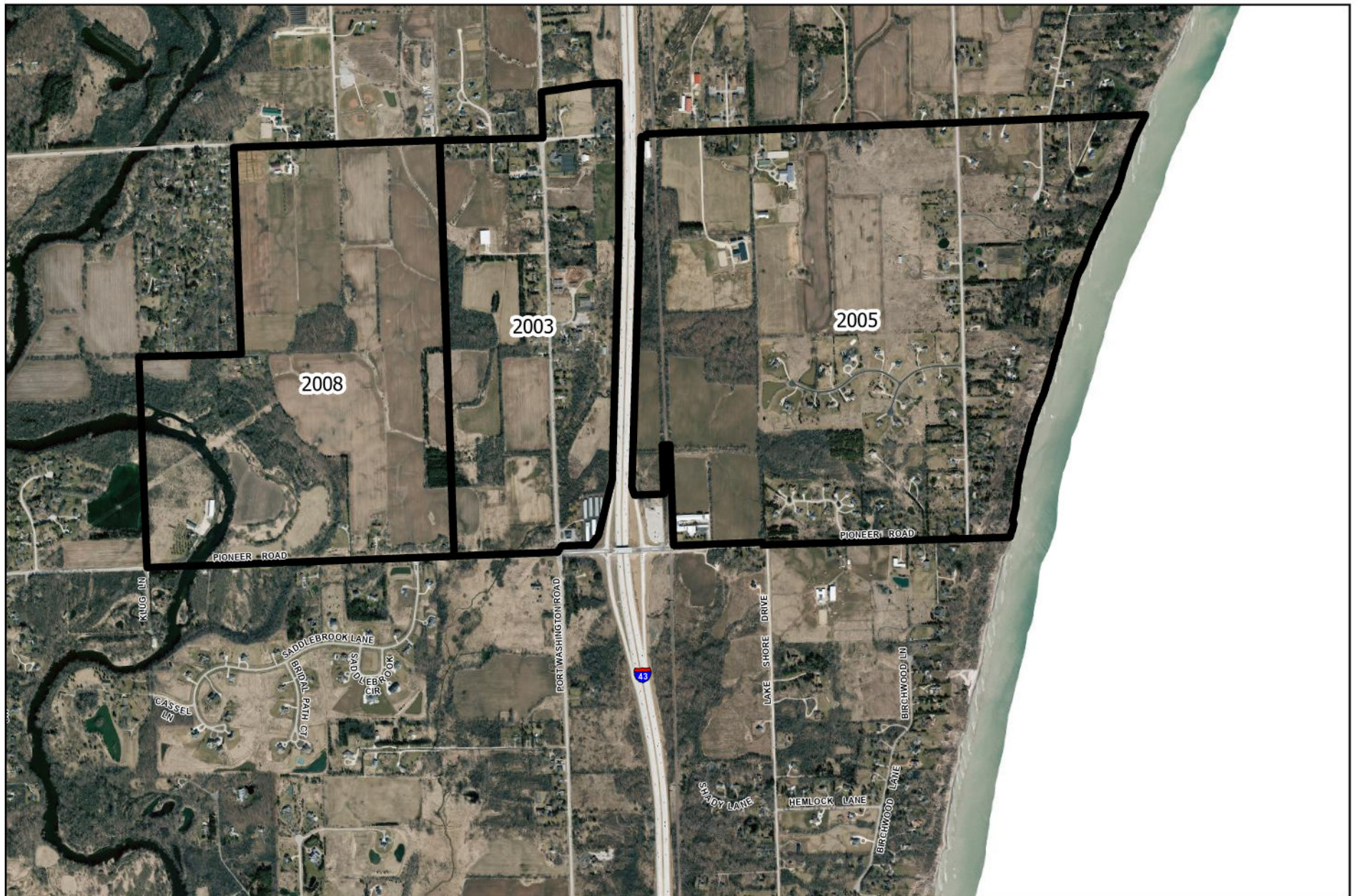
Packet Docs\_Clark

# JETZCO - LAURY CLARK

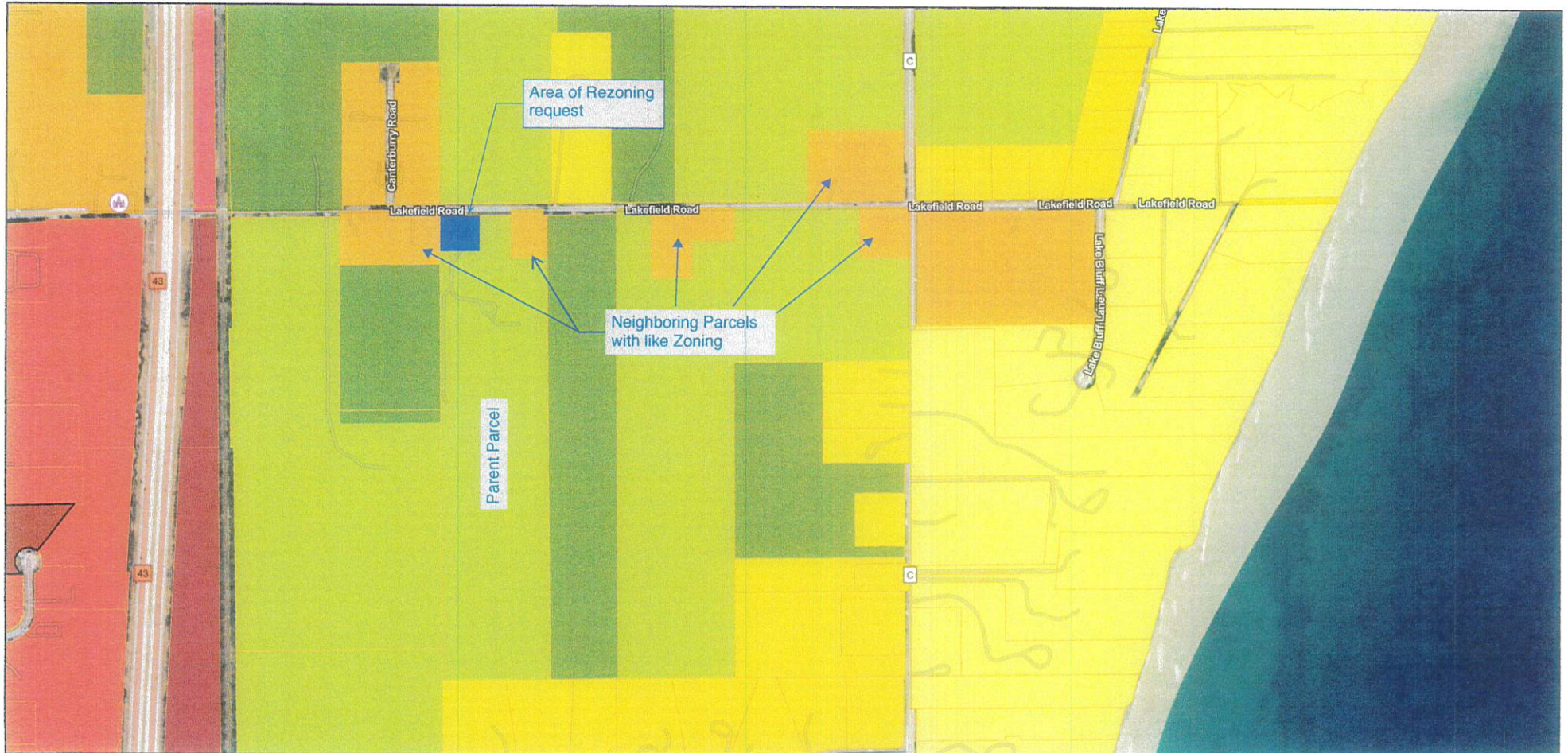
AC	Arrival Corridor	IPS	Institutional & Public Service
A-1	Agricultural Preserve	NC	Neighborhood Commercial
A-2	General Agricultural	OA	Agricultural Overlay
B-1	Neighborhood Business	PUD	Planned Unit Development Overlay
B-2	Community Business	P-1	Park & Recreation
B-3	Office & Service Business	R-1	Single-Family Residential (5 Ac. Min.)
B-4	Business Park	R-1B	Single-Family Residential (2.5 Ac. Min.)
B-5	Light Industrial	R-2	Single-Family Residential (2 Ac. Min.)
B-6	Rural Industrial	R-2B	Single-Family Residential (1.5 Ac. Min.)
B-7	Rural Business	R-3	Single-Family Residential (1 Ac. Min.)
C-1	Shoreland/Wetland Conservancy	R-4	Single-Family Residential (3/4 Ac. Min.)
C-2	General Conservancy	R-5	Single-Family Residential (1/2 Ac. Min.)
CGO	Central Growth Overlay	R-6	Single-Family Residential (4 DU/Ac.)
FFO	Flood Fringe Overlay	RM	Multi-Family Residential
FW	Floodway	TC	Town Center
IPS	Institutional & Public Service	TDR	Transfer of Development Rights



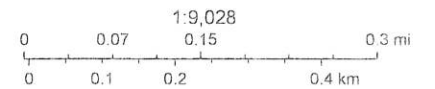
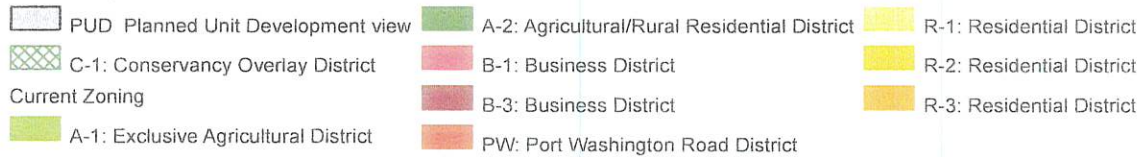
Ozaukee County



## Town of Grafton Zoning



12/22/2025, 7:47:43 AM



SE Wisc Reg Planning Comm, SEWRPC, Vantor, Sources: Map data © OpenStreetMap contributors, Microsoft, Esri Community Maps contributors, Map layer by Esri

PROJECT NARRATIVE - Request for Special Consideration for Rezoning and Land Division in the Town  
Of Grafton at 997 LAKEFIELD RD

This is a special circumstance requesting that a one-acre parcel be divided from the main farm parcel as a fulfillment to a 10-year contract between Laury Clark (Laury) and Launch Equity Partners, LLC (Launch). Under this agreement Laury would lease the residence and one acre for 10 years as a lease to own. At the conclusion of those 10 years, Launch would deed one acre and the farmhouse and garage to Laury for sole ownership. Both parties agree that the lease has been satisfied.

The contract for one acre was made in good faith after checking with the Town in 2013 to make sure the division of one acre would be permissible . The contract aligned with the future land use of that time. See attached exhibit.

Since then, the Towns minimum lot size requirement has changed to three acres (R2).

The parties met with the Town in May of 2024 to begin the one acre land division process . When this was denied an investigation was made to try and accommodate a three (3) acre zoning layout, in keeping with the land use plan, but was not feasible (either the shape would not pass the planning commission or the parcel would dissect buildings or other parts of the horse barn driveway). There was no solution or agreeable outcome.

- \* The rezoning of this parcel to R3 (1-acre) is necessary to fulfill the contract.
- \*. The proposed CSM and rezoning will have no net impact on the area; the property will remain exactly as it appears today.
- \*. There is like zoning (1-acre) adjacent to this property on the west and on lots to the east, and across the street. See attached exhibit.
- \*. This 1-acre layout preserves road access for future use/development of the remaining farmland.
- \*. Presently Launch has no plans for a change in use of the farm.
- \*. The creation of this new lot will also help preserve the farmhouse for the foreseeable future.
- \* The current zoning for this property is A1. If the land division and rezoning are approved for Lot #1, the zoning for Lot #2 will become A2.

On a persona note, I, (Laury), have been a Town of Grafton resident for 38 years (30 of them at this property). This is a special historic home where I hope to stay for an indefinite period of time. I would be an individual (private) owner occupying and preserving this 115 year old house and surrounding grounds. The proposed land division will have no visual or negative impact on the Town (the only change is the adjustment of the lot line). It is, in many ways, a no-lose situation for all involved.

Thank you for your consideration.

Laury Clark



I, THE UNDERSIGNED, TOWN CHAIRMAN OF THE TOWN OF GRAFTON, OZAUKEE COUNTY, WISCONSIN, DO HEREBY CERTIFY THE "LAND USE PLAN MAP, TOWN OF GRAFTON, OZAUKEE COUNTY, WISCONSIN".

ATTESTATION:

Lester A. Bartel, Jr.  
Lester Bartel Jr., Town Chairman

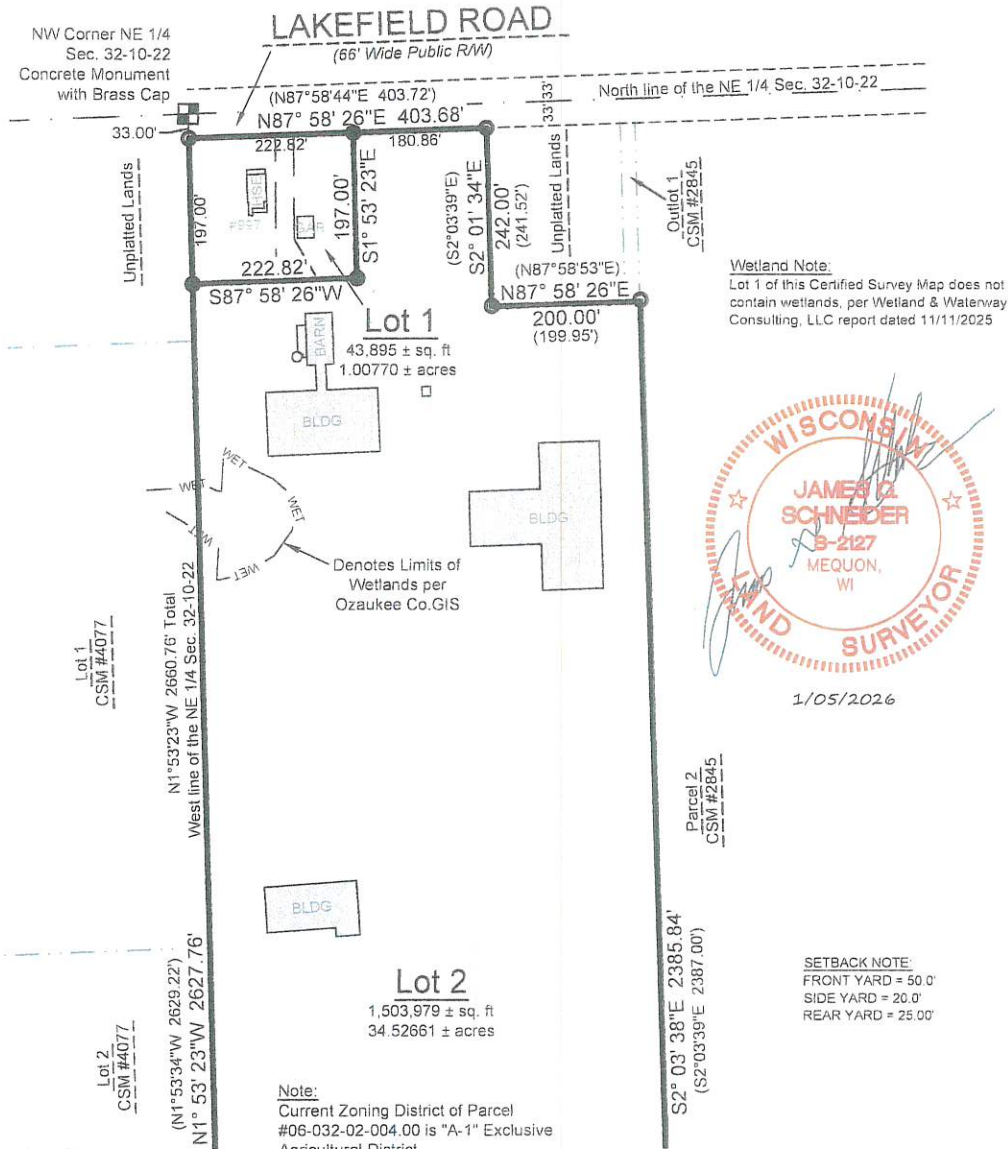
8/13/14  
Date

Amanda A. Schaefer  
Town Clerk

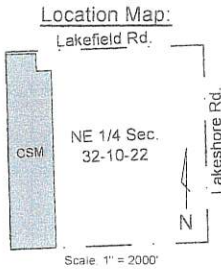
8.13.14  
Date

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A Redivision of Parcel 1 of Certified Survey Map No. 2845, being a part of the Southwest 1/4 and the Northwest 1/4 of the Northeast 1/4 of Section 32, Township 10 North, Range 22 East, in the Town of Grafton, Ozaukee County, Wisconsin



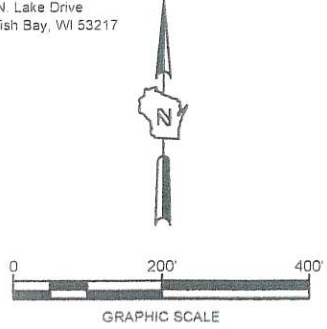
1/05/2026



**LEGEND & NOTES:**

- INDICATES FOUND 1" DIAM. IRON PIPE, 18" LONG
- INDICATES SET 1" DIAM. IRON PIPE, 18" LONG WEIGHING 1.68 LBS/LIN. FT.
- ( ) DENOTES ALSO RECORDED AS BEARING OR DISTANCE

COORDINATES & BEARINGS REFERENCED THE WISCONSIN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE WITH THE WEST LINE OF THE NE. 1/4 OF SEC. 32-10-22, ASSUMED TO BEAR N1°53'23"W, AS PUBLISHED BY SEWRPC, NAD83 (2011).



**THE SIGMA GROUP**  
Single Source. Sound Solutions.

www.thesigmagroup.com  
1300 West Canal Street  
Milwaukee, WI 53233  
Phone: 414-643-4200  
Fax: 414-643-4210

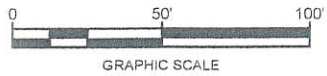
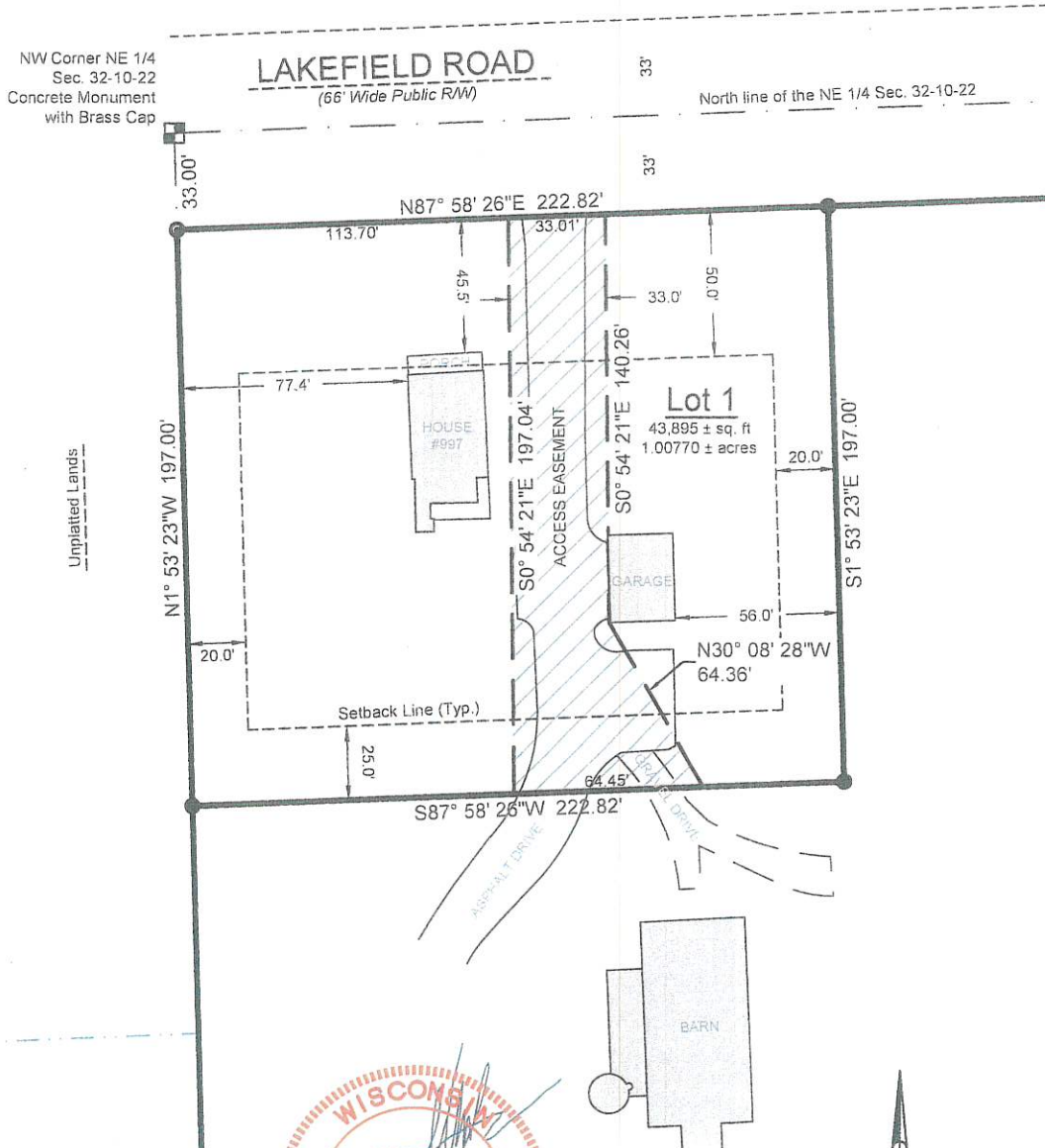


# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A Revision of Parcel 1 of Certified Survey Map No. 2845, being a part of the Southwest 1/4 and the Northwest 1/4 of the Northeast 1/4 of Section 32, Township 10 North, Range 22 East, in the Town of Grafon, Ozaukee County, Wisconsin

## LOT 1 DETAIL

SETBACK NOTE  
 FRONT YARD = 50.0'  
 SIDE YARD = 20.0'  
 REAR YARD = 25.00'



**THE SIGMA GROUP**  
 Single Source. Sound Solutions.  
 www.thesigmagroup.com  
 1300 West Canal Street  
 Milwaukee, WI 53233  
 Phone: 414-643-4200  
 Fax: 414-643-4210

1/05/2026

Project # 24615 DRAFTED BY JRS

Sheet 3 of 6

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A Redivision of Parcel 1 of Certified Survey Map No. 2845, being a part of the Southwest 1/4 and the Northwest 1/4 of the Northeast 1/4 of Section 32, Township 10 North, Range 22 East, in the Town of Grafton, Ozaukee County, Wisconsin

## SURVEYOR'S CERTIFICATE

I, James G. Schneider, Professional Land Surveyor, do hereby certify:

THAT I have surveyed, divided and mapped the following parcel of land:

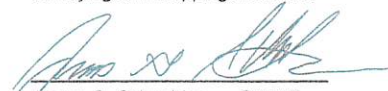
A redivision of Parcel 1 of Certified Survey Map No. 2845, as recorded at the Ozaukee County Register of Deeds office in Volume 20, Pages 223-224, as Document No. 547183, being a part of the Southwest 1/4 and the Northwest 1/4 of the Northeast 1/4 of Section 32, Township 10 North, Range 22 East, in the Town of Grafton, Ozaukee County, Wisconsin

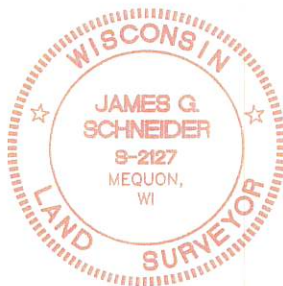
Said lands containing 35.53432 acres of land, more or less.

That I have made such survey, land division, and plat at the direction of Launch Equity Partners, LLC, OWNER of said lands.

That such map is a correct representation of all the exterior boundaries of the land surveyed and the land division thereof made.

That I have complied with Chapter 236.34 of the Wisconsin Statutes and the regulations of the Town of Grafton, in surveying and mapping the same.

  
James G. Schneider S-2127



1/05/2026

**THE SIGMA GROUP**  
Single Source. Sound Solutions.  
www.thesigmagroup.com  
1300 West Canal Street  
Milwaukee, WI 53233  
Phone: 414-643-4200  
Fax: 414-643-4210

Project # 24615 DRAFTED BY JRS

Sheet 4 of 6

CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A Revision of Parcel 1 of Certified Survey Map No. 2845, being a part of the Southwest 1/4 and the Northwest 1/4 of the Northeast 1/4 of Section 32, Township 10 North, Range 22 East, in the Town of Grafton, Ozaukee County, Wisconsin

OWNER'S CERTIFICATE

I, Jane Kim (managing Member) of Launch Equity Partners, LLC, OWNER, do hereby certify: THAT I have caused the lands described in the foregoing certificate of James G. Schneider, Surveyor, to be surveyed, divided and mapped.

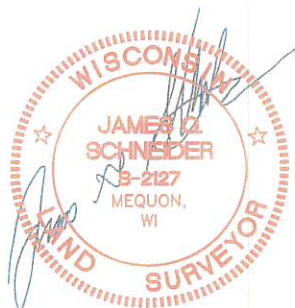
\_\_\_\_\_  
Witness Jane Kim (Managing Member)

WITNESS the hand and seal of said OWNERS on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_.

STATE OF WISCONSIN)  
COUNTY) <sup>SS</sup>

PERSONALLY came before me on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_ Jane Kim, to me known to be the persons who executed the foregoing certificate and acknowledged the same.

\_\_\_\_\_  
Notary Public My Commission expires \_\_\_\_\_



1/05/2026

**THE SIGMA GROUP**  
Single Source. Sound Solutions.  
www.thesigmagroup.com  
1300 West Canal Street  
Milwaukee, WI 53233  
Phone: 414-643-4200  
Fax: 414-643-4210

# CERTIFIED SURVEY MAP NO. \_\_\_\_\_

A Redivision of Parcel 1 of Certified Survey Map No. 2845, being a part of the Southwest 1/4 and the Northwest 1/4 of the Northeast 1/4 of Section 32, Township 10 North, Range 22 East, in the Town of Grafton, Ozaukee County, Wisconsin

## APPROVAL OF THE OZAUKEE COUNTY NATURAL RESOURCES COMMITTEE, COUNTY PLANNING AGENCY

Resolved, that this Certified Survey Map, in the Town of Grafton, by Launch Equity Partners, LLC, OWNER, is hereby approved by the authority of the Natural Resources Committee of the Ozaukee County Board of Supervisors under the provisions of Section 7.1200 and Chapter 13 of the County Ordinance.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
Rob Holyoke,  
Chairperson of the Natural Resources Committee

## EXTRATERRITORIAL REVIEW AND APPROVAL

### VILLAGE OF GRAFTON PLAN COMMISSION APPROVAL

APPROVED by the Village of Grafton Plan Commission on this \_\_\_\_\_ day of 20\_\_\_\_.

\_\_\_\_\_  
Dan Delorit,  
Plan Commission Chairman

### TOWN OF GRAFTON PLAN COMMISSION APPROVAL

APPROVED by the Town of Grafton Plan Commission on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Lester Bartel, Town Chairman

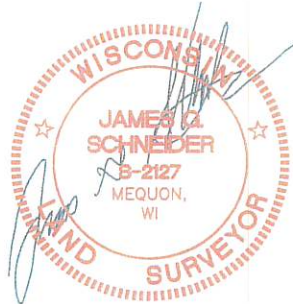
\_\_\_\_\_  
Laurie Arendt, Clerk

### TOWN OF GRAFTON TOWN BOARD APPROVAL

APPROVED by the Town of Grafton Town Board this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_

\_\_\_\_\_  
Lester Bartel, Town Chairman

\_\_\_\_\_  
Laurie Arendt, Clerk



1/05/2026



11333 N. Cedarburg Road  
Mequon, WI 53092-1930  
Phone: 262/236-2914  
Fax: 262/242-9655

---

[www.cityofmequonwi.gov](http://www.cityofmequonwi.gov)

Community Development

**TO: Planning Commission**  
**FROM: Jac Zader, Assistant Director Community Development**  
**DATE: April 27, 2026**  
**SUBJECT: Neumann Developments Inc. for Leben Family Limited Partnership.**

**The applicant is seeking rezoning recommendation approval within the Town of Grafton Extra Territorial Zoning Area for the 185 acre parcel located at 1306-1372 Pioneer Road from Town of Grafton's A-1 (Prime Agriculture) and A-2 (Agriculture) zoning district to Town of Grafton's R-3 (Urban Single-Family Residential) zoning district to allow for 112 single-family residential lots within the Town of Grafton.**

---

**Background:** The city has received a rezoning application for a 112-lot subdivision on 185 acres with on-site, private sewer and water located at 1306 W Pioneer Road. This is in the area where the city has exercised extraterritorial zoning authority over the Town of Grafton. The Town of Grafton's current zoning designation for the site is A-1 (Exclusive Agricultural requiring 35 acre minimum lot size) and A-2 (Agricultural/Rural Residential requiring 20 acre minimum lot size).

**History:** In July 2006, the Town of Grafton purportedly enacted an ordinance rezoning this area from A-1 to R-3 (1-acre residential lots). The city was concerned about this purported exercise, since the matter had not first been submitted to the joint extraterritorial zoning process involving both communities, and because the city viewed one acre density on unsewered lots in the vicinity of sensitive environmental areas to be of concern. For this reason, the city again exercised extraterritorial zoning authority in late 2006, over the lands which the Town had purportedly rezoned, as well as some additional lands in the immediate vicinity.

The Town initially refused to recognize or respond to this exercise of extraterritorial zoning authority, and the Common Council authorized a mandamus action to compel the Town's participation with the joint extraterritorial zoning process, as well as seeking a declaration of the Court that the purported rezoning by the Town was void. This action commenced very late in 2006. After the Town argued that it was not compelled to actually and actively participate in the JETZCO (Joint Extraterritorial Zoning Committee) process in good faith, the Court held to the contrary. As a result, the JETZCO process began in 2007. There was consensus by the committee in 2008 that the area in question would be rezoned to R-2 with an RCDO Overlay which resulted in a density of one unit per 2.5 acres. With the delay in getting the zoning approved and the housing market crash that occurred, the developer withdrew interest in the project.

Due to this withdrawal, JETZCO met on August 20, 2010, and approved Ordinance 2010-1329

which confirms the zoning of the lands in the JETZCO territory as agricultural zoning thus resulting in no change from the original zoning.

Since the Common Council had not weighed in on the issue of extraterritorial zoning in some time, staff presented the issue to them in March of 2026 and as a group decided to continue exercising extraterritorial zoning authority over the Town of Grafton. While this specific application was not the sole point of discussion, a majority of the Council commented that the development was too dense given the lack of access to public sewer or water and there was not a large enough open space buffer along Pioneer Road. There was more concern over the southern portion of the development that abuts Mequon versus the northern portion due to proximity of the City of Mequon’s R-1 zoning which requires a 5 acre minimum lot density. Saddlebrook Park, which is a conservation subdivision, was developed with a density of one unit per five acres and averages 3-acre lot sizes due to an equestrian style development. There were also concerns expressed over the traffic impact of the proposed subdivision along Pioneer Road

**Concept Plan:**

The concept plan shows 112 lots on 185 total acres with an average density of 1.65 acres per lot. Lot sizes range from 32,860 square feet to 95,738 square feet. The open space ratio is approximately 10%. There are two access points into the development, one at Lakefield Road and one at Pioneer Road. The plan also shows two future connections to the east and west. The plan also identifies primary environmental corridor, wetlands and floodplain which are present on the parcel most of which is located in the open space outlots.

The subject site is within close proximity to R1 zoning, including Saddlebrook Park, to the south and within close proximity to Ulao Creek zoning. The subject site contains similar site characteristics to the conditions of Saddlebrook Park and Ulao Creek, both containing waterways, floodways and significant environmental conditions. The adjacent City of Mequon zoning including R-1 and UCRC (see attached map). As stated above, R-1 requires a 5 acre minimum lot density. The R-1 also allows for a conservation subdivision at a yield of one lot per five acres. That zoning applied in this case, it would result in approximately 35 lots.

The city has recently approved changes to several zoning districts in the Ulao Creek area, specifically the UCRC (Ulao Creek Residential Cluster) that allow densities as low as one unit per ¾ acre without public infrastructure. Based on the one unit per ¾ acre, it results in a total lot yield of 246 lots for the subject site. However, this would not be achievable when factoring all other requirements. A comparison between the proposed plan and the R-1 zoning district, the R-1 cluster design and the UCRC zoning district cluster design with private sewer is as follows:

	<b>Proposal</b>	<b>UCRC</b>	<b>R-1</b>	<b>R-1 Cluster</b>
Lot Size Minimum:	30,000 sq. ft.	32,800 sq. ft.	5 acre	Per PC
Open Space Ratio:	10%	30%	None	60%
Perimeter Buffer:	None	30 feet	None	300 feet front
Lot Width Minimum:	110 feet	100 feet	300 feet	Per PC
Yield:	112	246	35	36

The proposed plan falls short of meeting the open space ratio and the perimeter buffer of the UCRC and conservations design code. In discussions with the applicant, staff requested the plan be amended to comply with the 30 foot perimeter buffer and the 30% open space ratio on the south portion of the development. In order to provide a larger buffer to the residents of Saddlebrook Park, staff also requested a 200 foot open space buffer along Pioneer Road.

**Rezoning Recommendation:**

In 2008, the JETZCO committee recommended that the area in question would be rezoned to R-2 with an RCDO Overlay which resulted in a density of one unit per 2.5 acres. Since this time, the City of Mequon has adopted several zoning districts in the vicinity of the proposal that allow higher densities than what existed previously for developments without public sewer or water. In addition, the area in question has seen development pressure from the north in the City of Grafton, to the east along Port Washington Road and to the south in the City of Mequon. There is also an existing development to the west along Lakefield Road with lot sizes and densities similar to what is being proposed for this site. Staff recommends approving the rezoning recommendation with the changes identified above to the concept plan.

**Engineering Comments:**

Cole McCraw, Assistant City Engineer, has reviewed the application and has the following comments:

The proposed streets will access Pioneer Road (CTH C) on the south end and Lakefield Road (CTH T) on the north end. Both streets are under the jurisdiction of Ozaukee County, so their access requirements for the class of connection and required improvements will be enforced. The access point on Pioneer Road should line up with Saddlebrook Lane to reduce traffic conflict points.

The developer will be required to comply with WDNR wetland and waterway regulations.

The lots will be served by private onsite wastewater treatment systems (POWTS). City ordinance does not allow development on land that cannot support mound or septic systems. The concept plan appears to show mound locations on each lot. Per Ordinance 58-632 (d) No parcel of land may be divided where public sanitary sewer is unavailable or where soil conditions preclude the installation of approved septic or mound systems unless the divided parcel(s) are deed restricted to uses which do not require a sewage disposal facility. Soil evaluation reports shall be provided prior to Common Council action on rezoning indicating that all of the lots can support private onsite wastewater treatment systems.

The developer will be required to meet WDNR stormwater management criteria. The site is not in the MMSD service area, so MMSD stormwater criteria will not apply. The developer will be required to obtain WDNR permitting for land disturbance exceeding one acre.

**Staff Recommendation:**

Planning staff recommends approval of the rezoning to R-3 based on the following:

1. Common Council action on the rezoning.

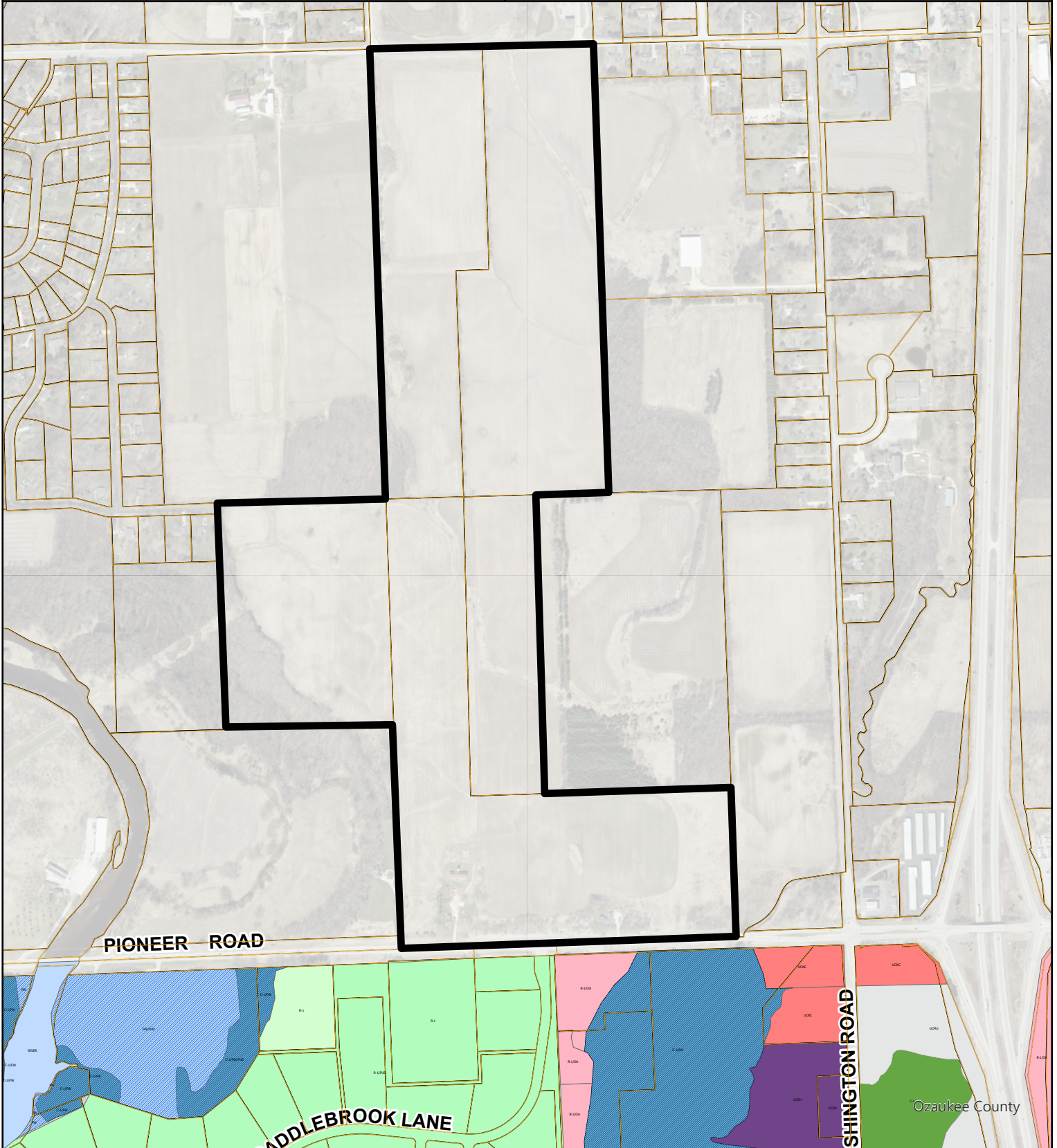
2. The concept plan shall be amended to meet the following:
  - There shall be a 30-foot perimeter buffer around the entire development.
  - The south portion of the development shall have an open space ratio of 30%.
  - There shall be an open space buffer of 200 feet along Pioneer Road.
3. The street connection at Pioneer Road shall line up with Saddlebrook Lane.
4. Each lot shall be served by septic or mound POWTS systems per Sec. 58-632. Soil evaluation reports shall be provided prior to Common Council action on rezoning verifying all the lots can support private onsite wastewater treatment systems.

Attachments:

Packet Docs\_JETZCO Leben

# JETZCO - NEUMANN DEVELOPMENTS INC. FOR LEBEN FAMILY UNLIMITED PARTNERSHIP

AC	Arrival Corridor	IPS	Institutional & Public Service
A-1	Agricultural Preserve	NC	Neighborhood Commercial
A-2	General Agricultural	OA	Agricultural Overlay
B-1	Neighborhood Business	PUD	Planned Unit Development Overlay
B-2	Community Business	P-1	Park & Recreation
B-3	Office & Service Business	R-1	Single-Family Residential (5 Ac. Min.)
B-4	Business Park	R-1B	Single-Family Residential (2.5 Ac. Min.)
B-5	Light Industrial	R-2	Single-Family Residential (2 Ac. Min.)
B-6	Rural Industrial	R-2B	Single-Family Residential (1.5 Ac. Min.)
B-7	Rural Business	R-3	Single-Family Residential (1 Ac. Min.)
C-1	Shoreland/Wetland Conservancy	R-4	Single-Family Residential (3/4 Ac. Min.)
C-2	General Conservancy	R-5	Single-Family Residential (1/2 Ac. Min.)
CGO	Central Growth Overlay	R-6	Single-Family Residential (4 DU/Ac.)
FFO	Flood Fringe Overlay	RM	Multi-Family Residential
FW	Floodway	TC	Town Center
IPS	Institutional & Public Service	TDR	Transfer of Development Rights



**PROPOSED ZONING**

**R-3 Residential District**

Minimum Lot Size = 32,670 sf  
 Standard Lot Width = 120'  
 Corner Lot Width = 135'

**Setbacks**

Front = 50'  
 Side = 20'  
 Rear = 25'

**Site Data (6 parcels)**

Total Area = 185.23 ac  
 Wetlands = 9.62 ac  
 100-yr Floodplain = 2.28 ac  
 Floodway = 2.67 ac  
 PEC = 4.25 ac  
 Net Area = 166.41 ac

**DEVELOPMENT SUMMARY**

**SOUTH**

- Total Area = 106 acres
- PROPOSED = 59 lots
- Density = 1.8 ac/lot
- Average Lot Size = 43,949 sf/lot

**NORTH**

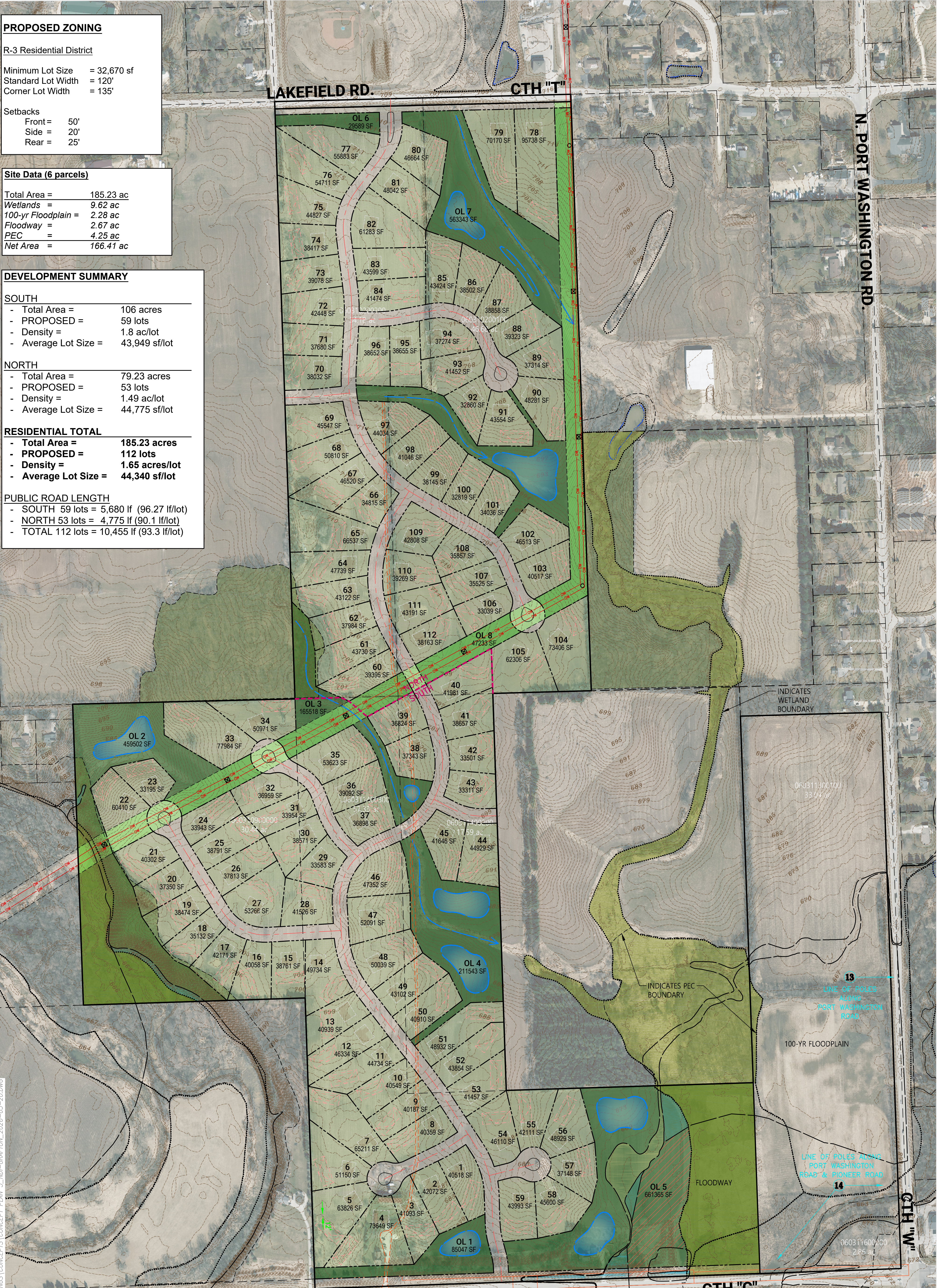
- Total Area = 79.23 acres
- PROPOSED = 53 lots
- Density = 1.49 ac/lot
- Average Lot Size = 44,775 sf/lot

**RESIDENTIAL TOTAL**

- Total Area = 185.23 acres
- PROPOSED = 112 lots
- Density = 1.65 acres/lot
- Average Lot Size = 44,340 sf/lot

**PUBLIC ROAD LENGTH**

- SOUTH 59 lots = 5,680 lf (96.27 lf/lot)
- NORTH 53 lots = 4,775 lf (90.1 lf/lot)
- TOTAL 112 lots = 10,455 lf (93.3 lf/lot)

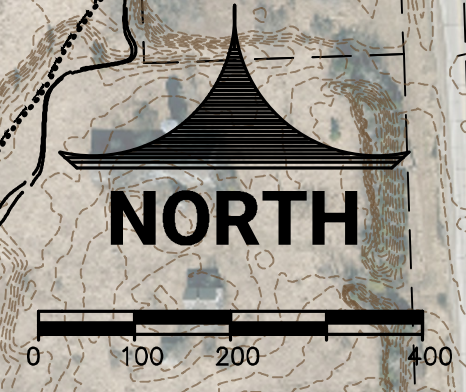


**PIONEER RD.**

**CTH 'C'**

**CONCEPT PLAN 3**  
**Leben Parcels**

Town of Grafton, WI



SCALE: 1" = 200' (22"X34")  
 SCALE: 1" = 400' (11"X17")  
 DATE: 3/20/2026

X:\2025\25-59-953 LEBEN SUBDIVISION - GRAFTON DRAWINGS\CONCEPT PLAN 3\_NDI-GRAFTON\_2026-03-20.DWG



11333 N. Cedarburg Road  
Mequon, WI 53092-1930  
Phone: 262/236-2914  
Fax: 262/242-9655

---

[www.cityofmequonwi.gov](http://www.cityofmequonwi.gov)

**Community Development**

**TO:** Planning Commission  
**FROM:** Jac Zader, Assistant Director Community Development  
**DATE:** April 27, 2026  
**SUBJECT:** Concordia University. The applicant is seeking conditional use grant approval to allow for outdoor lighting for the soccer and softball fields for the property located at 12800 N. Lake Shore Drive.

---

**Background:** The applicant requests conditional use approval for outdoor lights for the existing soccer and softball fields. According to 58-567 (J)(1) illuminated outdoor recreation facilities shall meet the following:

- Shall be subject to a conditional use grant.
- Lighting for outdoor recreational facilities including athletic fields, courts, or tracks shall be exempt from the lumens per acre limits of this section.
- All lighting installations shall be designed to achieve no greater than the minimal illuminance levels for the activity as recommended by the Illuminating Engineering Society of North America. (IESNA RP-6)
- Lighting trespass requirements are maintained.

The applicant received approval for a baseball field (Kapco Field) with lights in 2010. Shortly after the approval, the code was changed to require illuminated outdoor recreation facilities to go through the Conditional Use Grant process.

The applicant has stated that they held a meeting on December 2, 2025, to discuss the project with the neighborhood.

**Lighting Plan:**

The lighting plan shows a total of seven light poles, three poles dedicated to the softball field and three dedicated to the soccer field and one shared between both uses. The light poles are 70 feet in height which is lower than the lights at Kapco Field by 10 feet. In addition, the grade at both of the fields is approximately 10 feet lower than Kapco Field so they will appear shorter from a distance. The number of fixtures per pole varies with the shared pole (A1) having the most with 13 fixtures and A2 having the least with five fixtures. There are 58 fixtures all together. As a comparison, the poles at Kapco Field contain between eight and fifteen luminaries.

The NCAA best lighting practices and Illuminating Engineering Society of North America.

(IESNA RP-6) both state that soccer fields for intercollegiate play have a 50 foot-candle minimum average and softball have a minimum average foot-candle of 70 for infield and 50 foot-candle for outfield. According to the plan, the soccer field has an average foot-candle illumination of 52.71 and the softball field has an average foot-candle illumination of 52.96 for outfield and 70.73 for infield. The illumination exceeds the code by a small amount which is not discernable to the naked eye. Staff is supportive of these levels.

The code requires that lights trespass on to neighboring properties cannot to exceed 0.01 horizontal foot-candles. The proposal appears to comply with this requirement based on the photometric plan included in the report. As with Kapco Field, staff will add a condition that yearly testing of the light levels at the property line will be conducted.

The technology has improved since the lights were installed at Kapco Field which used the Light-Structure Green system. The old system featured metal halide technology with large round visors to help focus light down onto the field, reducing spill/glare. The proposed lights use the TLC for LED (Total Light Control) where each LED fixture has long, wedge shaped visors that hide the light source from neighboring properties. Each specific LED diode has an individual optic placed over it, completely controlling the light source and allows for total lighting cutoff which helps hides the light source and reduces or eliminates glare.

The applicant has provided a list (see attached) of facilities that use the same LED technology including local facilities like Menomonee Falls HS, Nicolet HS, Vincent HS, and Uihlein Soccer Park.

**Conditional Use Grant Findings:**

According to Section 3.05(1)(b) of the Zoning Code, the following findings shall be considered when analyzing a conditional use grant application:

1. **The proposed use should not endanger the public health, safety or general welfare of the city and the immediate neighborhood.**

The addition of permanent lights are the only proposed changes to the site. All other operations of the facility will remain the same. The proposed changes should not impact the public health, safety or general welfare of the immediate neighborhood.

2. **The proposed use should not injure the value of adjoining or abutting property.**

Staff is mindful of the potential impact of the lights on the neighboring residential properties and recommend similar conditions to those placed on KAPCO Field in 2010. These conditions will help mitigate the impact to the surrounding properties including:

- Lights shall be turned off by 11 PM or one half hour after a game if extra innings or overtime is required.
- At least 51% of the use of the field shall be by Concordia students or participants in intercollegiate events in which Concordia teams or students may participate.
- Use of lights for Concordia practices and intramural sports shall be limited to 9:00 PM.
- Non- Concordia events shall not be scheduled to start after 7:05 PM.

- No 7<sup>th</sup> inning shall start after 10:00 PM, and no new innings shall start after 11:00 PM.
- Staff shall check light and sound levels at least once a year for compliance with the Planning Commission approval.
- Any public address system used for the fields shall not exceed 65 dBA at the property line.
- The PA system shall only be used for Concordia events.

These conditions, along with the code trespass requirement and new technology of the lights, should mitigate any impacts to the value of the surrounding properties.

**3. The proposed use shall be harmonious or compatible with the area in which it is located.**

The surrounding area is primarily single family residential. The use of a university and its associated uses are permitted in the IPS zoning district. The conditional use grant is required due to the illumination of the outdoor recreational facilities. With the conditions listed above and the existing lighting code requirements, staff believes the proposed lights will be harmonious with the surrounding area.

**Staff Recommendation:**

Staff recommends **approval** of the conditional use grant based on the following condition(s):

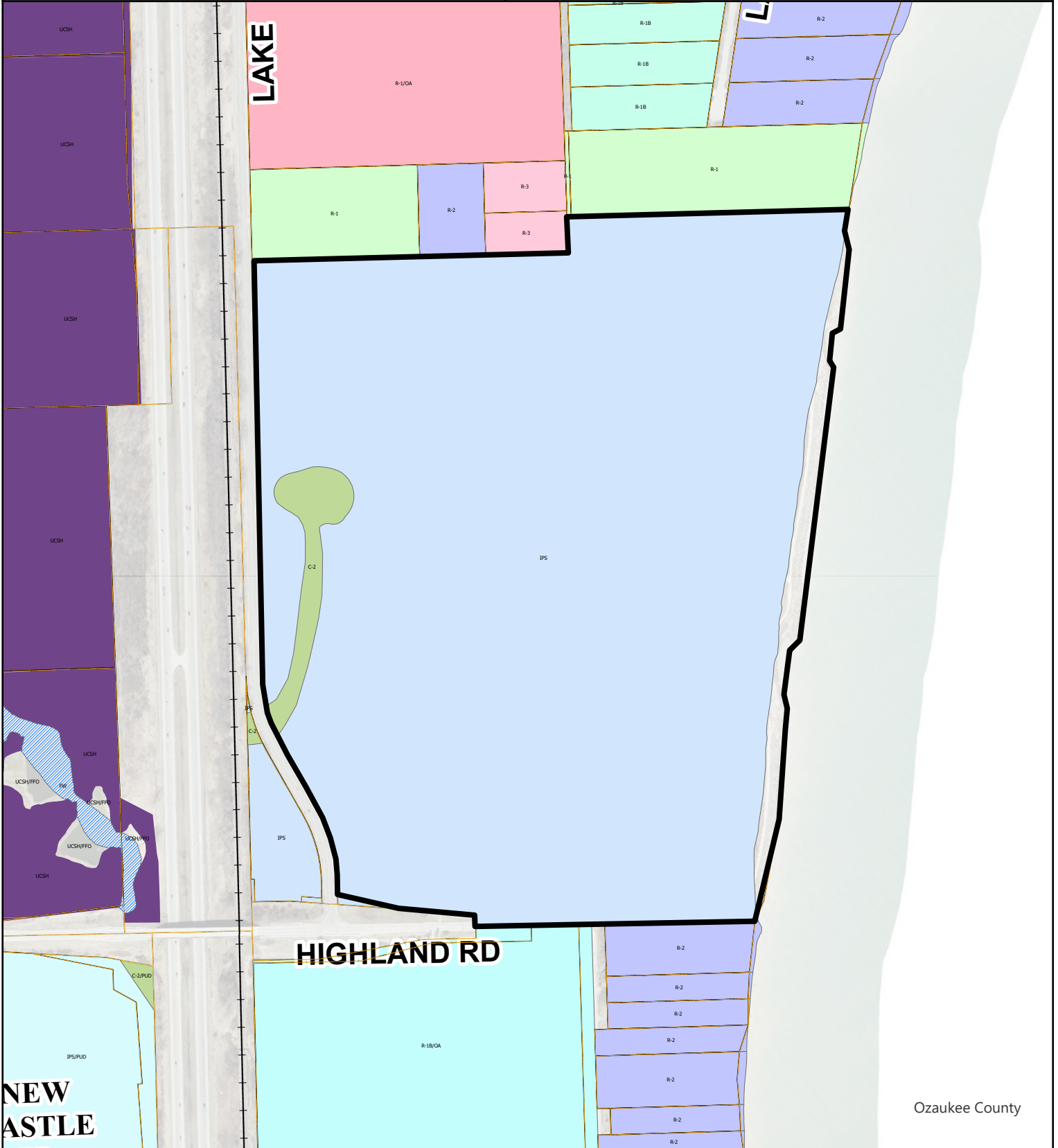
1. Lights shall be turned off by 11 PM or one half hour after a game if extra innings or overtime is required.
2. At least 51% of the use of the field shall be by Concordia students or participants in intercollegiate events in which Concordia teams or students may participate.
3. Use of lights for Concordia practices and intramural sports shall be limited to 9:00 PM.
4. Non- Concordia events shall not be scheduled to start after 7:00 PM.
5. No 7<sup>th</sup> inning shall start after 10:00 PM, and no new innings shall start after 11:00 PM.
6. No overtime shall start after 10:00 PM.
7. Staff shall check light and sound levels at least once a year for compliance with the Planning Commission approval.
8. Any public address system used for the fields shall not exceed 65 dBA at the property line.
9. The PA system shall only be used for Concordia events.
10. The maximum permitted illumination level at the property line shall be no greater than 0.01 horizontal footcandles.
11. The soccer field shall have a maximum average foot-candle illumination of 52.71 and the softball field shall have a maximum average foot-candle illumination of 52.96 for outfield and 70.73 for infield.

Attachments:

Packet Docs\_Concordia

# CONCORDIA UNIVERSITY

AC	Arrival Corridor	IPS	Institutional & Public Service
A-1	Agricultural Preserve	NC	Neighborhood Commercial
A-2	General Agricultural	OA	Agricultural Overlay
B-1	Neighborhood Business	PUD	Planned Unit Development Overlay
B-2	Community Business	P-1	Park & Recreation
B-3	Office & Service Business	R-1	Single-Family Residential (5 Ac. Min.)
B-4	Business Park	R-1B	Single-Family Residential (2.5 Ac. Min.)
B-5	Light Industrial	R-2	Single-Family Residential (2 Ac. Min.)
B-6	Rural Industrial	R-2B	Single-Family Residential (1.5 Ac. Min.)
B-7	Rural Business	R-3	Single-Family Residential (1 Ac. Min.)
C-1	Shoreland/Wetland Conservancy	R-4	Single-Family Residential (3/4 Ac. Min.)
C-2	General Conservancy	R-5	Single-Family Residential (1/2 Ac. Min.)
CGO	Central Growth Overlay	R-6	Single-Family Residential (4 DU/Ac.)
FFO	Flood Fringe Overlay	RM	Multi-Family Residential
FW	Floodway	TC	Town Center
IPS	Institutional & Public Service	TDR	Transfer of Development Rights



Ozaukee County

# CONCORDIA UNIVERSITY

W I S C O N S I N

*Inspiration in Action™*

10/10/2025

From: Dr. Rob Barnhill  
Director of Athletics  
Concordia University Wisconsin

To Mequon Planning Commission,

Please consider this packet to be an application for a conditional use grant to install outdoor athletic lighting poles and fixtures on our softball and soccer/lacrosse fields. The project scope includes trenching power to the facilities, erecting poles, fixtures and controls. The lighting plan calls for the installation of seven light poles and fifty-eight fixtures. The purpose is to light the playing surfaces for use after dark.

If approved, this conditional use grant would allow us to make use of these facilities in the evening hours. This is important to our intercollegiate athletic program as scheduling night games allows both the home and visiting student athletes to stay in class longer during the day thus avoiding missed class time. It also would allow us the flexibility to provide field usage times to intramurals, campus recreation, and strategic partners.

The light poles are seventy feet in height yet they would be below the trees that border the property. The poles in these facilities would be ten feet lower than those in Kapco park (baseball stadium) due to the softball and soccer/lacrosse facilities being downhill and below. The anticipated usage times would be in the Fall, early Spring and occasionally during Summer.

Thank you for your consideration.

Sincerely,



Dr. Rob Barnhill  
Director of Athletics  
Concordia University Wisconsin

MUSCO LIGHTING PROPOSAL

PREPARED FOR:

**Concordia University Soccer Softball**

Lighting Project  
Mequon, WI  
February 5, 2026

Project #171200

*Submitted by:*

**Musco Sports Lighting, LLC**

Attn: Amber Wittmer  
211 2nd Ave West  
Oskaloosa, Iowa 52577

Toll Free: 800-825-6020





# TABLE OF CONTENTS



- A. LIGHTING DESIGN**
- B. CONTROLS AND MONITORING**
- C. STRUCTURAL INFORMATION**
- D. WARRANTY**
- E. PERFORMANCE GUARANTEE**
- F. PRODUCT INFORMATION**
- G. PROJECT INSTALLATIONS**



## A. LIGHTING DESIGN





12/5/2025  
Concordia University Wisconsin  
Rob Barnhill  
12800 N Lake Shore Dr  
Mequon, WI 53097

Re: Lighting Design Standards for Concordia University Soccer & Softball Fields

Rob,

Musco Lighting used NCAA Best Lighting Practices as the standard for the Concordia University Wisconsin soccer and softball field lighting designs. NCAA has lighting recommendations published on their website, updated on 10/23/25. Below I have the standards from NCAA for softball and soccer standard intercollegiate play.

NCAA Best Lighting Practices: Softball Standard Intercollegiate Play  
Horizontal light levels: 70 footcandles infield / 50 footcandles outfield Horizontal uniformity: 2.0:1 infield, 2.5:1 outfield Grid spacing: 20 ft x 20 ft

NCAA Best Lighting Practices: Soccer Standard Intercollegiate Play  
Horizontal light levels: 50 footcandles Horizontal uniformity: 2.0:1 Grid spacing: 30 ft x 30 ft

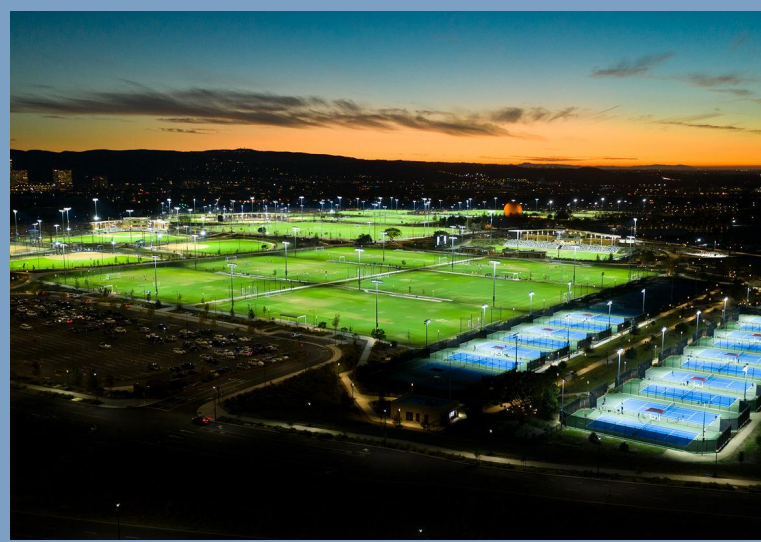
When reviewing the lighting design (171200B), you will find that it is designed to meet these NCAA standards. We also used NCAA pole location recommendations to reduce glare to players on-field.

Please reach out to Tim Prosek with any questions or clarification needed.

Thank you,

Tim Prosek  
Musco Lighting  
Wisconsin Sales Representative  
(641) 670-8107  
[tim.prosek@musco.com](mailto:tim.prosek@musco.com)

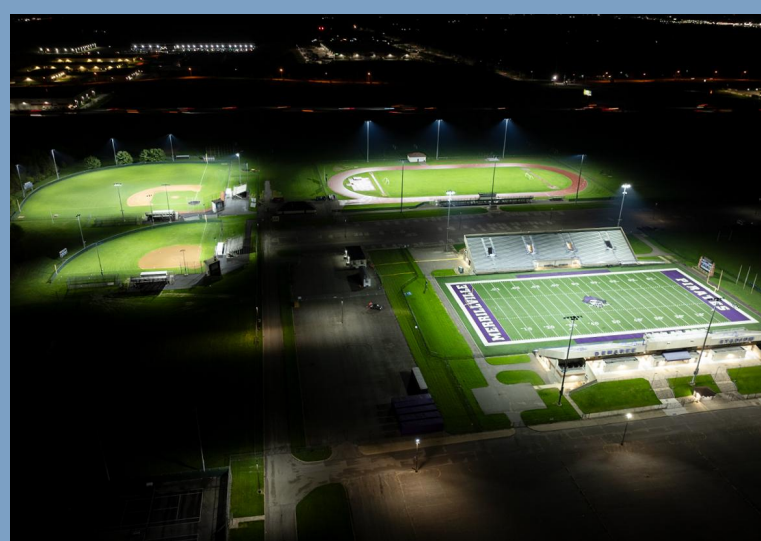
Curt Lamberson  
Musco Lighting  
Operational Engineering Manager  
(641) 676-2911  
[curt.lamberson@musco.com](mailto:curt.lamberson@musco.com)



Orange County Great Park, Irvine, California, USA



Mill Creek Regional Park, Statesboro, Georgia, USA



Merrillville High School, Merrillville, Indiana, USA



Central Park, Santa Clarita, California, USA

## Concordia University Soccer Softball

Mequon, WI



Sales Representative: Tim Prosek · Designed By: Sammi Yelkin · Design No.: 171200C · December 17, 2025

**LIGHTING SYSTEM**

Structure/Fixture Summary						
Structure ID	Structure Height	Fixt. Attachment Ht.	Fixture Qty	Fixture Type	Design Load	Circuit
A1	70'	70'	2	TLC-LED-1200	2.33 kW	A
		70'	2	TLC-LED-900	1.76 kW	A
		70'	8	TLC-LED-1500	11.19 kW	B
		16'	1	TLC-BT-575	0.57 kW	A
A2	70'	70'	2	TLC-LED-1200	2.33 kW	A
		70'	2	TLC-LED-900	1.76 kW	A
		16'	1	TLC-BT-575	0.57 kW	A
B1-B2	70'	70'	1	TLC-LED-1200	1.16 kW	A
		70'	5	TLC-LED-1500	6.98 kW	A
		16'	2	TLC-BT-575	1.15 kW	A
S1-S3	70'	70'	8	TLC-LED-1500	11.19 kW	B
<b>7</b>			<b>58</b>		<b>72.69 kW</b>	

\*Fixtures in this design have dimmed output values to meet design specific needs.

Circuit Summary			
Circuit	Description	Design Load	Fixture Qty
A	Softball	27.93 kW	26
B	Soccer	44.76 kW	32

Fixture Type Summary								
Type	Circuit	Source	Avg. Wattage	Avg. Lumens	L90	L80	L70	Quantity
TLC-BT-575	A	LED 5700K - 75 CRI	575W	52,651	>120,000	>120,000	>120,000	6
TLC-LED-1200	A	LED 5700K - 75 CRI	1165W	152,984	>120,000	>120,000	>120,000	6
TLC-LED-1500	A	LED 5700K - 75 CRI	1397W	181,286	>120,000	>120,000	>120,000	10
TLC-LED-1500	B	LED 5700K - 75 CRI	1398W	181,922	>120,000	>120,000	>120,000	32
TLC-LED-900	A	LED 5700K - 75 CRI	880W	99,368	>120,000	>120,000	>120,000	4

Single Fixture Amperage Draw Chart							
Driver Specifications (.90 min power factor)	Line Amperage Per Fixture (max draw)						
	Single Phase Voltage	208 (60)	220 (60)	240 (60)	277 (60)	347 (60)	380 (60)
TLC-LED-1500	8.4	7.9	7.3	6.3	5.0	4.6	3.6
TLC-LED-1200	6.9	6.5	6.0	5.2	4.2	3.8	3.0
TLC-LED-900	5.2	4.9	4.5	3.9	3.1	2.9	2.3
TLC-BT-575	3.3	3.2	2.9	2.5	2.0	1.8	1.5

\*Amp draw based on 100% fixture output, consult design specific datasheet for adjusted amperage draw chart

**Light Level Summary**

Calculation Grid Summary								
Grid Name	Calculation Metric	Illumination Ave					Circuits	Fixture Qty
		Ave	Min	Max	Max/Min	Ave/Min		
Soccer	Horizontal Illuminance	52.71	39	64	1.64	1.35	B	32
Softball (Infield)	Horizontal Illuminance	70.73	61	84	1.37	1.16	A	26
Softball (Outfield)	Horizontal Illuminance	52.96	41	74	1.81	1.30	A	26

**Guaranteed Performance:** The ILLUMINATION described above is guaranteed per your Musco Warranty document.

**Field Measurements:** Individual field measurements may vary from computer-calculated predictions.

**Electrical System Requirements:** Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

**Installation Requirements:** Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



**Equipment List For Areas Shown**

Structure				Fixtures				
QTY	STRUCTURE ID	SIZE	GRADE ELEVATION	ABOVE FIELD LEVEL	FIXTURE TYPE	QTY/POLE	THIS GRID	OTHER GRIDS
1	A1	70'	-	70'	TLC-LED-1200	2	2	0
				70'	TLC-LED-1500	8*	0	8
				70'	TLC-LED-900	2	2	0
				15.5'	TLC-BT-575	1	1	0
1	A2	70'	-	70'	TLC-LED-1200	2	2	0
				70'	TLC-LED-900	2	2	0
				15.5'	TLC-BT-575	1	1	0
				70'	TLC-LED-1200	1	1	0
2	B1-B2	70'	-	70'	TLC-LED-1200	1	1	0
				70'	TLC-LED-1500	5	5	0
				15.5'	TLC-BT-575	2	2	0
				Totals				

Above Field Level is height of fixtures above area shown

\*This structure utilizes a back-to-back mounting configuration



**Concordia University Soccer Softball**

Mequon, WI

Grid Summary	
Name:	Softball
Size:	200'/200'/200' - basepath 60'
Spacing:	20.0' x 20.0'
Height:	3.0' above grade

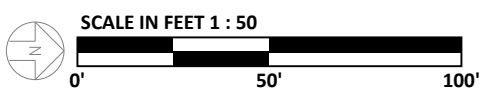
	MAINTAINED HORIZONTAL FOOTCANDLES	
	Infield	Outfield
<b>Guaranteed Average:</b>	<b>70</b>	<b>50</b>
Scan Average:	70.73	52.96
Maximum:	84	74
Minimum:	61	41
Avg/Min:	1.16	1.30
<b>Guaranteed Max/Min:</b>	<b>2</b>	<b>2.5</b>
Max/Min:	1.37	1.81
UG (adjacent pts):	1.22	1.30
CU:	0.65	
CV:	0.10	0.16
No. of Points:	25	73
<b>FIXTURE INFORMATION</b>		
Applied Circuits:	A	
No. of Fixtures:	26	
Total Load:	27.93 kW	

**Guaranteed Performance:** The ILLUMINATION described above is guaranteed per your Musco Warranty document.

**Field Measurements:** Individual field measurements may vary from computer-calculated predictions.

**Electrical System Requirements:** Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

**Installation Requirements:** Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



**Equipment List For Areas Shown**

Structure				Fixtures				
QTY	STRUCTURE ID	SIZE	GRADE ELEVATION	ABOVE FIELD LEVEL	FIXTURE TYPE	QTY/POLE	THIS GRID	OTHER GRIDS
1	A1	70'	-	70'	TLC-LED-1200	2	2	0
				70'	TLC-LED-1500	8*	0	8
				70'	TLC-LED-900	2	2	0
				15.5'	TLC-BT-575	1	1	0
1	A2	70'	-	70'	TLC-LED-1200	2	2	0
				70'	TLC-LED-900	2	2	0
				15.5'	TLC-BT-575	1	1	0
				70'	TLC-LED-1200	1	1	0
2	B1-B2	70'	-	70'	TLC-LED-1500	5	5	0
				70'	TLC-LED-1500	5	5	0
				15.5'	TLC-BT-575	2	2	0
				Totals			34	26

Above Field Level is height of fixtures above area shown  
 \*This structure utilizes a back-to-back mounting configuration



**Concordia University Soccer Softball**

Mequon, WI

Grid Summary	
Name:	Bullpen 1
Size:	200'/200'/200' - basepath 60'
Spacing:	10.0' x 10.0'
Height:	3.0' above grade

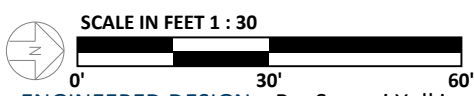
Illumination Summary	
MAINTAINED HORIZONTAL FOOTCANDLES	
Entire Grid	Scan Average: <b>44.95</b>
	Maximum: 53
	Minimum: 31
	Avg/Min: 1.44
	Max/Min: <b>1.69</b>
UG (adjacent pts):	1.23
CU:	0.01
CV:	0.19
No. of Points:	6
FIXTURE INFORMATION	
Applied Circuits:	A
No. of Fixtures:	26
Total Load:	27.93 kW

**Guaranteed Performance:** The ILLUMINATION described above is guaranteed per your Musco Warranty document.

**Field Measurements:** Individual field measurements may vary from computer-calculated predictions.

**Electrical System Requirements:** Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

**Installation Requirements:** Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



**Equipment List For Areas Shown**

Structure				Fixtures				
QTY	STRUCTURE ID	SIZE	GRADE ELEVATION	ABOVE FIELD LEVEL	FIXTURE TYPE	QTY/POLE	THIS GRID	OTHER GRIDS
1	A1	70'	-	70'	TLC-LED-1200	2	2	0
				70'	TLC-LED-1500	8*	0	8
				15.5'	TLC-BT-575	1	1	0
1	A2	70'	-	70'	TLC-LED-1200	2	2	0
				70'	TLC-LED-900	2	2	0
				15.5'	TLC-BT-575	1	1	0
2	B1-B2	70'	-	70'	TLC-LED-1200	1	1	0
				70'	TLC-LED-1500	5	5	0
				15.5'	TLC-BT-575	2	2	0
4	Totals					34	26	8

Above Field Level is height of fixtures above area shown

\*This structure utilizes a back-to-back mounting configuration



**Concordia University Soccer Softball**

Mequon, WI

Grid Summary	
Name:	Bullpen 2
Size:	200'/200'/200' - basepath 60'
Spacing:	10.0' x 10.0'
Height:	3.0' above grade

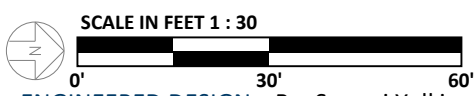
Illumination Summary	
MAINTAINED HORIZONTAL FOOTCANDLES	
Entire Grid	
Scan Average:	46.83
Maximum:	55
Minimum:	34
Avg/Min:	1.40
Max/Min:	1.64
UG (adjacent pts):	1.20
CU:	0.01
CV:	0.18
No. of Points:	6
FIXTURE INFORMATION	
Applied Circuits:	A
No. of Fixtures:	26
Total Load:	27.93 kW

**Guaranteed Performance:** The ILLUMINATION described above is guaranteed per your Musco Warranty document.

**Field Measurements:** Individual field measurements may vary from computer-calculated predictions.

**Electrical System Requirements:** Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

**Installation Requirements:** Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



**Equipment List For Areas Shown**

Structure				Fixtures				
QTY	STRUCTURE ID	SIZE	GRADE ELEVATION	ABOVE FIELD LEVEL	FIXTURE TYPE	QTY/POLE	THIS GRID	OTHER GRIDS
1	A1	70'	-	70'	TLC-LED-1200	2	0	2
				70'	TLC-LED-1500	8*	8	0
				70'	TLC-LED-900	2	0	2
				15.5'	TLC-BT-575	1	0	1
3	S1-S3	70'	-	70'	TLC-LED-1500	8	8	0
4	Totals					37	32	5

Above Field Level is height of fixtures above area shown  
 \*This structure utilizes a back-to-back mounting configuration

**Concordia University Soccer Softball**

Mequon, WI

Grid Summary	
Name:	Soccer
Size:	360' x 225'
Spacing:	30.0' x 30.0'
Height:	3.0' above grade

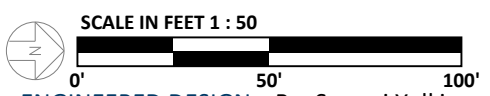
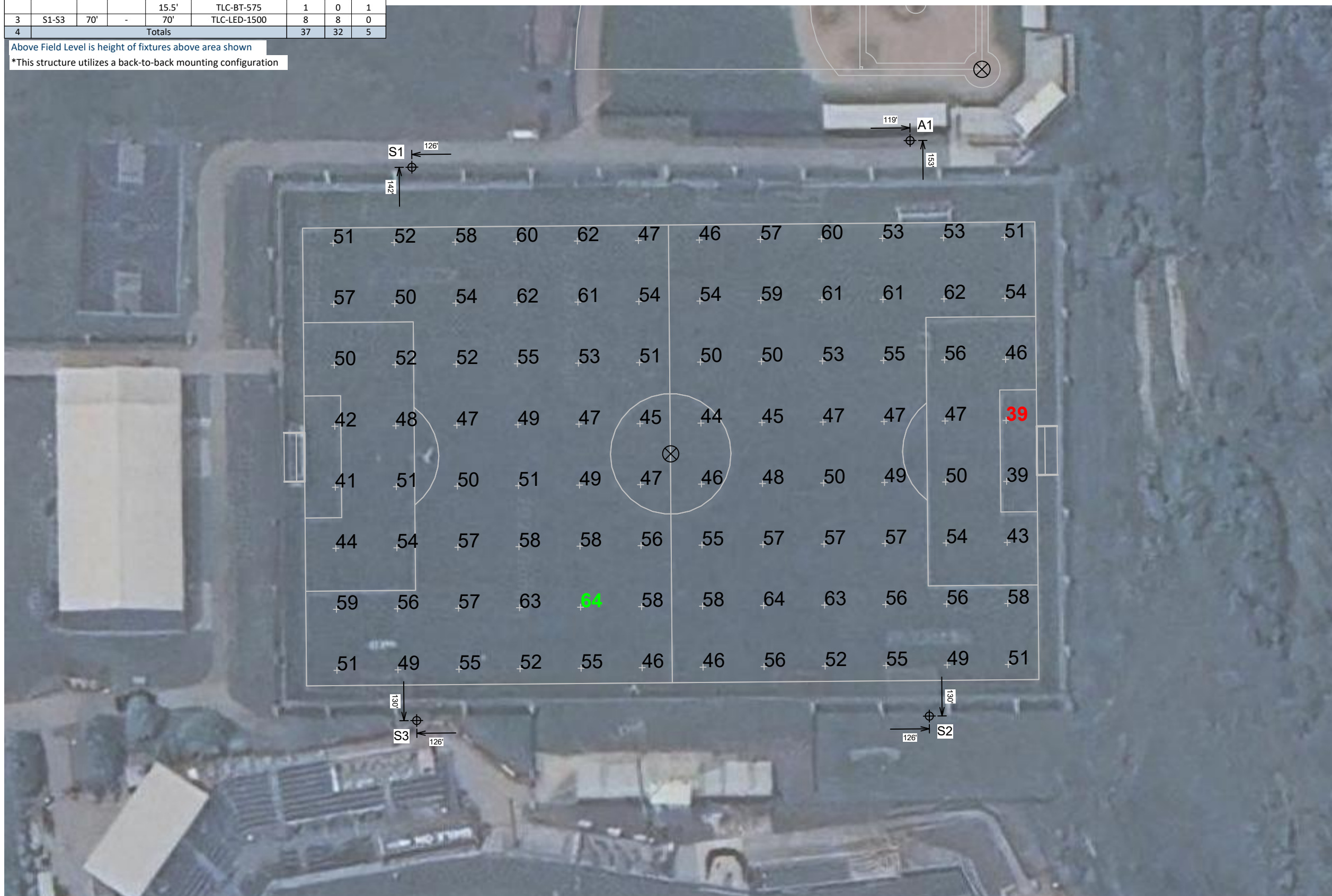
Illumination Summary	
MAINTAINED HORIZONTAL FOOTCANDLES	
Entire Grid	
<b>Guaranteed Average:</b>	<b>50</b>
Scan Average:	52.71
Maximum:	64
Minimum:	39
Avg/Min:	1.35
<b>Guaranteed Max/Min:</b>	<b>2</b>
Max/Min:	1.64
UG (adjacent pts):	1.35
CU:	0.78
CV:	0.11
No. of Points:	96
FIXTURE INFORMATION	
Applied Circuits:	B
<b>No. of Fixtures:</b>	<b>32</b>
Total Load:	44.76 kW

**Guaranteed Performance:** The ILLUMINATION described above is guaranteed per your Musco Warranty document.

**Field Measurements:** Individual field measurements may vary from computer-calculated predictions.

**Electrical System Requirements:** Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

**Installation Requirements:** Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



**Concordia University Soccer Softball**

Mequon, WI

**Grid Summary**

Name: 150ft Spill Line at 3ft.  
 Spacing: 30.0'  
 Height: 3.0' above grade

**Illumination Summary**

	INITIAL HORIZONTAL FOOTCANDLES
Entire Grid	
Scan Average:	<b>0.0238</b>
Maximum:	0.09
Minimum:	0.00
No. of Points:	84
<b>FIXTURE INFORMATION</b>	
Applied Circuits:	A,B
No. of Fixtures:	58
Total Load:	72.69 kW

**Guaranteed Performance:** The ILLUMINATION described above is guaranteed per your Musco Warranty document.

**Field Measurements:** Individual field measurements may vary from computer-calculated predictions.

**Electrical System Requirements:** Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

**Installation Requirements:** Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



**Concordia University Soccer Softball**

Mequon, WI

**Grid Summary**

Name: 150ft Spill Line at 5ft.  
 Spacing: 30.0'  
 Height: 5.0' above grade

**Illumination Summary**

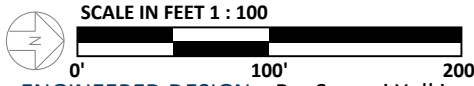
	INITIAL CANDELA (PER FIXTURE)
Entire Grid	
Scan Average:	<b>1937.8274</b>
Maximum:	8880.44
Minimum:	0.69
No. of Points:	84
<b>FIXTURE INFORMATION</b>	
Applied Circuits:	A,B
No. of Fixtures:	58
Total Load:	72.69 kW

**Guaranteed Performance:** The ILLUMINATION described above is guaranteed per your Musco Warranty document.

**Field Measurements:** Individual field measurements may vary from computer-calculated predictions.

**Electrical System Requirements:** Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

**Installation Requirements:** Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



# Concordia University Soccer Softball

Mequon, WI

## Grid Summary

Name: Blanket Grid  
 Size: 360' x 225'  
 Spacing: 10.0' x 10.0'  
 Height: 3.0' above grade

## Illumination Summary

MAINTAINED HORIZONTAL FOOTCANDLES	
Scan Average:	11.87
Maximum:	84
Minimum:	0
No. of Points:	7470
<b>FIXTURE INFORMATION</b>	
Applied Circuits:	A,B
No. of Fixtures:	58
Total Load:	72.69 kW

**Guaranteed Performance:** The ILLUMINATION described above is guaranteed per your Musco Warranty document.

**Field Measurements:** Individual field measurements may vary from computer-calculated predictions.

**Electrical System Requirements:** Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

**Installation Requirements:** Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.



NOTES: BLUE CONTOUR LINE REPRESENTS OFC.



Not to be reproduced in whole or part without the written consent of Musco Sports Lighting, LLC.  
 ©1981, 2025 Musco Sports Lighting, LLC.



Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗

# Concordia University Soccer Softball

Mequon, WI

## Equipment Layout

**INCLUDES:**  
 · Soccer  
 · Softball

**Electrical System Requirements:** Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

**Installation Requirements:** Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

## Equipment List For Areas Shown

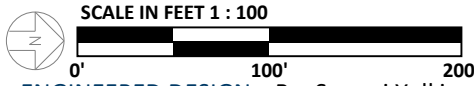
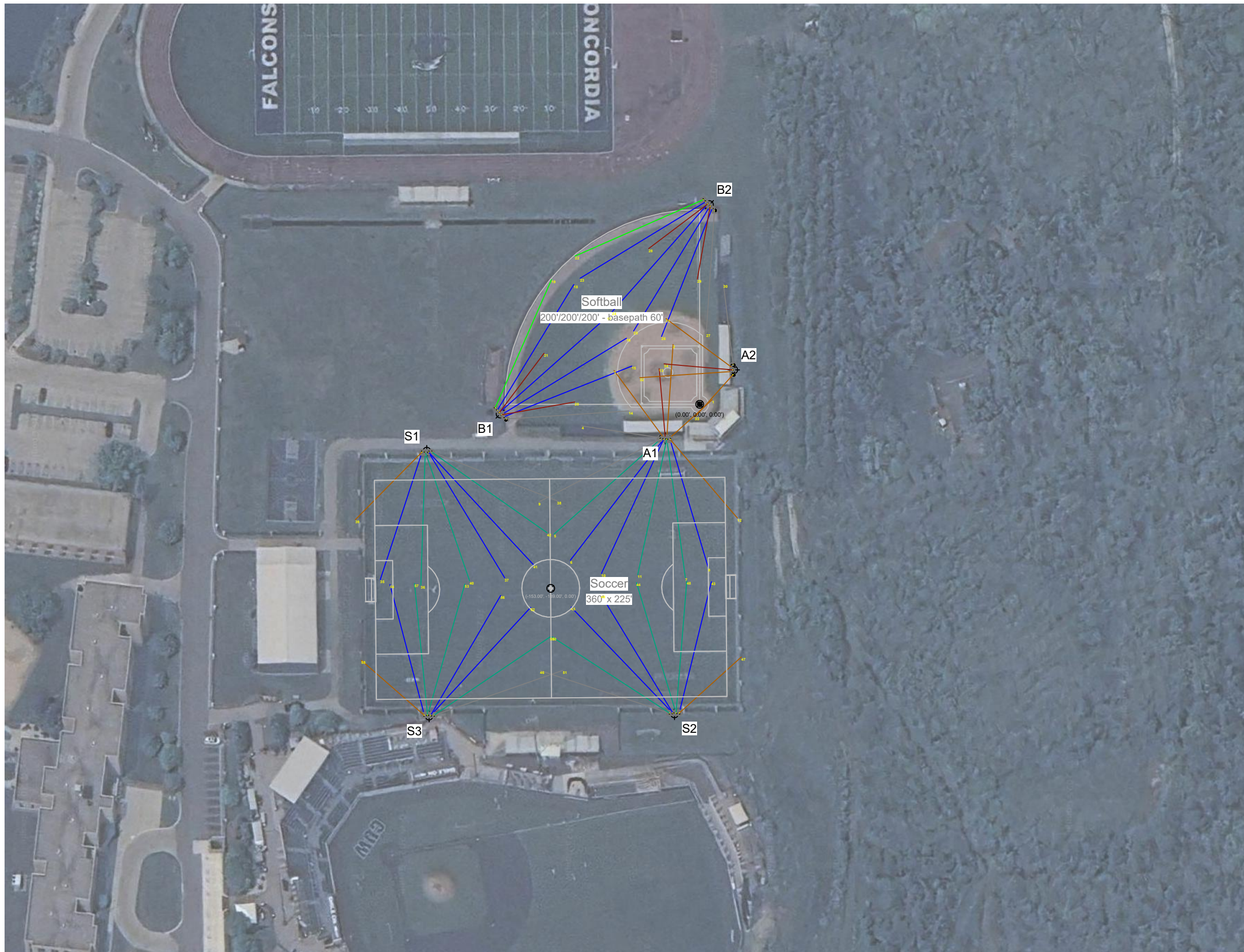
QTY	Structure			Fixtures		QTY/POLE
	STRUCTURE ID	SIZE	GLOBAL ELEVATION	ABOVE GLOBAL LEVEL	FIXTURE TYPE	
1	A1	70'	-	70'	TLC-LED-1200	2
				70'	TLC-LED-1500	8*
				70'	TLC-LED-900	2
				15.5'	TLC-BT-575	1
1	A2	70'	-	70'	TLC-LED-1200	2
				70'	TLC-LED-900	2
				15.5'	TLC-BT-575	1
2	B1-B2	70'	-	70'	TLC-LED-1200	1
				70'	TLC-LED-1500	5
				15.5'	TLC-BT-575	2
3	S1-S3	70'	-	70'	TLC-LED-1500	8
7	Totals					58

\*This structure utilizes a back-to-back mounting configuration  
 Above Global Level is height of fixtures above design (0,0,0)

## Single Fixture Amperage Draw Chart

Driver Specifications (.90 min power factor)	Line Amperage Per Fixture (max draw)						
Single Phase Voltage	208 (60)	220 (60)	240 (60)	277 (60)	347 (60)	380 (60)	480 (60)
TLC-LED-1500	8.4	7.9	7.3	6.3	5.0	4.6	3.6
TLC-LED-1200	6.9	6.5	6.0	5.2	4.2	3.8	3.0
TLC-LED-900	5.2	4.9	4.5	3.9	3.1	2.9	2.3
TLC-BT-575	3.3	3.2	2.9	2.5	2.0	1.8	1.5

\*Amp draw based on 100% fixture output, consult design specific datasheet for adjusted amperage draw chart



Pole location(s) ⊕ dimensions are relative to 0,0 reference point(s) ⊗



# Concordia University Soccer Softball

Mequon, WI

## Glare Impact

### Summary

Map indicates the maximum candela an observer would see when facing the brightest light source from any direction.

A well-designed lighting system controls light to provide maximum useful on-field illumination with minimal destructive off-site glare.

## Glare

### Candela Levels

#### High Glare: 150,000 or more candela

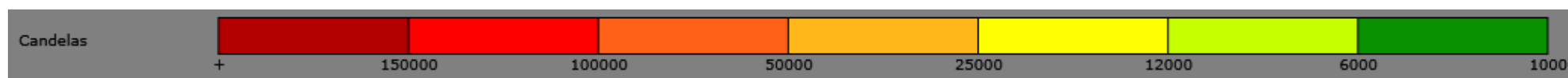
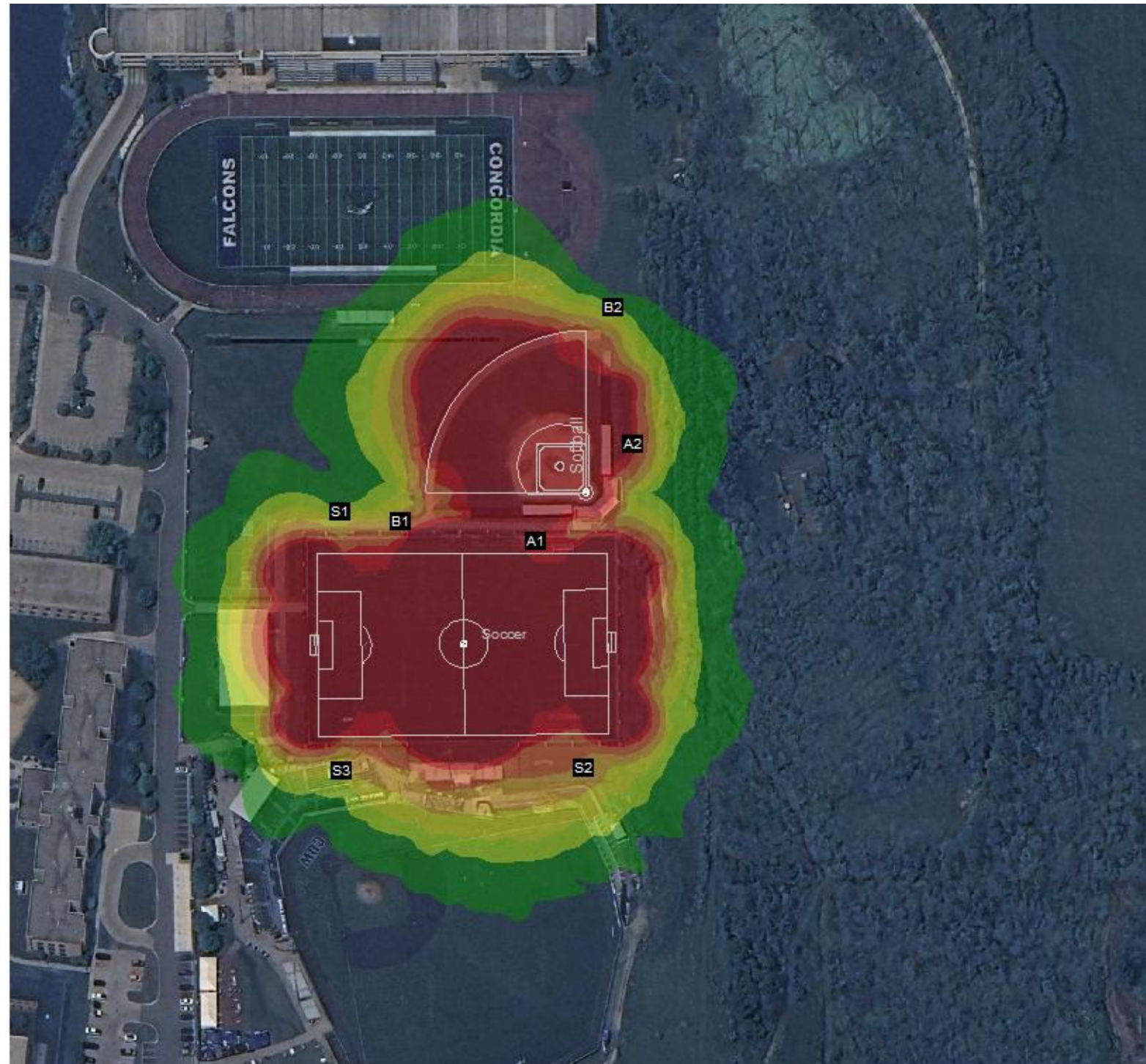
Should only occur on or very near the lit area where the light source is in direct view. Care must be taken to minimize high glare zones.

#### Significant Glare: 25,000 to 75,000 candela

Equivalent to high beam headlights of a car.

#### Minimal to No Glare: 500 or less candela

Equivalent to 100W incandescent light bulb.



# Concordia University Soccer Softball

Mequon, WI

## Equipment Layout

**INCLUDES:**  
 · Soccer  
 · Softball

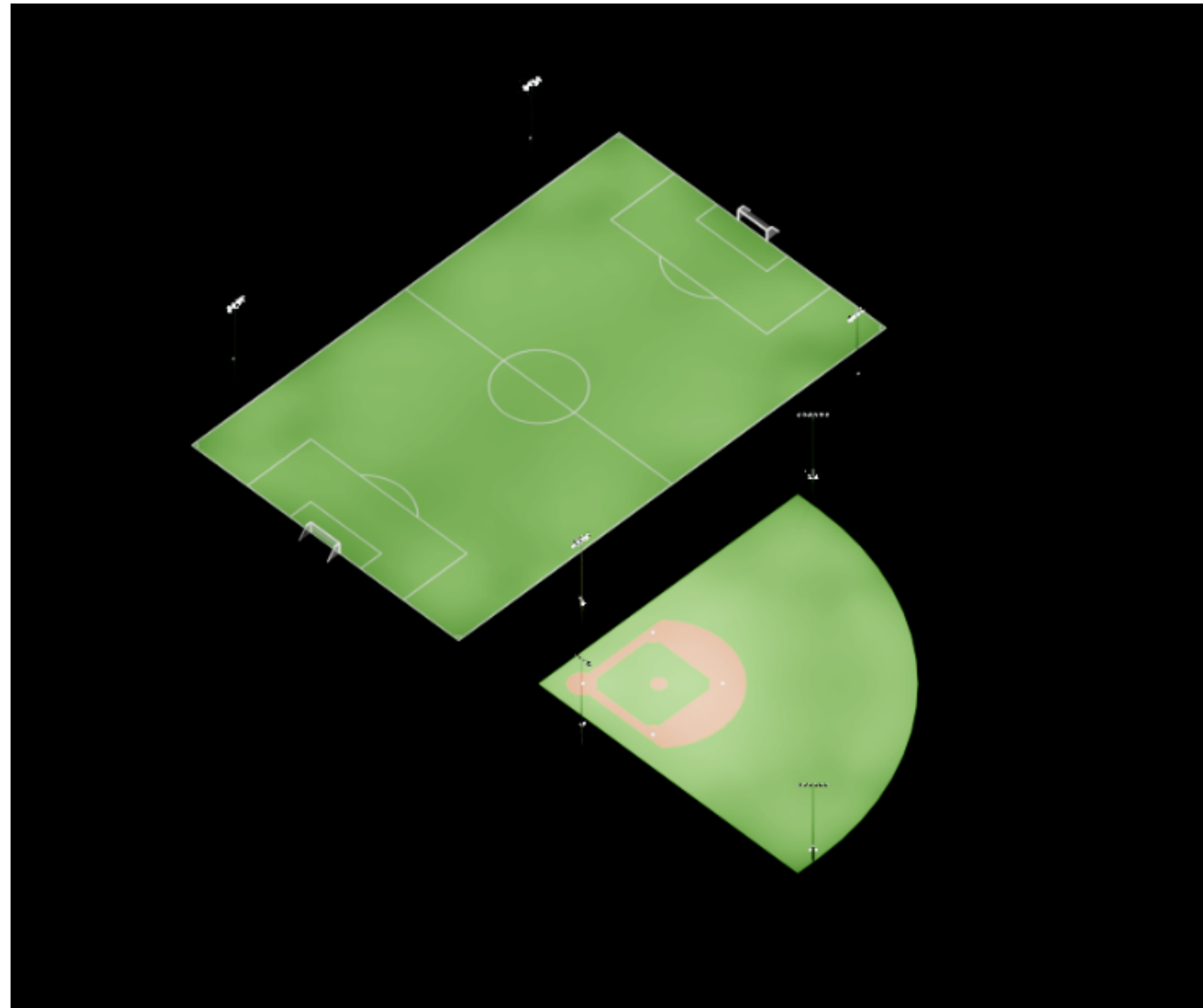
**Electrical System Requirements:** Refer to Amperage Draw Chart and/or the "Musco Control System Summary" for electrical sizing.

**Installation Requirements:** Results assume ± 3% nominal voltage at line side of the driver and structures located within 3 feet (1m) of design locations.

### Single Fixture Amperage Draw Chart

Driver Specifications (.90 min power factor)	Line Amperage Per Fixture (max draw)						
	208 (60)	220 (60)	240 (60)	277 (60)	347 (60)	380 (60)	480 (60)
Single Phase Voltage	208 (60)	220 (60)	240 (60)	277 (60)	347 (60)	380 (60)	480 (60)
TLC-LED-1500	8.4	7.9	7.3	6.3	5.0	4.6	3.6
TLC-LED-1200	6.9	6.5	6.0	5.2	4.2	3.8	3.0
TLC-LED-900	5.2	4.9	4.5	3.9	3.1	2.9	2.3
TLC-BT-575	3.3	3.2	2.9	2.5	2.0	1.8	1.5

\*Amp draw based on 100% fixture output, consult design specific datasheet for adjusted amperage draw chart



Not to be reproduced in whole or part without the written consent of Musco Sports Lighting, LLC.



## **B. CONTROLS AND MONITORING**

# System Requirements: Control System Summary

Project Name: Concordia University Soccer Softball | Project #: 171200

Control System ID: 1 of 1

Distribution Panel Location/ID: Service 1

## Project Information

### Control System

Control System ID: 1 of 1

Control System Type: Control-Link® Control and Monitoring System

Communication Type: PowerLine-ST

### Project Notes:

### Power Requirements

#### Control cabinet(s):

Control voltage (phase to neutral) 120/60

VA loading - Inrush 2533.0

VA loading - Sealed 284.0

#### Lighting Circuits:

Voltage/Hertz/Phase 480/60/3

### Equipment Listing

Description	Qty	Size (in)
Control and monitoring cabinet - primary	1	24 X 72
Contactors, 30 amperes	8	-
Off/On/Auto switches	2	-

### Important Notes:

1. Please confirm that the lighting circuit voltage listed above is accurate for this facility. This is the voltage/phase being connected and utilized at each lighting pole's electrical components enclosure disconnect. Inaccurate voltage/phase can result in additional costs and delays. Contact your Musco sales representative to confirm this item.
2. In a 3 phase design, all 3 phases are to be run to each pole location. Musco's single phase luminaires come pre-wired to utilize all 3 phases across the entire facility.
3. One contactor is required for each circuit at each pole location. Contactors are 3 pole and 100% rated for the published continuous load.
4. If the lighting system will be fed from more than one distribution location, additional equipment may be required. Contact your Musco sales representative.
5. Size overcurrent devices using the full load amps column of the Circuit Summary by Switch chart (Minimum power factor is 0.9). Size conduit per code unless otherwise specified as larger to allow for harness connectors.
6. Avoid use of in-ground junction/pull boxes when possible. If used, the following best practices must be followed:
  - Underground handholes (pull boxes) must be supported to prevent settling. Boxes buried directly in soil, without support, are not allowed.
  - Use polymer concrete lids marked with ELECTRIC for underground handholes. Steel lids are not allowed.
  - Avoid underground connections when possible. If used, all wire connectors must be UL listed for Wet Locations to prevent leakage current.
7. Control power wiring must be in separate conduit from line or load power wiring. Communication cables must be in separate conduit from any power wiring.
8. Test wire per ANSI/NETA ATS-2021. Wires with insulation resistance less than 100 MOhms, in water-filled conduit, must be replaced.
9. Refer to Installation Instructions for more details on equipment information and the installation requirements.

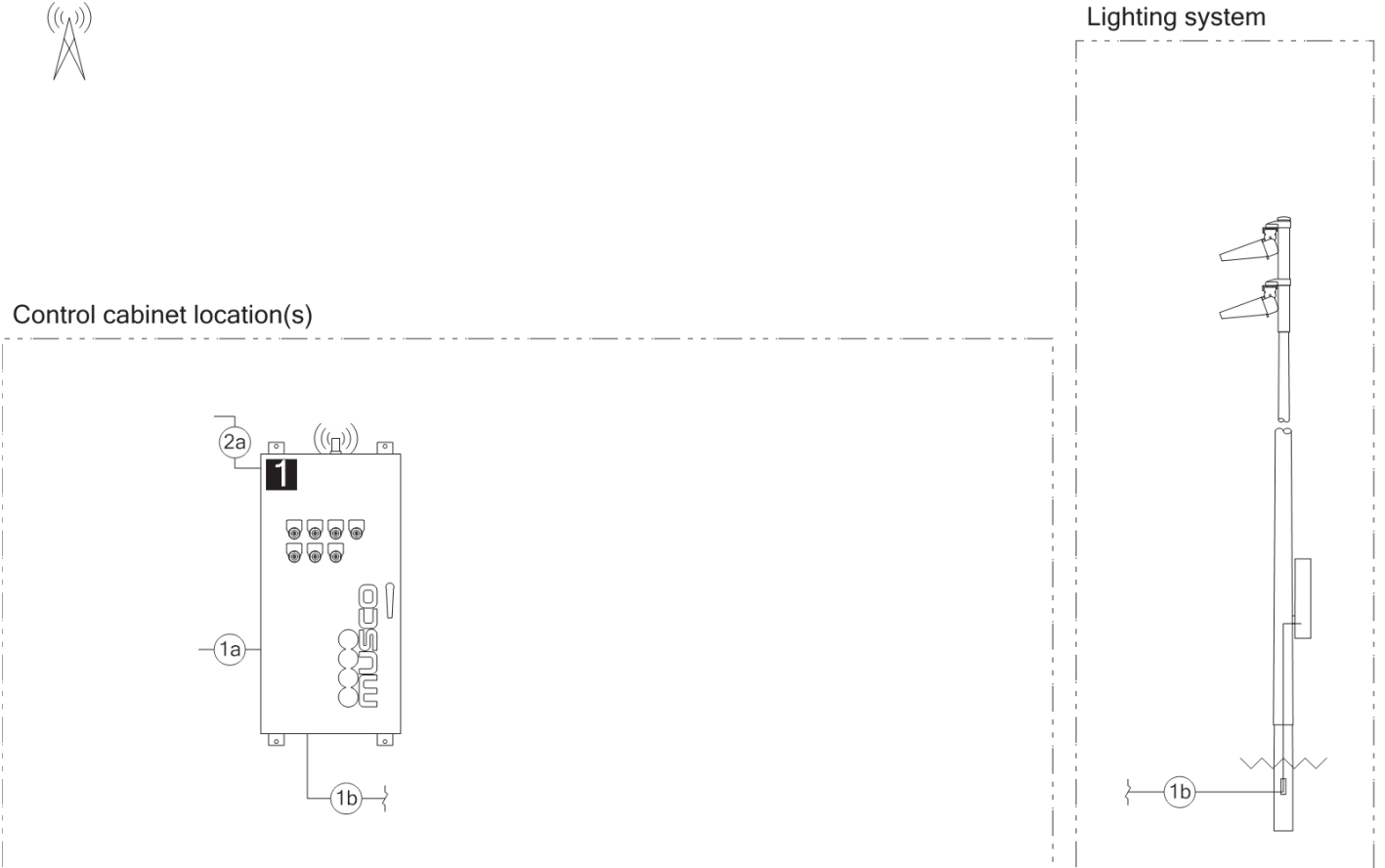
# System Requirements: Control System Summary

Project Name: Concordia University Soccer Softball | Project #: 171200

Control System ID: 1 of 1

Distribution Panel Location/ID: Service 1

## Equipment Layout and Connection Details



### Connection Details

ID	Description
1a	Line power to contactors, and equipment grounding conductor. Requires one circuit per contactor, size wiring per load and voltage drop.
1b	Load power from contactors, and equipment grounding conductor. Requires one circuit per contactor, size wiring per load and voltage drop.
2a	Control power with equipment ground to control cabinet. Requires dedicated 20 A circuit. Provide transformer if control voltage not present.

### Equipment

ID	Description
1	Control and monitoring cabinet - primary

# System Requirements: Control System Summary

Project Name: Concordia University Soccer Softball | Project #: 171200

Control System ID: 1 of 1

Distribution Panel Location/ID: Service 1

## Circuit Summary

### Switching Schedule

Field/Switch Description	Switches
Softball	1
Soccer	2

### Control Module ID: 1

### Lighting Circuit Voltage: 480/60/3

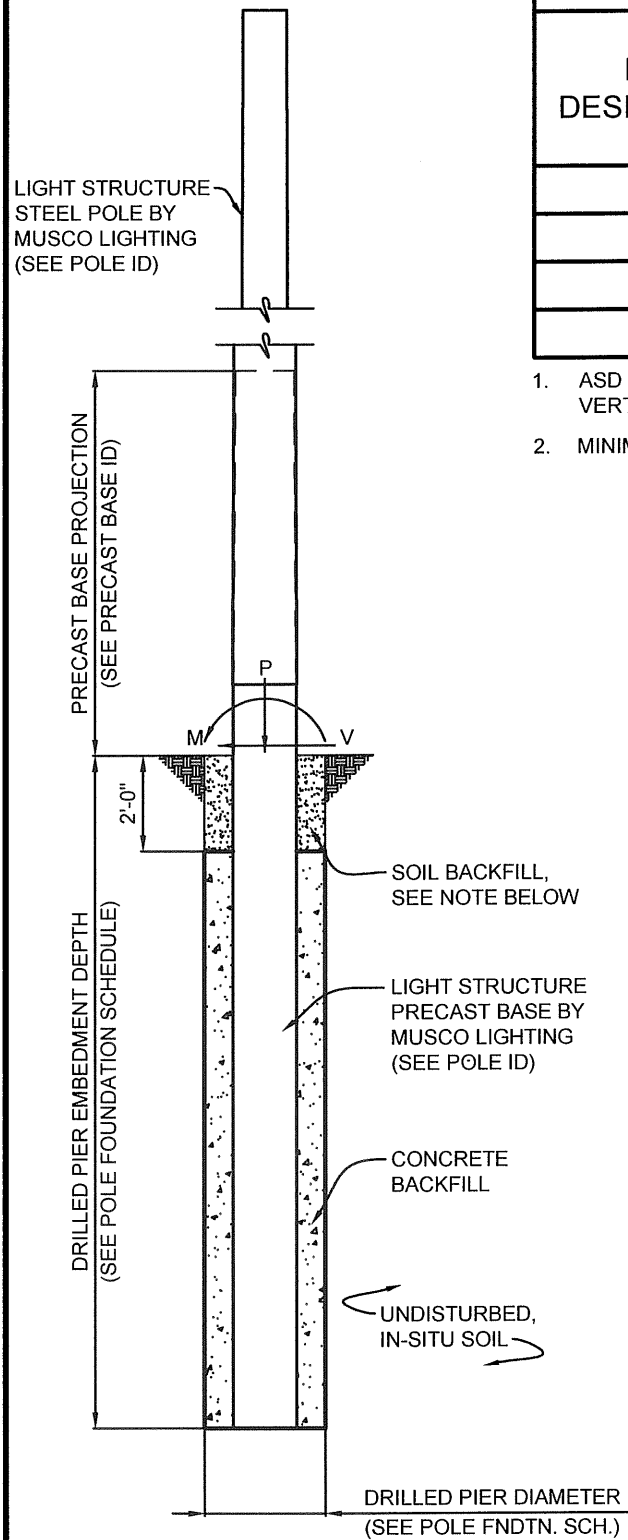
### Circuit Summary by Switch

Switch	Zone Description	Pole ID	Qty of Fixtures	Full load amperes	Contactor Size (Amps)	Cabinet #	Contactor ID
1	Softball	A1	5	7.77	30	1	C1
	Softball	A2	5	7.77	30	1	C2
	Softball	B1	8	15.09	30	1	C3
	Softball	B2	8	15.09	30	1	C4
2	Soccer	A1	8	18.86	30	1	C5
	Soccer	S1	8	18.86	30	1	C6
	Soccer	S2	8	18.86	30	1	C7
	Soccer	S3	8	18.86	30	1	C8



## C. STRUCTURAL INFORMATION





**POLE FOUNDATION ELEV.**

SCALE: NOT TO SCALE

SOIL BACKFILL NOTE:  
THE TOP TWO FEET OF ANNULUS SHALL BE BACKFILLED WITH SOIL, WITH A CLASSIFICATION OF CLASS 5 (TABLE 1806.2) OR BETTER.

POLE FOUNDATION SCHEDULE						
POLE DESIGNATION	FORCES (1.)			DRILLED PIER		
	MOMENT (M) FT-LBS	SHEAR (V) LBS	VERTICAL (P) LBS	DIAMETER INCHES	EMBEDMENT DEPTH	CONCRETE BACKFILL YD <sup>3</sup> (2.)
A1	103,214	2,111	3,466	30	16'-0"	1.7
A2	51,350	1,171	1,417	30	12'-0"	1.5
B1, B2	75,270	1,637	2,310	30	14'-0"	1.6
S1 - S3	82,387	1,686	2,355	30	14'-0"	1.6

1. ASD LOAD COMBINATION D + 0.6W. VERTICAL FORCE IS WEIGHT OF DRESSED POLE (DOES NOT INCLUDE PRECAST BASE WEIGHT).
2. MINIMUM CONCRETE BACKFILL VOLUME, SITE CONDITIONS MAY REQUIRE ADDITIONAL BACKFILL.

PRECAST BASE IDENTIFICATION					
PRECAST BASE TYPE	PRECAST BASE WEIGHT	PRECAST BASE LENGTH	PROJECTION ABOVE GRADE	STANDARD EMBEDMENT	OUTSIDE DIAMETER
3B	2,470 LBS	20'-0"	8'-0"	12'-0"	13.38"
4B	3,490 LBS	22'-0"	8'-0"	14'-0"	15.75"
5B	4,580 LBS	23'-11"	7'-11"	16'-0"	18.25"

POLE IDENTIFICATION				
POLE DESIGNATION	POLE TYPE	PRECAST BASE TYPE	FIXTURE CONFIGURATION (FIX. PER XARM)	FIXTURE AND ACCESSORIES EPA (FT <sup>2</sup> )
A1	LSS70D	5B	13 (4) / (4+4)	34.6
A2	LSS70A	3B	5 (4)	13.1
B1, B2	LSS70C	4B	8 (6)	22.6
S1 - S3	LSS70C	4B	8 (4+4)	22.6

- POLES A1 & A2 HAVE (1) MUSCO LED FIXTURE AT 15'-6" AGL, INCLUDED ABOVE.
- POLES B1 & B2 HAVE (2) MUSCO LED FIXTURES AT 15'-6" AGL, INCLUDED ABOVE.

**DESIGN NOTES**

**DESIGN PARAMETERS:**  
WIND:  $V_{ult} = 115$  MPH,  $V_{asd} = 89$  MPH ( EXPOSURE C, RISK CATEGORY III ) PER INTERNATIONAL BUILDING CODE, 2021 EDITION (ASCE 7-16).

**GEOTECHNICAL PARAMETERS:**  
ALLOWABLE END BEARING SOIL PRESSURE: 3,000 PSF  
ALLOWABLE LATERAL SOIL BEARING PRESSURE:  
NEGLECT (GRADE TO -2'-0"); 100 PSF/FT (-2'-0" TO -4'-0"); 200 PSF/FT (BELOW -4'-0")  
IN ACCORDANCE WITH THE 2021 EDITION OF THE INTERNATIONAL BUILDING CODE, CHAPTER 18.

REFERENCE SOILS AND FOUNDATION REPORT, NO. 7-103084, PREPARED BY MIDWEST ENGINEERING SERVICES, INC.; WAUKESHA, WISCONSIN.

A GEOTECHNICAL ENGINEER OR REPRESENTATIVE OF IS RECOMMENDED (NOT REQUIRED) TO BE AVAILABLE AT THE TIME OF THE FOUNDATION INSTALLATION TO VERIFY THE SOIL DESIGN PARAMETERS AND TO PROVIDE ASSISTANCE IF ANY PROBLEMS ARISE IN FOUNDATION INSTALLATION.

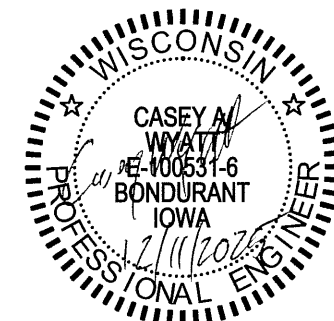
ENCOUNTERING SOIL FORMATIONS THAT WILL REQUIRE SPECIAL DESIGN CONSIDERATIONS OR EXCAVATION PROCEDURES MAY OCCUR. POLE FOUNDATIONS WILL NEED TO BE ANALYZED ACCORDING TO THE SOIL CONDITIONS THAT EXIST. IF ANY DISCREPANCIES OR INCONSISTENCIES ARISE, NOTIFY THE ENGINEER OF SUCH DISCREPANCIES. FOUNDATIONS WILL THEN BE REVISED ACCORDINGLY. REVISIONS WILL BE ANALYZED PER RECOMMENDATIONS DIRECTED BY A REGISTERED ENGINEER.

ALL EXCAVATIONS MUST BE FREE OF LOOSE SOIL AND DEBRIS PRIOR TO FOUNDATION INSTALLATION AND CONCRETE BACKFILL PLACEMENT. CONTRACTOR SHOULD BE PREPARED FOR THE POSSIBILITY OF GROUND WATER PUMPING AND EXCAVATION STABILIZATION AS CONDITIONS MAY REQUIRE. CASINGS OR DRILLERS SLURRY MAY BE USED TO STABILIZE THE EXCAVATION DURING INSTALLATION. TEMPORARY CASINGS MUST BE REMOVED DURING CONCRETE BACKFILL PLACEMENT. PERMANENT CASINGS MUST BE SMOOTH-SIDED STEEL PIPE, AND MUST BE INSERTED INTO PLACE FIRST PRIOR TO CLEANING OUT THE INSIDE SO THAT CONTINUOUS CONTACT WITH THE SURROUNDING UNDISTURBED SOILS IS MAINTAINED.

CONCRETE BACKFILL MUST BE PLACED WITH A TREMIE WHEN SLURRY OR WATER IS PRESENT WITHIN THE EXCAVATION. THE MOUTH OF THE TREMIE MUST REMAIN BURIED IN FRESH CONCRETE SO THAT THE CONCRETE DISPLACES WATER OR SLURRY WITHOUT MIXING.

**CONCRETE:**  
CONCRETE SHALL BE AIR-ENTRAINED AND HAVE A MINIMUM COMPRESSIVE DESIGN STRENGTH AT 28 DAYS OF 3,000 PSI. POLE ERECTION MAY TAKE PLACE AFTER STRENGTH GAIN HAS REACHED 1,000 PSI MINIMUM, OR 24 HOURS HAVE ELAPSED FROM PLACEMENT. ALL PIERS AND CONCRETE BACKFILL MUST BEAR ON AND AGAINST FIRM UNDISTURBED SOIL, OR PERMANENT CASINGS WHERE UTILIZED.

**GENERAL NOTES:**  
FIXTURES MUST BE LOCATED TO MAINTAIN 10'-0" MINIMUM HORIZONTAL CLEARANCE FROM ANY OBSTRUCTION. ENGINEER MUST BE NOTIFIED IF FOUNDATIONS ARE NEAR ANY RETAINING WALLS OR WITHIN / NEAR ANY SLOPES STEEPER THAN 3H : 1V. POLES, FIXTURES, PRECAST BASES, ELECTRICAL ITEMS AND INSTALLATION PER MUSCO LIGHTING.



CONCORDIA UNIVERSITY  
SOCCER SOFTBALL  
FIELD LIGHTING  
MEQUON, WI

**MUSCO Lighting**  
CORPORATE: 100 1<sup>st</sup> AVE. WEST  
OSKALOOSA, IA 52577  
(800) 825-6020

**STRUCTURAL ENGINEERS, P.C.**  
114 NICHOLAS DRIVE  
MARSHALLTOWN, IOWA 50158  
PHONE NUMBER: 641-752-6334  
EMAIL: MSL.INFO@SEPC.BIZ

DRAWING TITLE: POLE AND FOUNDATION	SCALE: SEE PLAN	NOTES: SCAN #171200B
PROJECT NUMBER	171200	
DATE	11 DECEMBER 2025	
DRAWING NUMBER	C1	
OF ONE		



## D. WARRANTY



# Musco Constant 25™

25-Year Product Assurance & Warranty Program

Project name: \_\_\_\_\_ Project number: \_\_\_\_\_

Owner: \_\_\_\_\_ City: \_\_\_\_\_ State: \_\_\_\_\_

Covered product(s): \_\_\_\_\_

Date issued: \_\_\_\_\_ Expiration: \_\_\_\_\_

Musco Sports Lighting, LLC will provide all materials and labor to maintain operation of your lighting system to original design criteria for 25 years. Musco products and services are guaranteed to perform on your project as detailed in this document.

## Light Performance

Specified illumination levels will be maintained and are marked as guaranteed in the Musco Illumination Summary. Individual luminaire outages that occur during the warranty and maintenance period are repaired when the usage of any field is materially impacted.

## Spill Light Control

If specified, spill light levels at identified locations are guaranteed to be controlled to the maximum values provided in the Musco Illumination Summary.

## Energy Consumption

Total average kW consumption for your lighting system is guaranteed to be not more than the total load shown in the Musco Illumination Summary.

## Monitoring, Maintenance, and Control Services

Musco shall monitor the performance of your lighting system, including on/off status, hours of usage, and luminaire outages. If outages that affect playability are detected, Musco will contact you and proactively dispatch technicians.

On-off control of your lighting system is provided via an easy-to-use web site scheduling system, smartphone app, phone, email, or fax. Our trained Control-Link Central™ service center staff is available toll-free 24/7. Regular usage reports are always available on Control-Link Central's web site.

## Structural Integrity

Your project has been designed to \_\_\_\_\_  
Structural integrity of equipment manufactured by Musco is guaranteed.

**Musco has a team of people to ensure fulfillment of our product and services warranty and maintains financial reserves dedicated to support our fulfillment of this warranty. Please keep this document as your signed contract guaranteeing comprehensive service for the 25 year period.**



# Musco Constant 25™

## 25-Year Product Assurance & Warranty Program

### Terms and Conditions

Service under this Contract is provided by Musco Sports Lighting, LLC ("Musco") or an authorized servicer approved by Musco. Services performed under this Contract shall consist of furnishing labor and parts necessary to restore the operation of the Covered Product(s) to original design criteria provided such service is necessitated by failure of the Covered Product(s) during normal usage. This Contract covers Product(s) consisting of Musco's Total Light Control - TLC for LED® with Control-Link® and any additional Musco manufactured product as listed on page 1.

"We", "us," and "our" mean Musco. "You" and "your" mean the purchaser of the Covered Product(s). No one has the authority to change this Contract without the prior written approval of Musco. Musco shall not assume responsibility for their agents or assignees other than as described below. If there is a conflict between the terms of this Contract and information communicated either orally or in writing by one or more of our employees or agents, this Contract shall control.

#### Additional Provisions

- 1. Availability of Service:** Control-Link Central™ operators shall be available 24/7 via web site, phone, fax, or email. Maintenance service specialists shall be available 8AM to 5PM Central Time, and services shall be rendered during these same hours in your local time zone, Monday through Friday (with the exception of national holidays). Hours of operation are subject to change without notice to you. Musco will exercise all reasonable efforts to perform service under this Contract, but will not be responsible for delays or failure in performing such services caused by adverse weather conditions, acts of any government, failure of transportation, accidents, riots, war, labor actions or strikes or other causes beyond its control.
  - 2. Determination of Repairs:** Musco will utilize the field monitoring system and any information provided by the customer to determine when the usage of the field is materially impacted. From this information, Musco will determine needed repair and/or replacement of Covered Product(s) and parts. Repair will be with Product(s) of like kind and quality.
  - 3. Your Requirements Under this Contract:** You must meet all electrical and installation requirements as specified by the manufacturer. In addition, you promise and assure: full cooperation with Musco's Musco's technicians and authorized servicers during telephone diagnosis and repair of the Covered Product(s); reasonable accessibility of the Covered Product(s); a nonthreatening and safe environment for service.
- You agree to check fuses and to replace fuses as needed. Musco provides spare fuses in the lowest alpha-numeric numbered enclosure. Musco will replenish spare fuses used.
- You agree to keep your control system online. This means keeping the required control voltage to the control system at all times. Any deviation from this practice must be discussed with Musco's Warranty Department.
- 4. Service Limitations — This Contract does not cover:** Maintenance, repair, or replacement necessitated by loss or damage resulting from any external causes such as, but not limited to, theft, environmental conditions, negligence, misuse, abuse, improper electrical/power supply, unauthorized repairs by third parties, attachments, damage to cabinetry, equipment modifications, vandalism, animal or insect infestation, physical damage to Covered Product(s) parts or components, failure of existing structures, supporting electrical systems or any non-Musco equipment, or acts of God/nature (including, but not limited to: earthquake, flood, tornadoes, typhoons, hurricanes, or lightning).

#### 5. Contract Limitations:

- a. EXCLUSIONS FROM COVERAGE:** IN NO EVENT WILL MUSCO BE LIABLE FOR ANY SPECIAL, INDIRECT, INCIDENTAL OR CONSEQUENTIAL DAMAGES WHICH INCLUDE, BUT ARE NOT LIMITED TO, ANY DELAY IN RENDERING SERVICE OR LOSS OF USE DURING THE REPAIR PERIOD OF THE COVERED PRODUCT(S) OR WHILE OTHERWISE AWAITING PARTS.
  - b. Limitation of Liability:** To the extent permitted by applicable law, the liability of Musco, if any, for any allegedly defective Covered Product(s) or components shall be limited to repair or replacement of the Covered Product(s) or components at Musco's option. THIS CONTRACT IS YOUR SOLE EXPRESS WARRANTY WITH RESPECT TO THE COVERED PRODUCT(S). ALL IMPLIED WARRANTIES WITH RESPECT TO THE COVERED PRODUCT(S) INCLUDING, BUT NOT LIMITED TO, IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE, ARE HEREBY EXPRESSLY EXCLUDED.
  - c. For the purposes of and your acceptance of this Contract you acknowledge and agree that if a surety bond ("Bond") is provided the warranty and/or maintenance guarantee provided for in this Contract and any corresponding liability on behalf of the issuing surety under the Bond is limited to the first twelve (12) months of said warranty and/or maintenance guarantee coverage period. Any warranty and/or guarantee coverage period in excess of said initial 12 month period does not fall within the scope of the Bond and shall be the sole responsibility of Musco.**
  - d. Musco requires reasonable access for a crane or man lift equipment to service the lighting system. Musco will not be responsible for damage from operating the vehicle on the property when the equipment is operated in the prescribed manner over the designated access route.**
  - e. Obsolescence or Environmental Restrictions:** If during any maintenance or other work performed under this Warranty, any of the parts of the Covered Product(s) are found to be either obsolete, no longer available, or prohibited by any state or federal agency, Musco shall replace said parts with comparable parts and materials with equal operating characteristics solely at Musco's discretion. The cost of replacement of any obsolete cellular related technology shall be borne by you. Prior to completing any such work, Musco shall notify you of the cost (if any) you will incur in the replacement of such parts under this section.
- 6. Transfer and Assignment:** Except to owners, you shall not have the right to assign or otherwise transfer your rights and obligations under this Contract except with the prior written consent of Musco; however, a successor in interest by merger, operation of law, assignment or purchase or otherwise of your entire business shall acquire all of your interests under this Contract.
  - 7. Governing Law:** Unless otherwise governed by applicable state law, the Contract shall be interpreted and enforced according to the laws of the State of Iowa.
  - 8. Subrogation:** In the event Musco repairs or replaces any Covered Product(s), parts or components due to any defect for which the manufacturer or its agents or suppliers may be legally responsible, you agree to assign your rights of recovery to Musco. You will be reimbursed for any reasonable costs and expenses you may incur in connection with the assignment of your rights. You will be made whole before Musco retains any amounts it may recover.

Signature: \_\_\_\_\_

Vice President of Sales



## **E. PERFORMANCE GUARANTEE**

## Project Submittal: Performance Guarantee

Musco hereby guarantees compliance with the following specifications for your project. Constant light levels are guaranteed for the length of time specified in your warranty.

Field	Constant Average Illumination	Uniformity	Lamp Tilt Factor	Average kW Demand
Softball	70fc/50fc	2.0:1.0/2.5:1.0	1.0	23
Soccer	50fc	2.0:1.0	1.0	36.8

This guarantee is dependent upon the following:

- All test stations matched exactly to the number and location of points supplied with the Musco computer generated light scan for constant light levels.
- Pole placement must be within 3 feet of Musco recommendation.
- Voltage supply to the ballast of all fixtures must be no less than 97% of the designed secondary voltage.

In the unlikely event that these performance specifications are not met, Musco shall provide necessary corrective action at no expense to the owner.

We trust this meets with your approval.

Musco Sports Lighting, LLC



Jeff Rogers  
CEO



## F. PRODUCT INFORMATION

# 5 Easy Pieces™

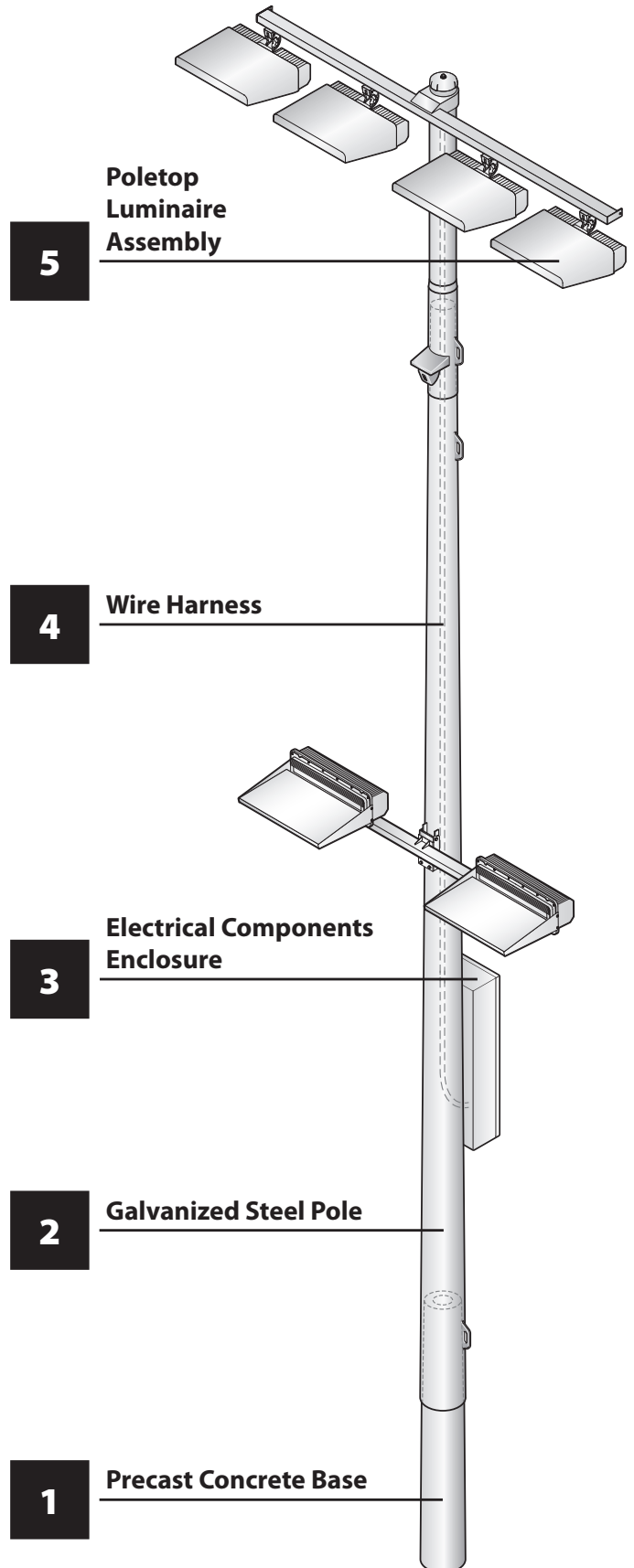
## Complete System from Foundation to Poletop

Factory wired, aimed, and tested

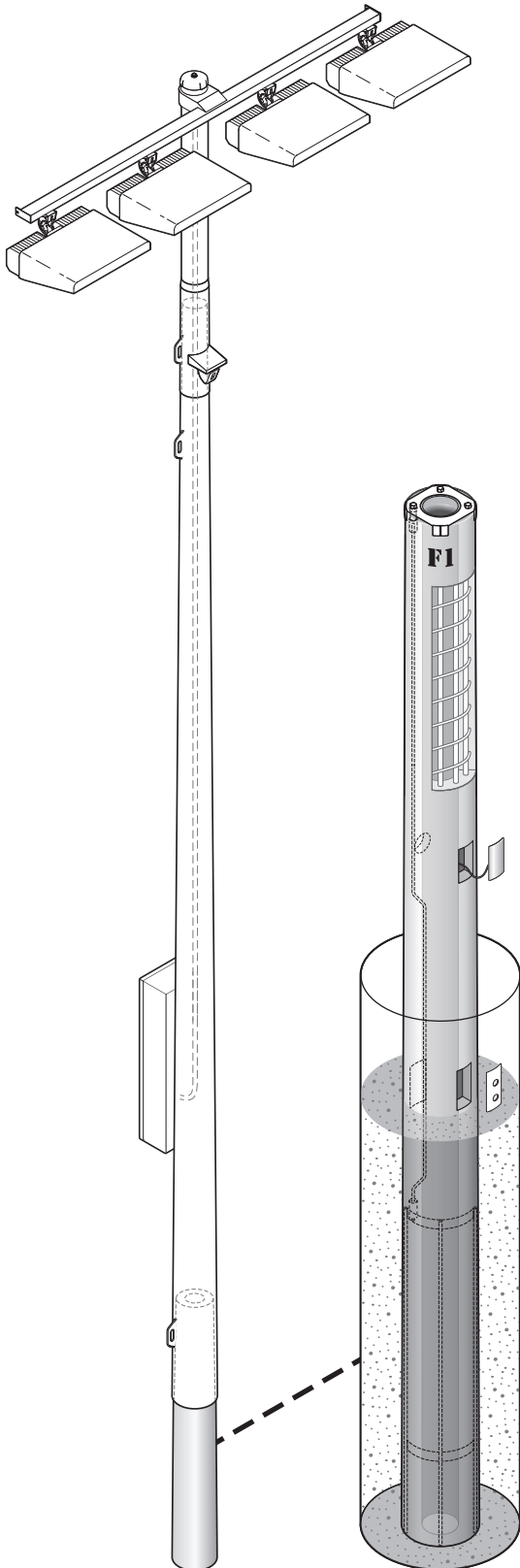
Fast, trouble-free installation

Comprehensive corrosion package

Integrated lightning ground



**TLC for LED® – Precast Concrete Base**



**Overview**

The precast concrete base is set directly into the ground and backfilled with concrete. The base includes an integrated lightning ground system.

**Features**

**Base**

- Set pole on base in 24 hours
- Tapered upper section for slip-fit steel pole
- Access holes for wire entry
- Epoxy-coated ends prevent water intrusion
- Lifting hole accepts load-rated steel rod provided by Musco

**Integrated Lightning Ground System**

- Complies with NFPA 780, UL 96A, and EN 62305 standards when installed per Musco installation instructions
- UL Listed, Class II Lightning Protection, file number E337467
- Tested up to 100 kA by independent laboratory
- Steel pole interfaces with integrated grounding system by means of the pole grounding connector
- 2/0 AWG (crosssectional area of 67.4 mm<sup>2</sup>) grounding electrode conductor
- Concrete-encased grounding electrode, 20 ft (6.1 m) total length, ½ in (12.7 mm) diameter

**Technical Specifications**

Base dimensions vary. For measurements refer to project-specific *Foundation and Pole Assembly Drawing*.

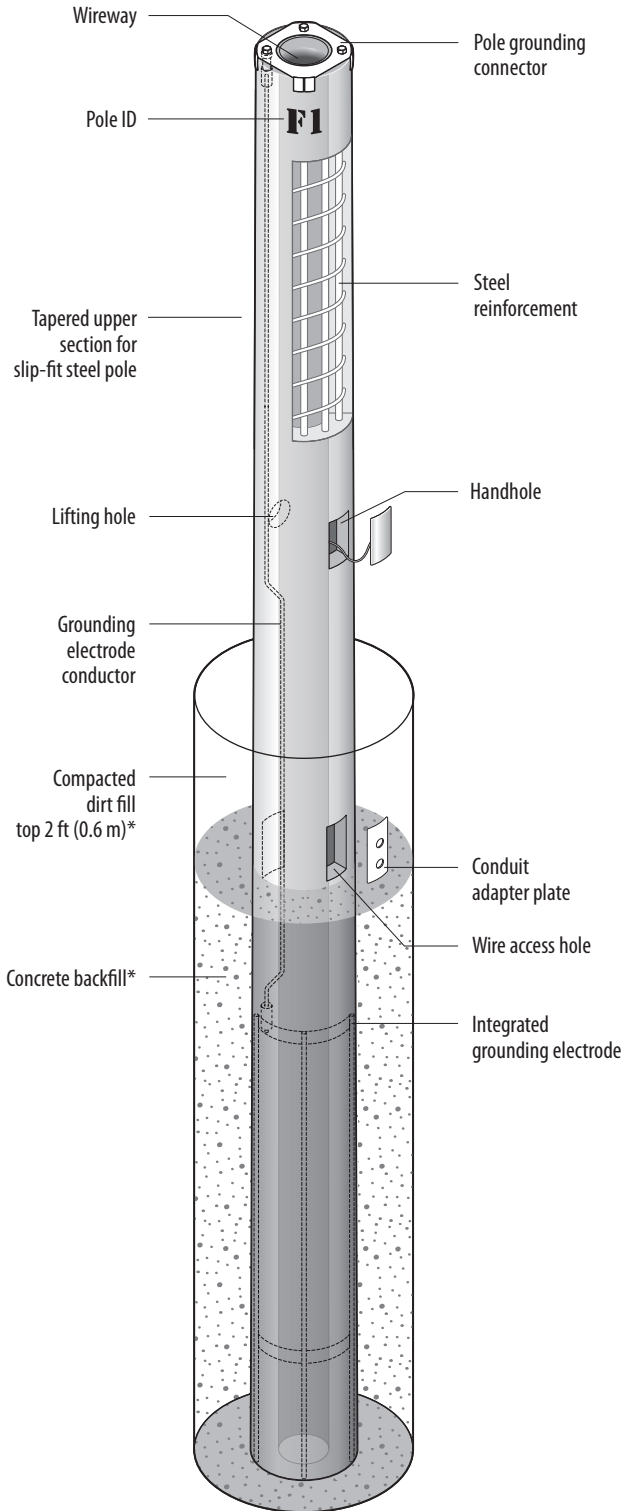
**Construction**

- Spun concrete construction
- Prestressed steel vertical strands and coil spiral for strength throughout base
- Minimum design strength is 9500 lb/in<sup>2</sup> (65.5 MPa) at 28 days
- Meets ASTM C1804 design requirements

**Quality Assurance Tests**

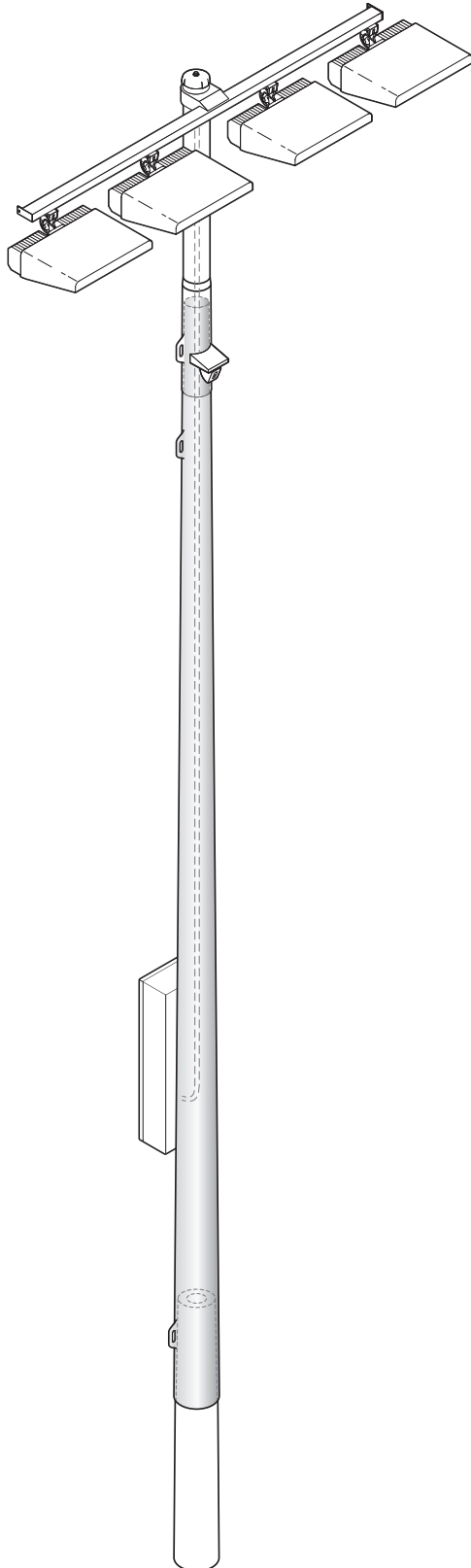
- 28-day compressive strength test on sample cylinder
- Bending moment capacity test on sample base
- Grounding system continuity
- Independent evaluation by ICC Evaluation Service, report #ESR-3765

**TLC for LED® – Precast Concrete Base**



\*Standard pier foundation shown. Foundation and/or backfill may vary per alternate foundation design.

**TLC for LED® – Galvanized Steel Pole**



**Overview**

The galvanized steel pole is designed to slip-fit together with the precast concrete base and the poletop luminaire assembly.

**Features**

- Slip-fit connection allows pole assembly with come-alongs
- Built-in hardware for attaching electrical components enclosure
- Wire access from inside the pole (no exposed wiring or conduit)
- Shipped in sections for easier handling
- Labeled with pole identification for location on field

**Technical Specifications**

Pole dimensions vary. For measurements refer to project specific pole configuration drawing.

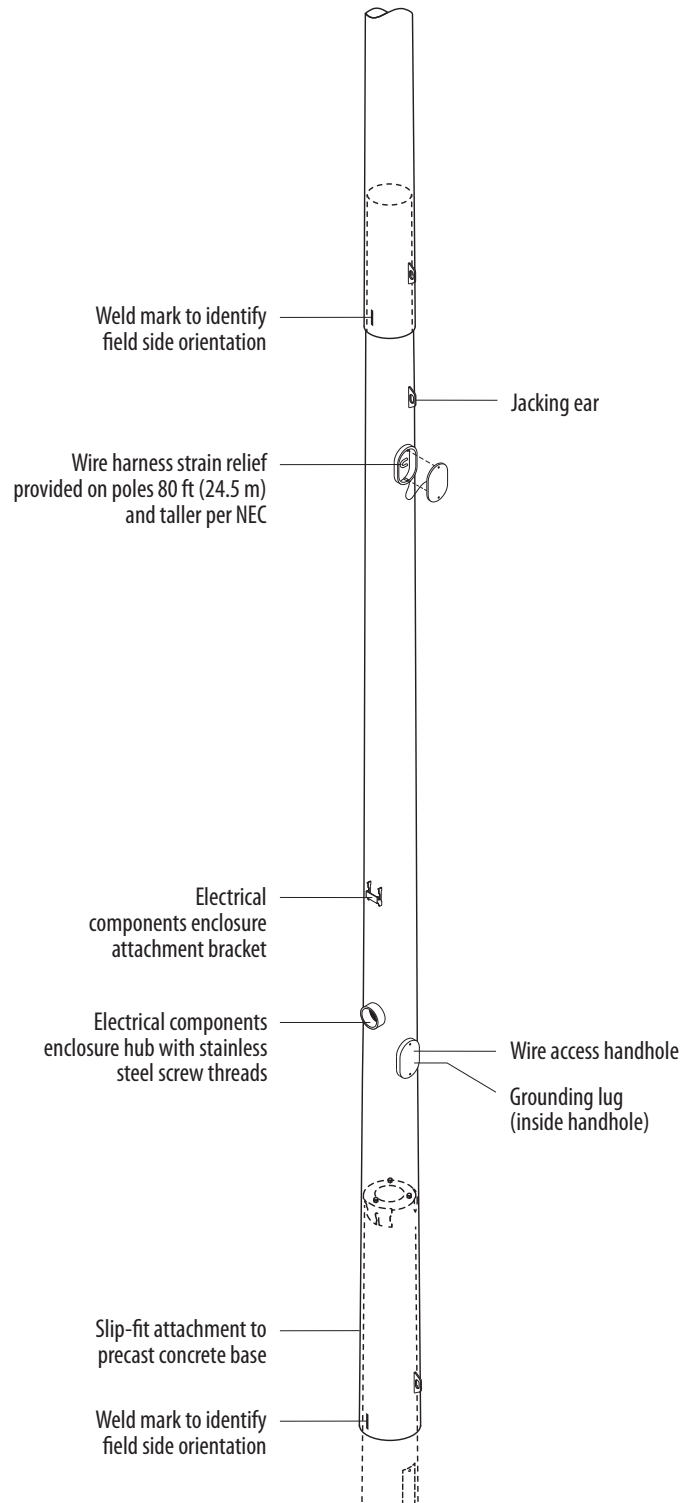
**Construction**

- Pole designs are tailored to meet the specific building codes and regulatory requirements of the project’s location and region
- High strength, low alloy, tapered, round steel pole
- Hot-dip galvanizing inside and outside after fabrication meets ASTM-A123 standard
- Grounding lug—rated for copper (CU) wiring
- Stainless steel fasteners passivated and coated

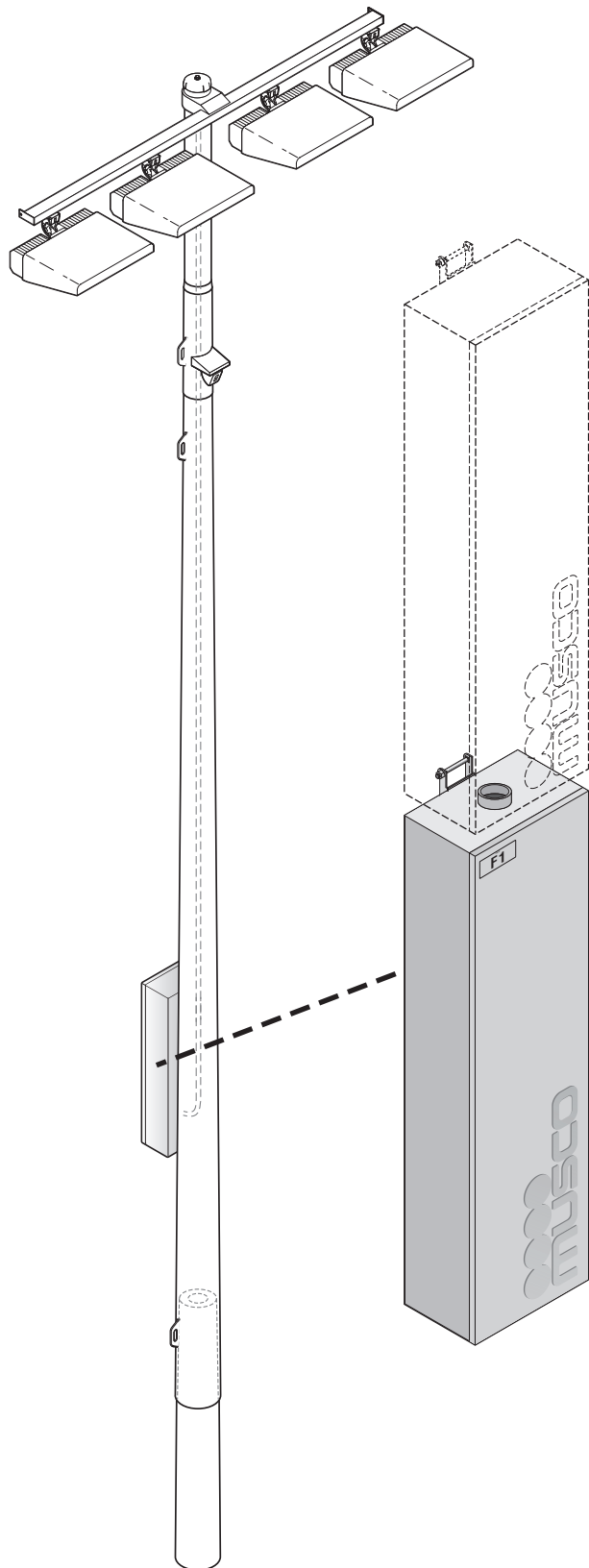
**Quality Assurance Tests**

- Material certifications are available upon notice prior to fabrication
- Straightness verification prior to shipment
- Galvanization thickness test

**TLC for LED® – Galvanized Steel Pole**



**TLC for LED® – Electrical Components Enclosure**



**Overview**

The electrical components enclosure contains all necessary equipment to operate luminaires. Built-in mounting hardware allows for easy attachment to the galvanized steel pole. Quick connect plugs fasten to the wire harness.

**Features**

- Factory-built and tested as a unit
- Quick connect plug for easy field wiring
- Mounted 10 ft (3 m) above grade for servicing with ladder
- Labeled with pole identification and electrical information
- Drivers individually fused and spare fuses supplied
- Wire access from inside the pole (no exposed wiring or conduit)
- Disconnect per circuit

**Technical Specifications**

For amperage draws and circuitry refer to project specific document.

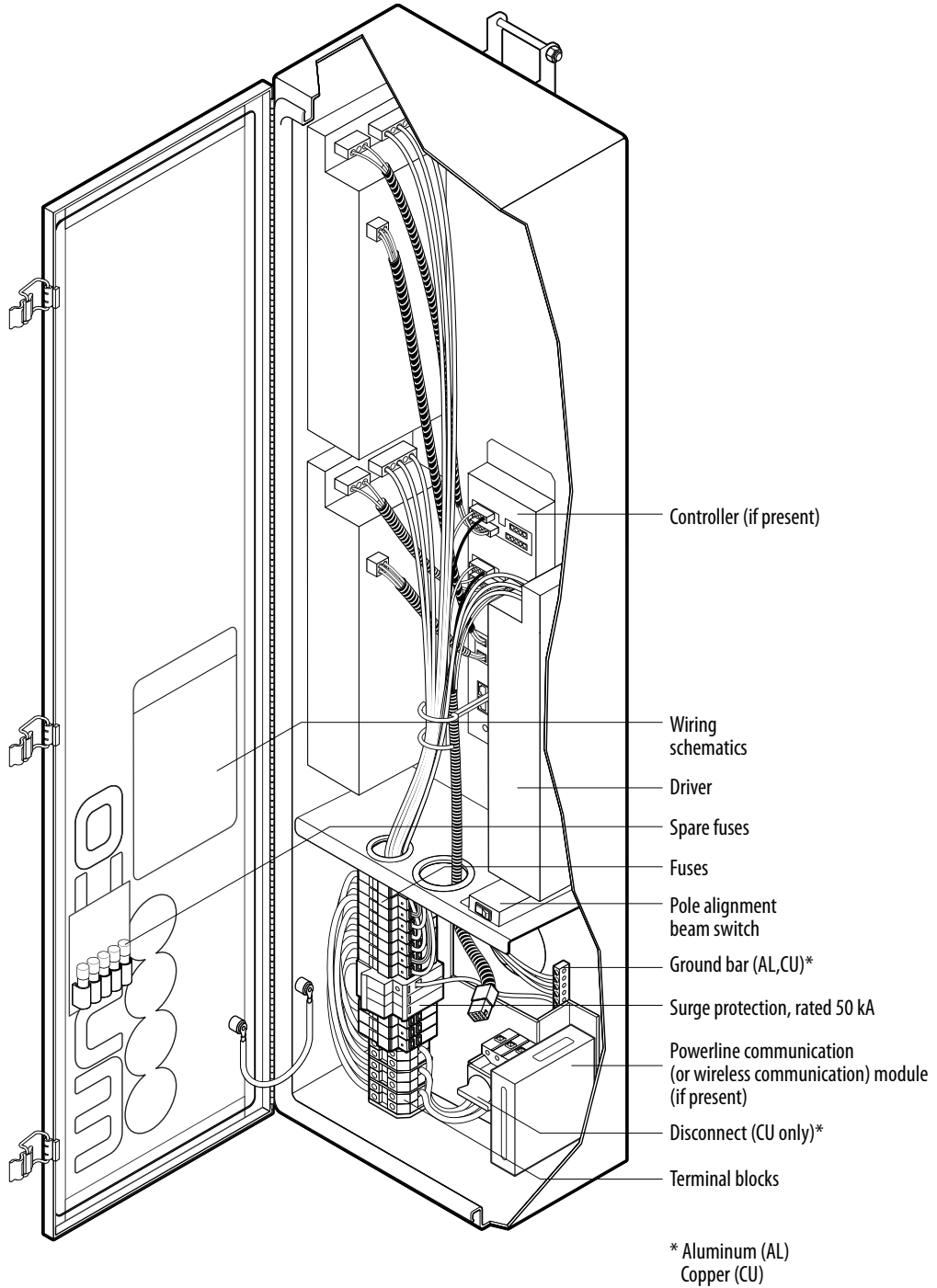
**Construction**

- 0.08 inch (2 mm) thick, powder-coated aluminum
- Enclosure ratings: NEMA 3R, IP54
- Designed to operate in up to 50° C (122° F) ambient temperature
- Full length stainless steel hinge
- All stainless steel fasteners passivated and coated
- Meets touchsafe standards
- Up to four drivers per enclosure
- Approximate weight 65 lb (29 kg)
- Lower enclosure size 14 in (356 mm) wide x 9 in (229 mm) deep x 52.5 in (1334 mm) high
- Upper enclosure size 14 in (356 mm) wide x 9 in (229 mm) deep x 40.5 in (1029 mm) high

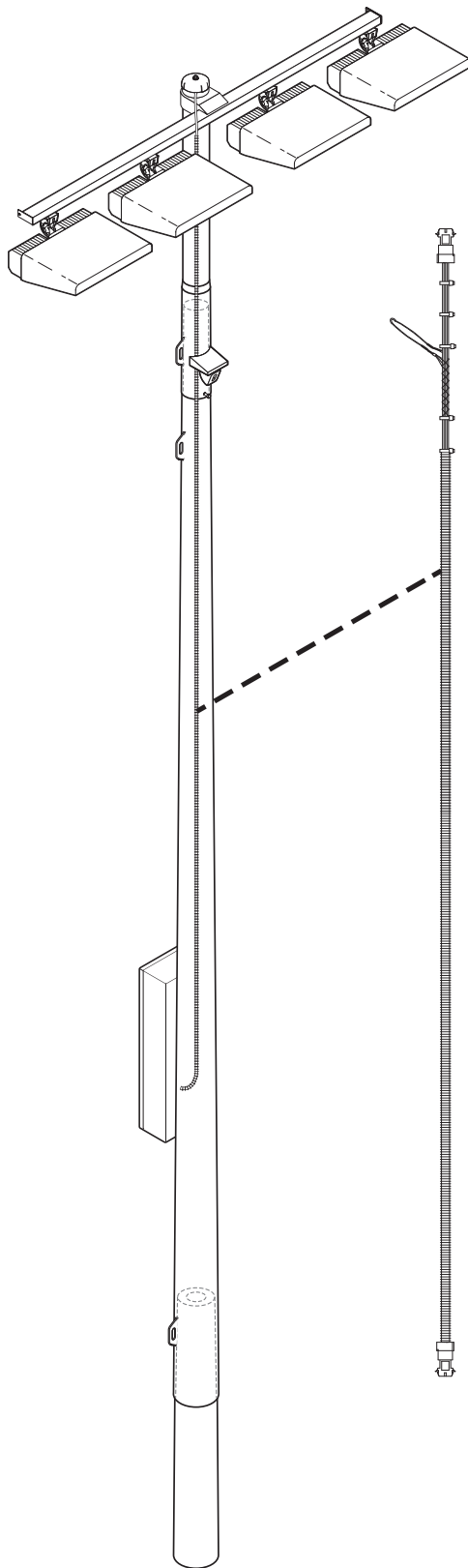
**Quality Assurance Tests**

- High potential dielectric withstand
- Full functionality test based on project’s voltage and simulated load

**TLC for LED® – Electrical Components Enclosure**



**TLC for LED® – Wire Harness**



**Overview**

The factory-built wire harness connects the electrical components enclosure to the poletop luminaire assembly.

**Features**

- Quick connect plugs for easy field wiring
- Factory-assembled support grip alleviates strain on connections
- Spiral wound cable eliminates slippage
- Protective sleeve prevents wire damage
- All internal wiring, no exposed wires
- Labels identify pole and luminaires

**Technical Specifications**

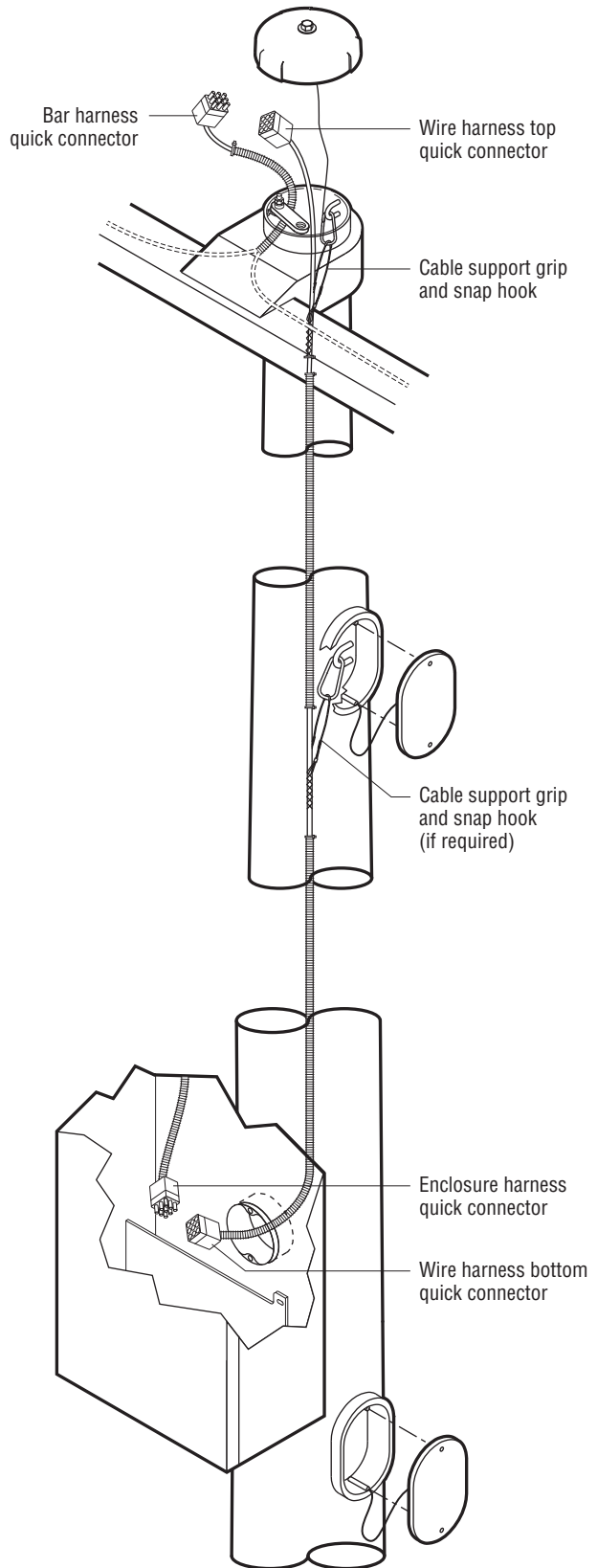
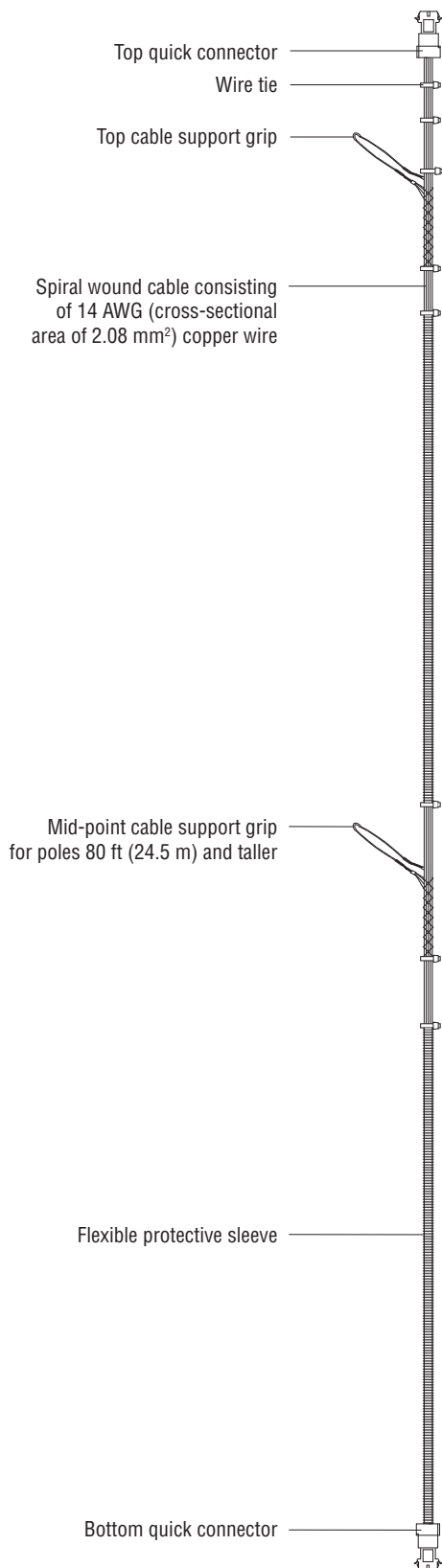
**Construction**

- Spiral wound, wrapped cable, 14 AWG (cross-sectional area of 2.08 mm<sup>2</sup>) copper wire
- Integral cable support grip
- Each harness supports up to four drivers
- Multiple top connectors may be present if required for number of luminaires

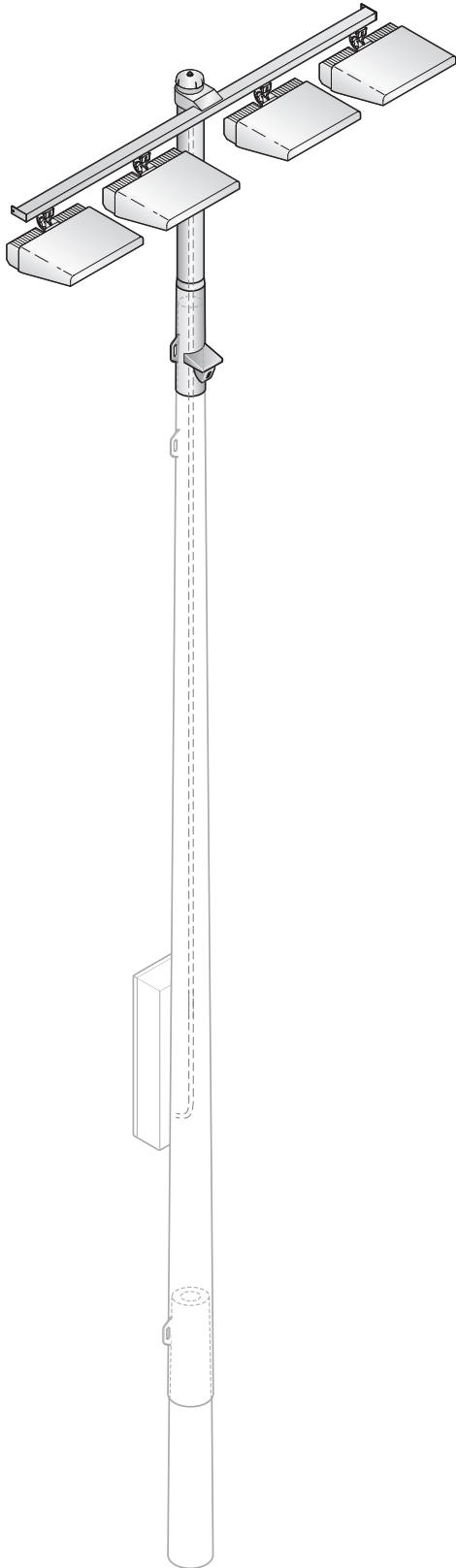
**Quality Assurance Tests**

- Connector to connector continuity test
- High potential dielectric withstand
- Machine applied termination crimp

**TLC for LED® – Wire Harness**



**TLC for LED® – Poletop Luminaire Assembly, Weld On**



**Overview**

The factory-aimed poletop luminaire assembly is the upper section of the pole and slip-fits together with the galvanized steel pole.

**Features**

- Each luminaire is factory-built, tested, and ships as a unit
- Luminaires are factory-aimed to three-tenths degree of accuracy
- Luminaire mounts and connects to wire harness in a single step
- Slip-fit connection allows assembly with come-alongs
- All luminaires are factory-wired to a quick connect harness for easy installation
- Labels identify pole and luminaire location
- No exposed wiring or conduit
- Factory-set pole alignment beam allows easy field alignment

**Technical Specifications**

**Construction**

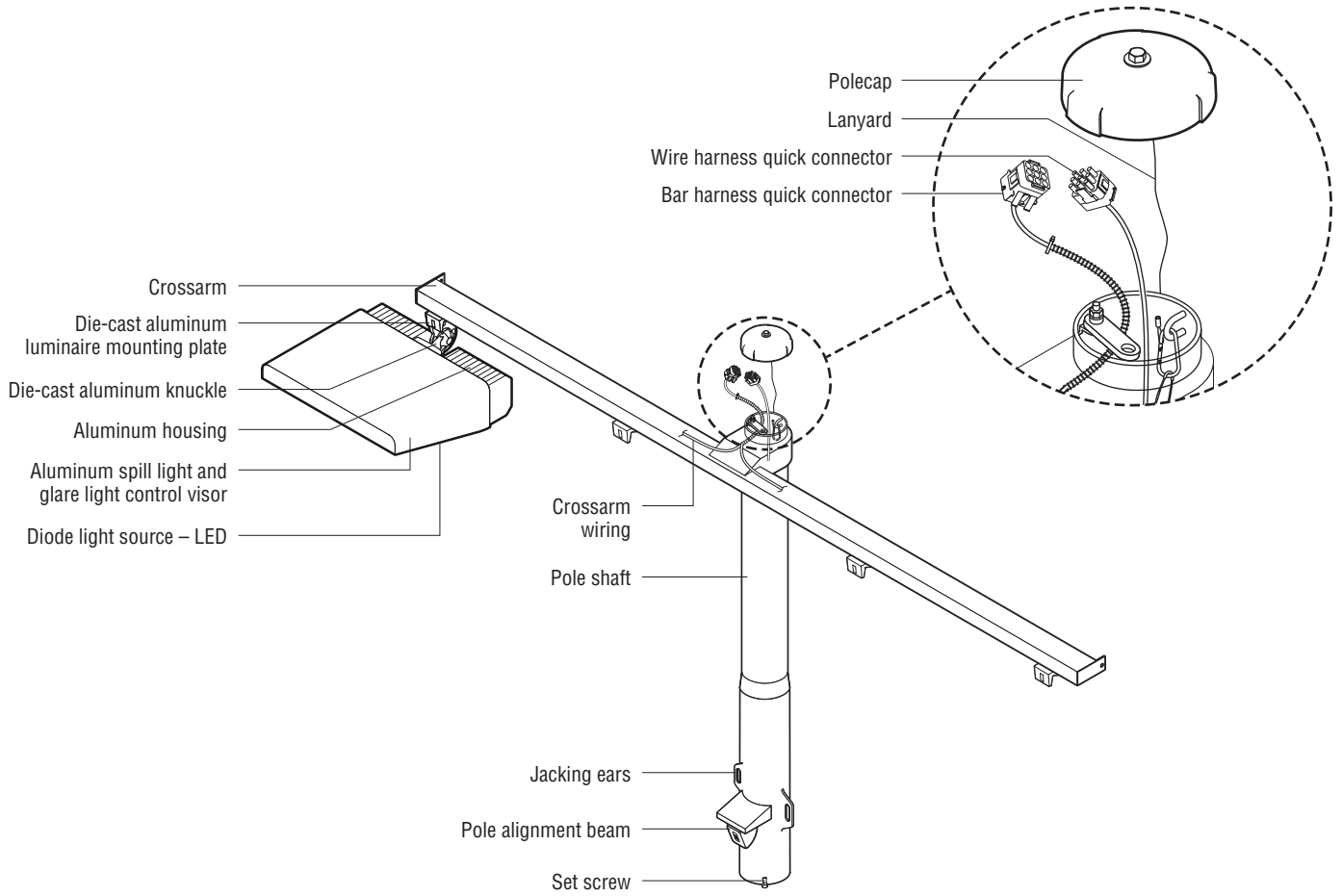
- Crossarms and pole shaft hot-dip galvanizing inside and outside after fabrication meets ASTM-A123 standard
- All aluminum components are powder-coated or anodized to mil-A-8625F
- Luminaire and knuckle are powder-coated aluminum
- All stainless steel fasteners are passivated and coated
- Crossarms are constructed of rectangular steel tubing
- Polecap is attached with stainless steel lanyard and securing bolt

**Quality Assurance Tests**

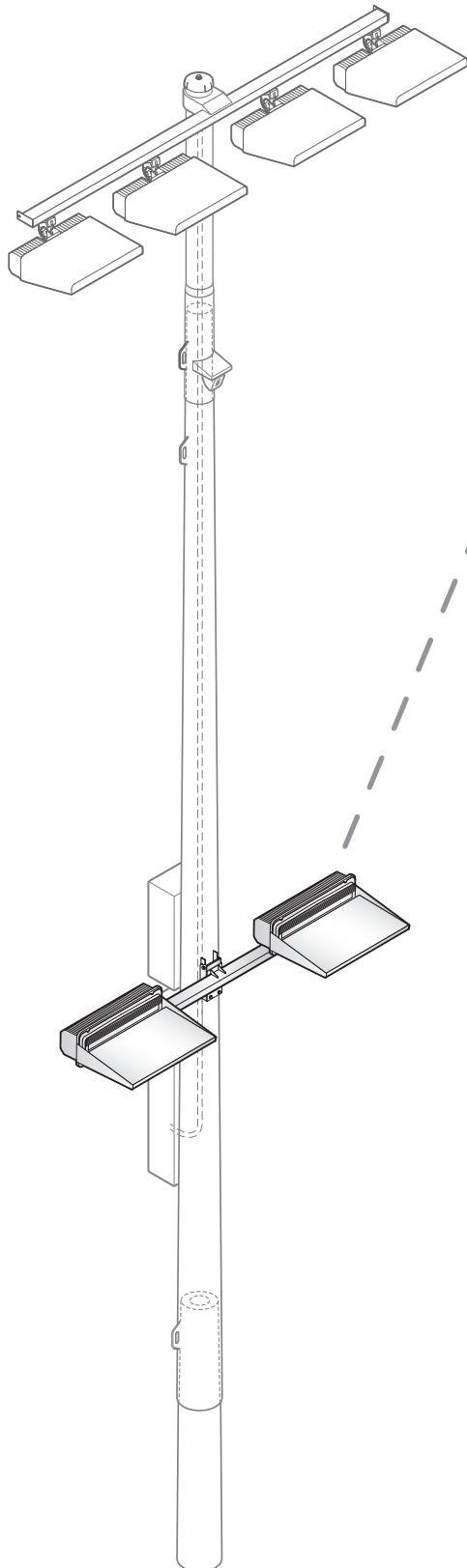
- Galvanizing thickness
- High potential dielectric withstand
- Electrical continuity
- Luminaire functionality test

# TLC for LED® – Poletop Luminaire Assembly, Weld On

## 5 Easy Pieces™



**Luminaire and Driver – TLC-BT-575**



**Luminaire Data**

Weight (luminaire)	34 lb (15 kg)
UL listing number	E338094
UL listed for USA/Canada	UL1598 CSA-C22.2 No.250.0
CE Declaration	LVD, EMC, RoHS
Ingress protection (luminaire)	IP65
Impact rating	IK07
Material and finish	Aluminum, powder-coat painted
Wind speed rating (aiming only)	150 mi/h (67 m/s)
UL, IEC ambient temperature rating (luminaire)	50°C (122°F)

**Photometric Characteristics**

Projected lumen maintenance per IES TM-21-11	
L90 (20k)	>120,000 h
L80 (20k)	>120,000 h
L70 (20k)	>120,000 h
Lumens <sup>1</sup>	52,000
CIE correlated color temperature	5700 K
Color rendering index (CRI)	75 typ, 70 min
LED binning tolerance	7-step MacAdam Ellipse

Footnotes:

1) Incorporates appropriate dirt depreciation factor for life of luminaire.

**All components from foundation to poletop are designed to work together in Light-Structure System™ to ensure reliable, trouble-free operation.**

## Luminaire and Driver – TLC-BT-575

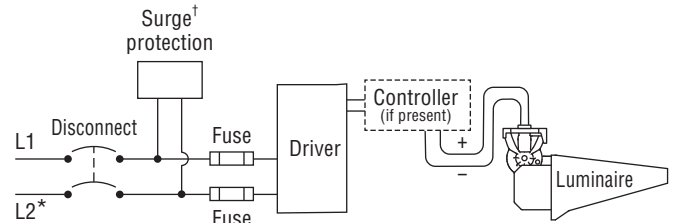
### Driver Data

#### Electrical Data

Rated wattage<sup>1</sup>

Per driver	575 W
Per luminaire	575 W
Number of luminaires per driver	1
Starting (inrush) current	<40 A, 256 $\mu$ s
Fuse rating	15 A
UL, IEC ambient temperature rating, electrical components enclosure	50°C (122°F)
Ingress protection, electrical components enclosure	IP54
Efficiency	95%
Total harmonic distortion (THD) at full output	<20%

### Typical Wiring



\* If L2 is neutral then not switched or fused.  
 † Not present if indoor installation.

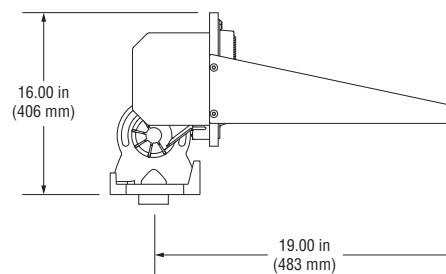
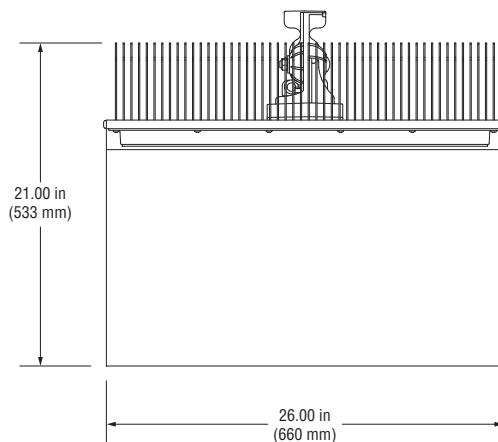
	200 Vac 50/60 Hz	208 Vac 60 Hz	220 Vac 50/60 Hz	230 Vac 50 Hz	240 Vac 50/60 Hz	277 Vac 60 Hz	347 Vac 60 Hz	380 Vac 50/60 Hz	400 Vac 50 Hz	415 Vac 50 Hz	480 Vac 60 Hz
<b>Max operating current per luminaire<sup>2</sup></b>	3.48 A	3.35 A	3.16 A	3.03 A	2.90 A	2.51 A	2.01 A	1.83 A	1.74 A	1.68 A	1.45 A

#### Footnotes:

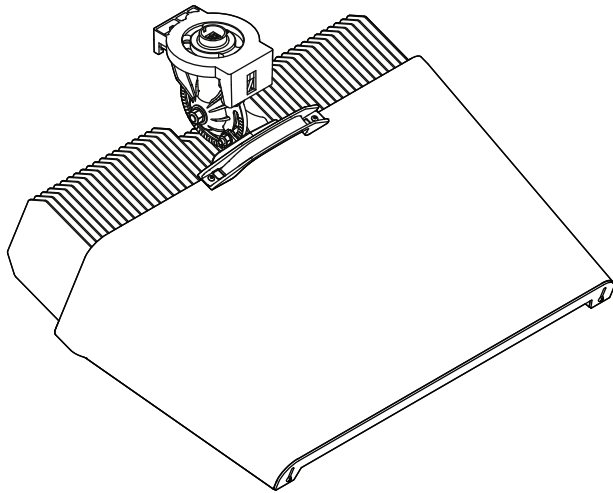
- 1) Rated wattage is the power consumption, including driver efficiency losses, at stabilized operation in 25°C ambient temperature environment.
- 2) Operating current includes allowance for 0.90 minimum power factor, operating temperature, and LED light source manufacturing tolerances.

#### Notes

1. Use thermal magnetic HID-rated or D-curve circuit breakers.
2. See *Musco Control System Summary* for circuit information.



# Datasheet: TLC-LED-900 Luminaire and Driver

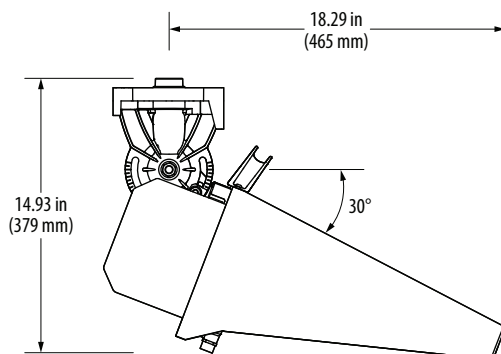
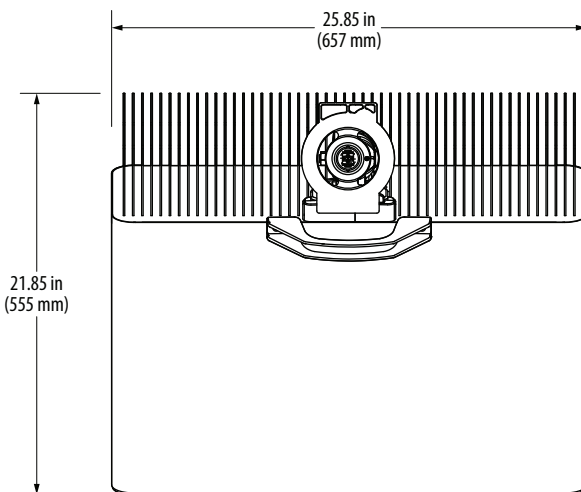


## Luminaire Data

Weight (luminaire)	40 lb (18 kg)
UL listing number	E338094
UL listed for USA/Canada	UL1598 CSA-C22.2 No.250.0
CE Declaration	LVD, EMC, RoHS
Ingress protection (luminaire)	IP66
Impact rating	IK07
Material and finish	Aluminum, powder-coat painted
Wind speed rating (aiming only)	150 mi/h (67 m/s)
UL, IEC ambient temperature rating (luminaire)	50°C (122°F)

## Photometric Characteristics

Projected lumen maintenance per IES TM-21-11	
L90 (20k)	>120,000 h
L80 (20k)	>120,000 h
L70 (20k)	>120,000 h
Lumens <sup>1</sup>	104,000
CIE correlated color temperature	5700 K
Color rendering index (CRI)	75 typ, 70 min
LED binning tolerance	5-step MacAdam Ellipse



### Footnotes:

- 1) Value represents most common optical variation. Incorporates appropriate dirt depreciation factor for life of luminaire.

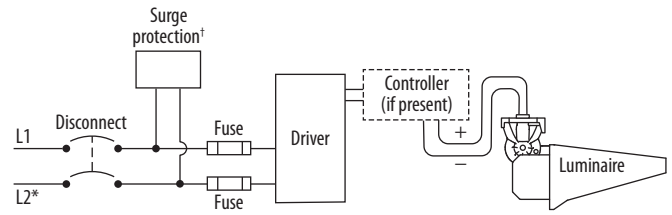
# Datasheet: TLC-LED-900 Luminaire and Driver

## Driver Data

### Electrical Data

Rated wattage <sup>1</sup>	
Per driver	880 W
Per luminaire	880 W
Number of luminaires per driver	1
Starting (inrush) current	<40 A, 256 $\mu$ s
Fuse rating	15 A
UL, IEC ambient temperature rating (electrical components enclosure)	50°C (122°F)
Ingress protection (electrical components enclosure)	IP54
Efficiency	95%
Dimming mode	optional
Range, energy consumption	21 – 100%
Range, light output	26 – 100%
Flicker	<2%
Total harmonic distortion (THD) at full output	<20%

### Typical Wiring



\* If L2 is neutral then not switched or fused.  
 † Not present if indoor installation.

	200 Vac 50/60 Hz	208 Vac 60 Hz	220 Vac 50/60 Hz	230 Vac 50 Hz	240 Vac 50/60 Hz	277 Vac 60 Hz	347 Vac 60 Hz	380 Vac 50/60 Hz	400 Vac 50 Hz	415 Vac 50 Hz	480 Vac 60 Hz
<b>Max operating current per luminaire<sup>2</sup></b>	5.43 A	5.22 A	4.93 A	4.72 A	4.52 A	3.92 A	3.13 A	2.86 A	2.72 A	2.62 A	2.26 A

#### Footnotes:

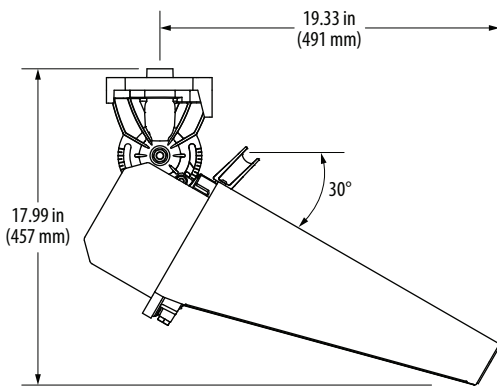
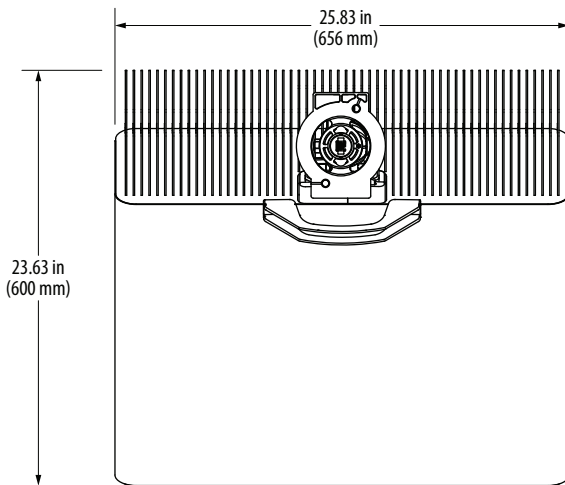
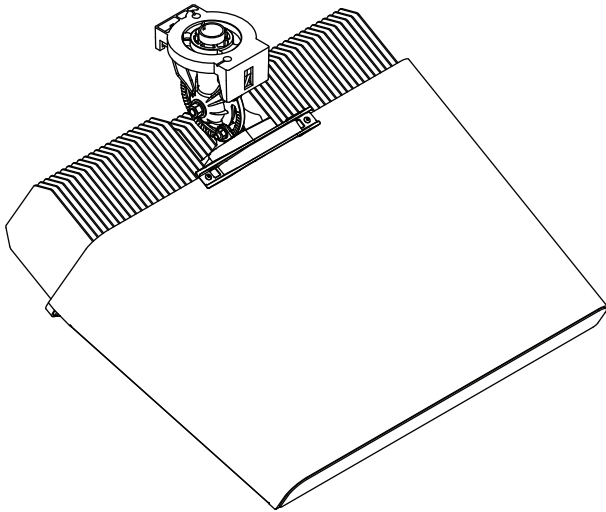
- 1) Rated wattage is the power consumption, including driver efficiency losses, at stabilized operation in 25°C ambient temperature environment.
- 2) Operating current includes allowance for 0.90 minimum power factor, operating temperature, and LED light source manufacturing tolerances.

#### Notes

1. Use thermal magnetic HID-rated or D-curve circuit breakers.
2. See *Musco Control System Summary* for circuit information.



# Datasheet: TLC-LED-1200 Luminaire and Driver



## Luminaire Data

Weight (luminaire)	45 lb (20 kg)
UL listing number	E338094
UL listed for USA/Canada	UL1598 CSA-C22.2 No.250.0
CE Declaration	LVD, EMC, RoHS
Ingress protection (luminaire)	IP66
Impact rating	IK07
Material and finish	Aluminum, powder-coat painted
Wind speed rating (aiming only)	150 mi/h (67 m/s)
UL, IEC ambient temperature rating (luminaire)	50°C (122°F)

## Photometric Characteristics

Projected lumen maintenance per IES TM-21-11	
L90 (20k)	>120,000 h
L80 (20k)	>120,000 h
L70 (20k)	>120,000 h
Lumens <sup>1</sup>	150,000
CIE correlated color temperature	5700 K
Color rendering index (CRI)	75 typ, 70 min
LED binning tolerance	5-step MacAdam Ellipse

### Footnotes:

1) Value represents most common optical variation. Incorporates appropriate dirt depreciation factor for life of luminaire.

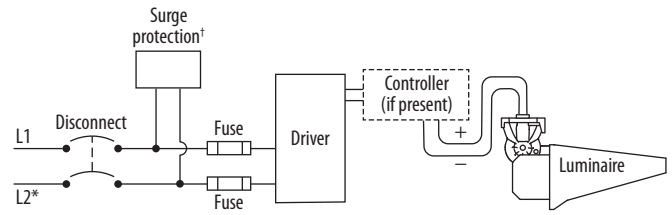
# Datasheet: TLC-LED-1200 Luminaire and Driver

## Driver Data

### Electrical Data

Rated wattage <sup>1</sup>	
Per driver	1170 W
Per luminaire	1170 W
Number of luminaires per driver	1
Starting (inrush) current	<40 A, 256 μs
Fuse rating	15 A
UL, IEC ambient temperature rating (electrical components enclosure)	50°C (122°F)
Ingress protection (electrical components enclosure)	IP54
Efficiency	95%
Dimming mode	optional
Range, energy consumption	13 – 100%
Range, light output	18 – 100%
Flicker	<2%
Total harmonic distortion (THD) at full output	<20%

### Typical Wiring



\* If L2 is neutral then not switched or fused.  
 † Not present if indoor installation.

	200 Vac 50/60 Hz	208 Vac 60 Hz	220 Vac 50/60 Hz	230 Vac 50 Hz	240 Vac 50/60 Hz	277 Vac 60 Hz	347 Vac 60 Hz	380 Vac 50/60 Hz	400 Vac 50 Hz	415 Vac 50 Hz	480 Vac 60 Hz
<b>Max operating current per luminaire<sup>2</sup></b>	7.20 A	6.92 A	6.54 A	6.26 A	6.00 A	5.20 A	4.15 A	3.79 A	3.60 A	3.47 A	3.00 A

#### Footnotes:

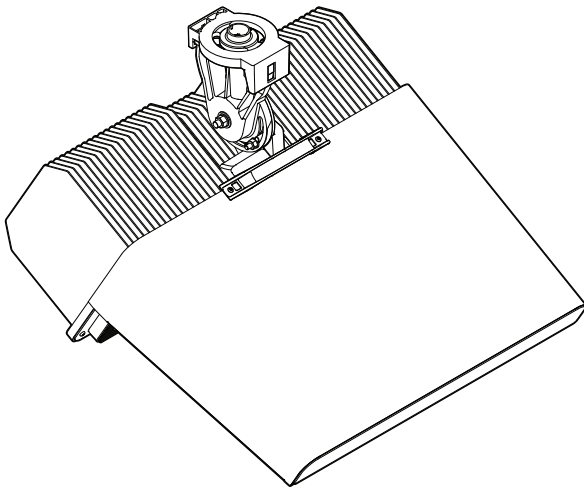
- 1) Rated wattage is the power consumption, including driver efficiency losses, at stabilized operation in 25°C ambient temperature environment.
- 2) Operating current includes allowance for 0.90 minimum power factor, operating temperature, and LED light source manufacturing tolerances.

#### Notes

1. Use thermal magnetic HID-rated or D-curve circuit breakers.
2. See *Musco Control System Summary* for circuit information.



# Datasheet: TLC-LED-1500 Luminaire and Driver

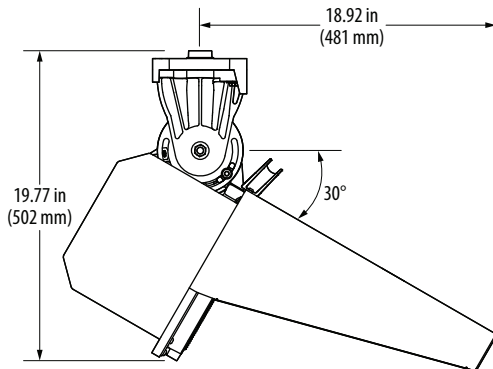
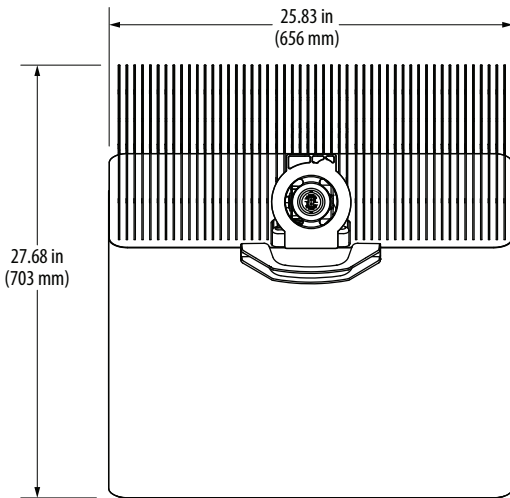


## Luminaire Data

Weight (luminaire)	67 lb (30 kg)
UL listing number	E338094
UL listed for USA/Canada	UL1598 CSA-C22.2 No.250.0
CE Declaration	LVD, EMC, RoHS
Ingress protection (luminaire)	IP66
Impact rating	IK07
Material and finish	Aluminum, powder-coat painted
Wind speed rating (aiming only)	150 mi/h (67 m/s)
UL, IEC ambient temperature rating (luminaire)	50°C (122°F)

## Photometric Characteristics

Projected lumen maintenance per IES TM-21-11	
L90 (20k)	>120,000 h
L80 (20k)	>120,000 h
L70 (20k)	>120,000 h
Lumens <sup>1</sup>	181,000
CIE correlated color temperature	5700 K
Color rendering index (CRI)	75 typ, 70 min
LED binning tolerance	5-step MacAdam Ellipse



### Footnotes:

- 1) Value represents most common optical variation. Incorporates appropriate dirt depreciation factor for life of luminaire.

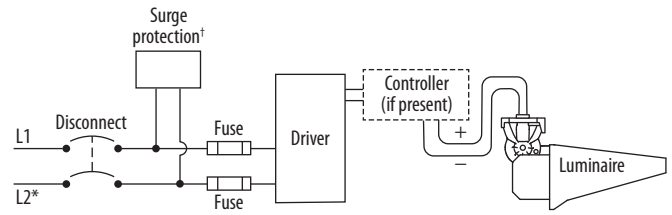
# Datasheet: TLC-LED-1500 Luminaire and Driver

## Driver Data

### Electrical Data

Rated wattage <sup>1</sup>	
Per driver	1410 W
Per luminaire	1410 W
Number of luminaires per driver	1
Starting (inrush) current	<40 A, 256 μs
Fuse rating	15 A
UL, IEC ambient temperature rating (electrical components enclosure)	50°C (122°F)
Ingress protection (electrical components enclosure)	IP54
Efficiency	95%
Dimming mode	optional
Range, energy consumption	10 – 100%
Range, light output	15 – 100%
Flicker	<2%
Total harmonic distortion (THD) at full output	<20%

### Typical Wiring



\* If L2 is neutral then not switched or fused.  
 † Not present if indoor installation.

	200 Vac 50/60 Hz	208 Vac 60 Hz	220 Vac 50/60 Hz	230 Vac 50 Hz	240 Vac 50/60 Hz	277 Vac 60 Hz	347 Vac 60 Hz	380 Vac 50/60 Hz	400 Vac 50 Hz	415 Vac 50 Hz	480 Vac 60 Hz
<b>Max operating current per luminaire<sup>2</sup></b>	8.71 A	8.37 A	7.92 A	7.57 A	7.26 A	6.29 A	5.02 A	4.59 A	4.36 A	4.20 A	3.63 A

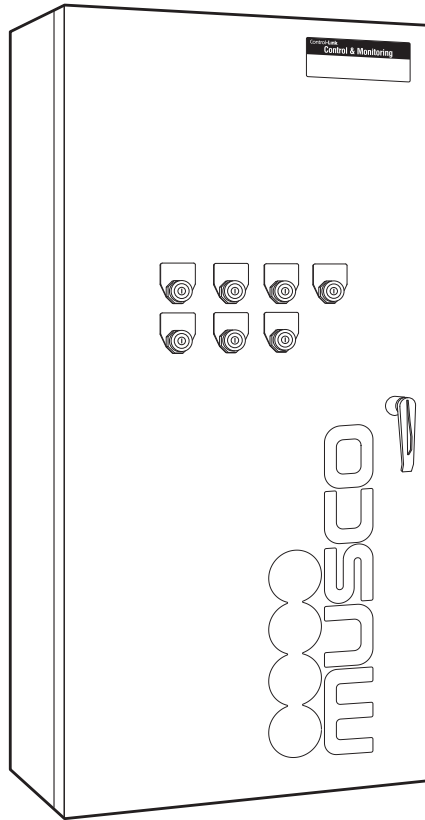
#### Footnotes:

- 1) Rated wattage is the power consumption, including driver efficiency losses, at stabilized operation in 25°C ambient temperature environment.
- 2) Operating current includes allowance for 0.90 minimum power factor, operating temperature, and LED light source manufacturing tolerances.

#### Notes

1. Use thermal magnetic HID-rated or D-curve circuit breakers.
2. See *Musco Control System Summary* for circuit information.





## Overview

Control-Link® Control and Monitoring System provides remote on/off control, dimming, system monitoring, and management of your lighting system.

## Features

- Engineered to work with Musco's TLC for LED® lighting technology
- Durable construction may be mounted inside or outside
- Factory assembled and wired, in our UL-authorized manufacturing facility

## Control

- Lighting system and auxiliary equipment
- Control options: Control-Link website, smartphone app, phone call, or email up to 10 years in advance
- Seven controllable lighting zones
- Three customizable dimming levels (factory set at 100%, 50%, 20%)
- Door-mounted or remote-mounted off/on/auto switches allow for manual override of automated control

## Monitoring

- Detects luminaire outages and other issues that affect light quality

## Management and Support

- Control-Link Central™ service center provides support 24 hours a day, 7 days a week for scheduling, monitoring, and reporting
- Luminaire outage notification within the next business day
- Multi-level user security settings
- Customized usage reports through website

## Technical Specifications

### Control and Monitoring Cabinet Ratings

UL 508A Listed .....	E204954
CE declaration .....	LVD, EMC, RoHS
IEC 60439-1 compliant .....	UL test report 05NK26317
IEC Emissions/Immunity .....	Class A compliant
Operating temperature .....	-4°F to 140°F (-20°C to 60°C)
FCC Part 15 .....	Class A compliant
Weight for 72 inch (1829 mm) cabinet .....	180 lb (82 kg)
Weight for 48 inch (1219 mm) cabinet .....	140 lb (64 kg)
Lighting circuit voltage.....	up to 480 V
Short Circuit Current Rating (SCCR)	
with 30 A contactors* .....	18 kA
with 60 or 100 A contactors* .....	25 kA
*Minimum circuit breaker interrupt rating must be greater than or equal to SCCR rating listed above.	

### Construction

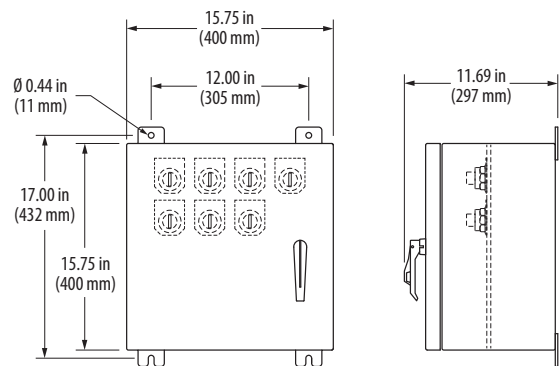
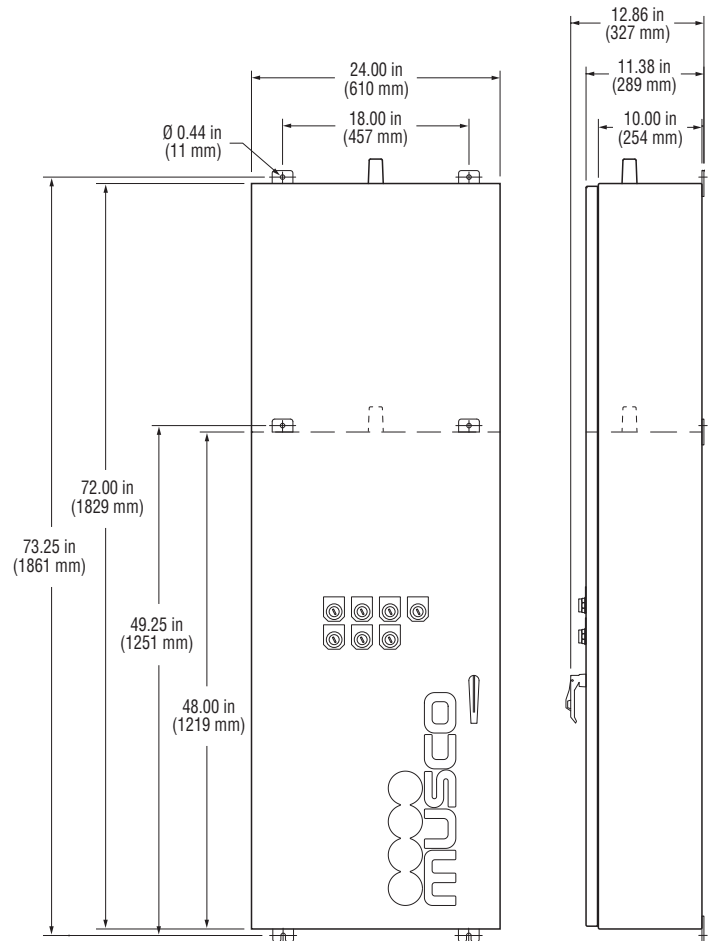
- NEMA type 4 (IP65) cabinet
- Powder-coated aluminum 5052 H32 cabinet and panel
- Lockable, 3-point latch

### Off/On/Auto Manual Switches Cabinet (optional)

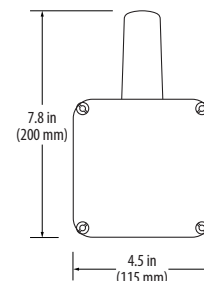
- NEMA type 4 (IP65) cabinet
- Powder-coated aluminum 5052 H32 cabinet and panel
- Lockable door
- Hinged interior panel for switch mounting

### Remote Wireless Antenna Cabinet (for wireless communication)

- Cast aluminum with texture gray paint finish
- Omnidirectional antenna
- Operating temperature: -40°C (-40°F) to 85°C to (185°F)
- Frequency: 900 MHz, 868 MHz, or 2.4 GHz



Manual switches cabinet



Remote wireless antenna cabinet

## Internal Details

- Factory wired, programmed, and tested
- Internally fused
- Control power terminal blocks provided
- One control circuit operates entire cabinet
- Plug-in wire harnesses provided to connect multiple cabinets

## Control Module

Receives and stores schedules from Control-Link Central™ service center, operates your equipment, and verifies schedules were carried out.

- Executes scheduled on/off or dimming events.
- Stores schedules for up to 7 days
- Reboots automatically and executes current schedule when power is restored, in case of power interruption
- Monitors Musco lighting system and reports issues to keep facilities operating and to help plan routine maintenance
- Alerts Control-Link Central service center to schedule appropriate action or maintenance

## Communication Modules

Communication with Control-Link Central via integrated, high speed, cellular connection with no additional monthly charges during the warranty period.

Communication with light poles via powerline communication or wireless communication.

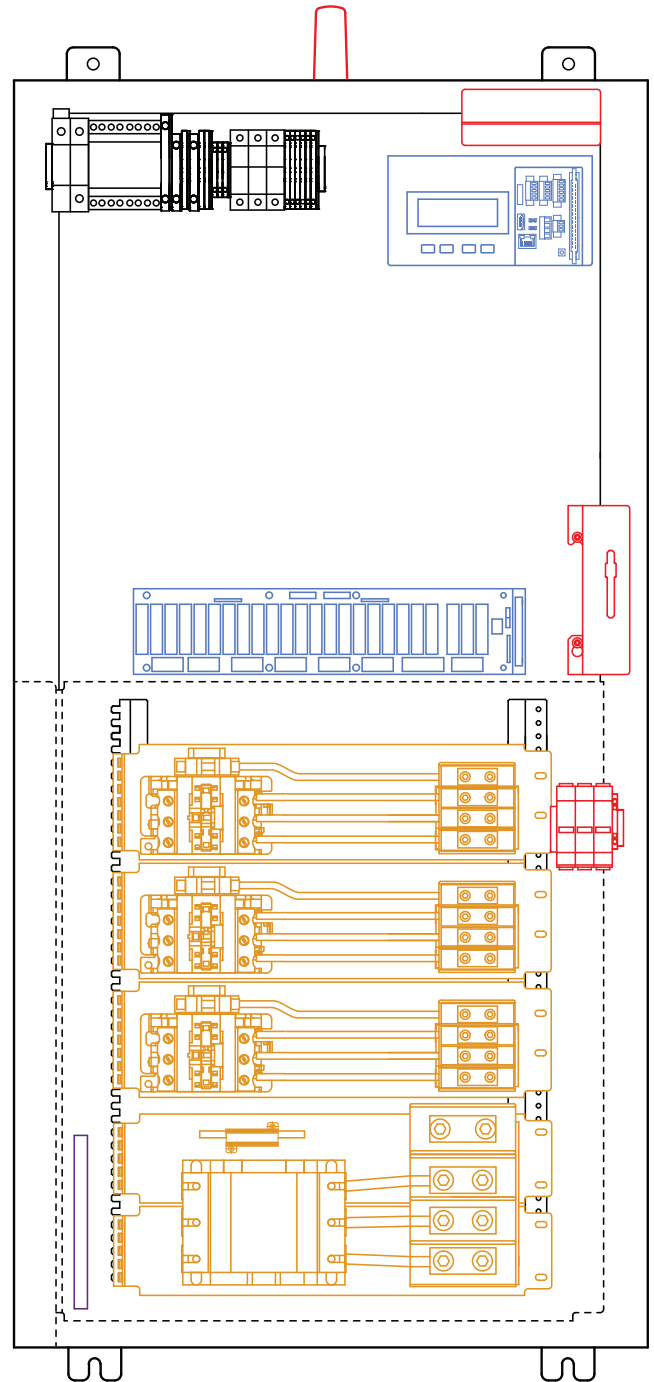
- Wireless communication requires a dedicated antenna, mounted minimum of 3 ft (0.91 m) above the cellular antenna and 7 ft (2.13 m) total distance away with line of sight to lighting poles.

## Contactor Modules

Tested and UL-listed for continuous operation. Field wiring terminated at load side of contactors for lighting circuits.

## Ground Bar

Provides integral ground bar for lighting equipment grounding.







## G. PROJECT INSTALLATIONS



**Baseball**

- Badger Baseball** S A  
Lake Geneva, Wisconsin
- Ballpark Commons Stadium**  
Franklin, Wisconsin
- Beaver Dam High School Baseball** S  
Beaver Dam, Wisconsin
- Carl Kuss Field – Regner Park** S A  
West Bend, Wisconsin
- Cedar Grove, Little League**  
Cedar Grove, Wisconsin
- Fox Cities Stadium** S C A  
MiLB – Wisconsin Timber Rattlers  
Appleton, Wisconsin
- Kretz Park Baseball**  
Antigo, Wisconsin
- Lake Country Ball Park** S A  
West Allis, Wisconsin
- Lake Geneva High School** S A  
Lake Geneva, Wisconsin
- Lakemen Field** S  
Waupaca, Wisconsin
- Lincoln High School**  
Wisconsin Rapids, Wisconsin
- Menasha Youth Sports**  
Menasha, Wisconsin
- Merrill Community Park**  
Merrill, Wisconsin
- Miller Park** S C  
MLB – Home of the Milwaukee Brewers  
Milwaukee, Wisconsin
- Milwaukee School of Engineering**  
Milwaukee, Wisconsin
- Simmons Park** S  
Kenosha, Wisconsin
- VFW Memorial Park**  
Freedom, Wisconsin
- Wildwood Park**  
Sheboygan, Wisconsin

**Softball**

- Conservancy Place Athletic Complex**  
De Forest, Wisconsin
- Memorial Park**  
Denmark, Wisconsin
- Shawano Memorial Park Fields A & C**  
Shawano, Wisconsin
- University of Wisconsin – Green Bay** S  
Green Bay, Wisconsin
- UW – Whitewater Softball** S  
Whitewater, Wisconsin

**Tennis**

- Bloomer Tennis**  
Bloomer, Wisconsin
- Green Island Park**  
LaCrosse, Wisconsin
- Hart Park**  
Wauwatosa, Wisconsin
- University of Wisconsin – Madison**  
Cole Beach Tennis  
Madison, Wisconsin
- University of Wisconsin – Madison**  
Nielson Tennis Complex  
Madison, Wisconsin

**Multi-Facility**

- Amery Athletic Complex** S  
Football, Baseball & Softball  
Amery, Wisconsin
- Bakken Park**  
Softball, Skatepark, Pickleball, Tennis, & Rugby  
Cottage Grove, Wisconsin
- Baldwin-Woodville High School** S  
Football & Baseball  
Baldwin, Wisconsin
- East Troy High School** S  
Football & Soccer  
East Troy, Wisconsin
- Ebben Field Athletic Complex**  
Baseball & Tennis  
Wauwatosa, Wisconsin
- Hudson High School Athletic Complex**  
Soccer & Tennis  
Hudson, Wisconsin
- Kaukauna High School**  
Football & Soccer  
Kaukauna, Wisconsin
- Nicolet High School** S A C  
Football, Soccer, Tennis & Softball  
Mukwonago, Wisconsin
- Platteville High School Athletic Complex\*\*** S C  
Football & Soccer  
Platteville, Wisconsin
- River Ridge Athletic Complex**  
Football, Baseball & Softball  
Patch Grove, Wisconsin
- University of Wisconsin – LaCrosse**  
Soccer & Recreation Fields  
LaCrosse, Wisconsin
- University of Wisconsin – Madison**  
Near West Intramural Complex  
Madison, Wisconsin
- University of Wisconsin – Oshkosh**  
Intramural Fields & Soccer  
Struthers, Ohio
- UWSP Sports Fields** S  
Football & Soccer  
Stevens Point - Wisconsin
- UW Superior**  
Soccer & Track  
Wauwatosa, Wisconsin
- Verona High School Sports Complex**  
Football, Soccer, Tennis, Baseball & Softball  
Verona, Wisconsin
- Waupun High School Veterans Stadium** S  
Waupun, Wisconsin

**Pickleball**

- Village Park\*\***  
Menomonee Falls, Wisconsin
- William McFarland Park**  
McFarland, Wisconsin

**Soccer**

- Nouryon Sports Complex**  
Green Bay, Wisconsin
- Tosa East Field**  
Wauwatosa, Wisconsin
- University of Wisconsin – Green Bay**  
Green Bay, Wisconsin
- University of Wisconsin - Stout**  
Menomonie, Wisconsin

**Football**

- Alma Center High School\*\*** S  
Alma Center, Wisconsin
- Amherst High School**  
Amherst, Wisconsin
- Ashley Football Field**  
Sun Prairie, Wisconsin
- Banta Bowl at Lawrence University** S C  
Appleton, Wisconsin
- Boyceville High School Football**  
Boyceville, Wisconsin
- Brookfield Central & East High Schools**  
Brookfield, Wisconsin
- Carthage College Football** S  
Kenosha, Wisconsin
- Chilton High School** S C  
Chilton, Wisconsin
- De Pere High School Football**  
De Pere, Wisconsin
- Eau Claire Memorial Football** S  
Eau Claire, Wisconsin
- Eau Claire North High School Football** S  
Eau Claire, Wisconsin
- Green Bay Southwest Football\*\*** S C  
Wales, Wisconsin
- Horicon High School**  
Horicon, Wisconsin
- Kettle Moraine Football\*\*** S C  
Merrill, Wisconsin
- Ladysmith High School Football**  
Ladysmith, Wisconsin
- Lakeland Union High School Football** S  
Minocqua, Wisconsin
- Lambeau Field**  
NFL – Home of the Green Bay Packers  
Green Bay, Wisconsin
- Madison Memorial High School**  
Madison, Wisconsin
- Middleton Cross Plains Football** S  
Middleton, Wisconsin
- Mondovi High School Football**  
Mondovi, Wisconsin
- New Glarus Football Field** S  
New Glarus, Wisconsin
- Preble High School** S C  
Green Bay, Wisconsin
- Racine Case Athletic Fields\*\*** S  
Racine, Wisconsin
- Ripon College** S C  
Ripon, Wisconsin
- River Falls High School** S  
River Falls, Wisconsin
- Sparta High School** S C  
Sparta, Wisconsin
- Tomahawk High School Football**  
Tomahawk, Wisconsin
- Waukesha North, South & West High Schools**  
Waukesha, Wisconsin
- Waupaca High School**  
Waupaca, Wisconsin
- Webster High School Football**  
Webster, Wisconsin



\*Partial Listing \*\*Under Construction

S Show-Light+ C RGBW A RGB-U S Show-Light

Musco Sports Lighting, LLC 2008, 2024 • M-1330-enUS-9

[www.musco.com](http://www.musco.com) • [lighting@musco.com](mailto:lighting@musco.com)

**1977**

**Musco Metal  
Halide System**

40 years of research, increasing efficiency and minimizing environmental impact.

**Today**

**Musco LED  
System**

**Today**

**Other Luminaire  
Manufacturer  
LED**





11333 N. Cedarburg Road  
Mequon, WI 53092-1930  
Phone: 262/236-2914  
Fax: 262/242-9655

---

[www.cityofmequonwi.gov](http://www.cityofmequonwi.gov)

**Community Development**

**TO: Planning Commission**  
**FROM: Jac Zader, Assistant Director Community Development**  
**DATE: April 27, 2026**  
**SUBJECT: The Victory Companies, Inc. for Timmis. The applicant is seeking conditional use grant amendment approval to allow for a modification to the regulations of the warming drawer temperature for the guest house located at 3131 W. Donges Bay Road.**

---

**Background:**

The applicant requests a conditional use grant amendment for an existing guesthouse located at 3131 W Donges Bay Road. The 3.85 -acre property is zoned R-2 (2 acre minimum). Guesthouses are allowed as a conditional use in the R-2 zoning district. On December 4, 2024, the Planning Commission approved the Conditional Use with the stipulation that the warming oven shall not exceed 200 degrees. Upon final inspection for the guesthouse, it was discovered that the installed warming oven has a maximum temperature of 210 degrees based on the installation manual. The requested amendment is to allow the warming oven to be greater than 200 degrees but not to exceed 210 degrees.

**Conditional Use Amendment:**

One of the requirements of a guesthouse is that it may not contain a stove, oven, range or cooktop. This requirement is in place based on the definition of a guesthouse, which is a detached structure with living quarters, without a kitchen and intended for the temporary stay of occasional guests. At the time of the original request, staff recommended, as a condition of approval, that warmer drawer be removed from the plan since they have some limited ability to cook food similar to an oven. The Planning Commission, after lengthy discussion, allowed the use of a warming drawer on the condition that the maximum temperature is 200 degrees to limit its ability to cook food. Upon final inspection of the guesthouse, it was determined that the installed warming drawer did not comply with the Planning Commission condition of approval.

The applicant states that while other units were available that met the condition, they were not brands sourced by their supplier. Staff also found several units (see attached documentation) that would comply with the 200 degree requirement. They go on to say that the 200 degree requirement was not a logical choice and made arbitrarily. Staff does not take a position on the merits of the argument but believes that the correct path to address the applicant's position of a condition arbitrarily placed upon them was to appeal the decision to Board of Appeals. Since it is now beyond the appeal period, the only option is to ask for a modification through an

amendment to the conditional use. The applicant has conceded that there were other options available to comply with the 200 degree limit of the oven. but chose not to explore those options. Based on this, staff does not believe there is a valid argument or hardship to modify the requirement of the original approval and does not support the amendment.

**Staff Recommendation:**

Planning staff recommends **denial** of the conditional use grant amendment based on the following reason(s):

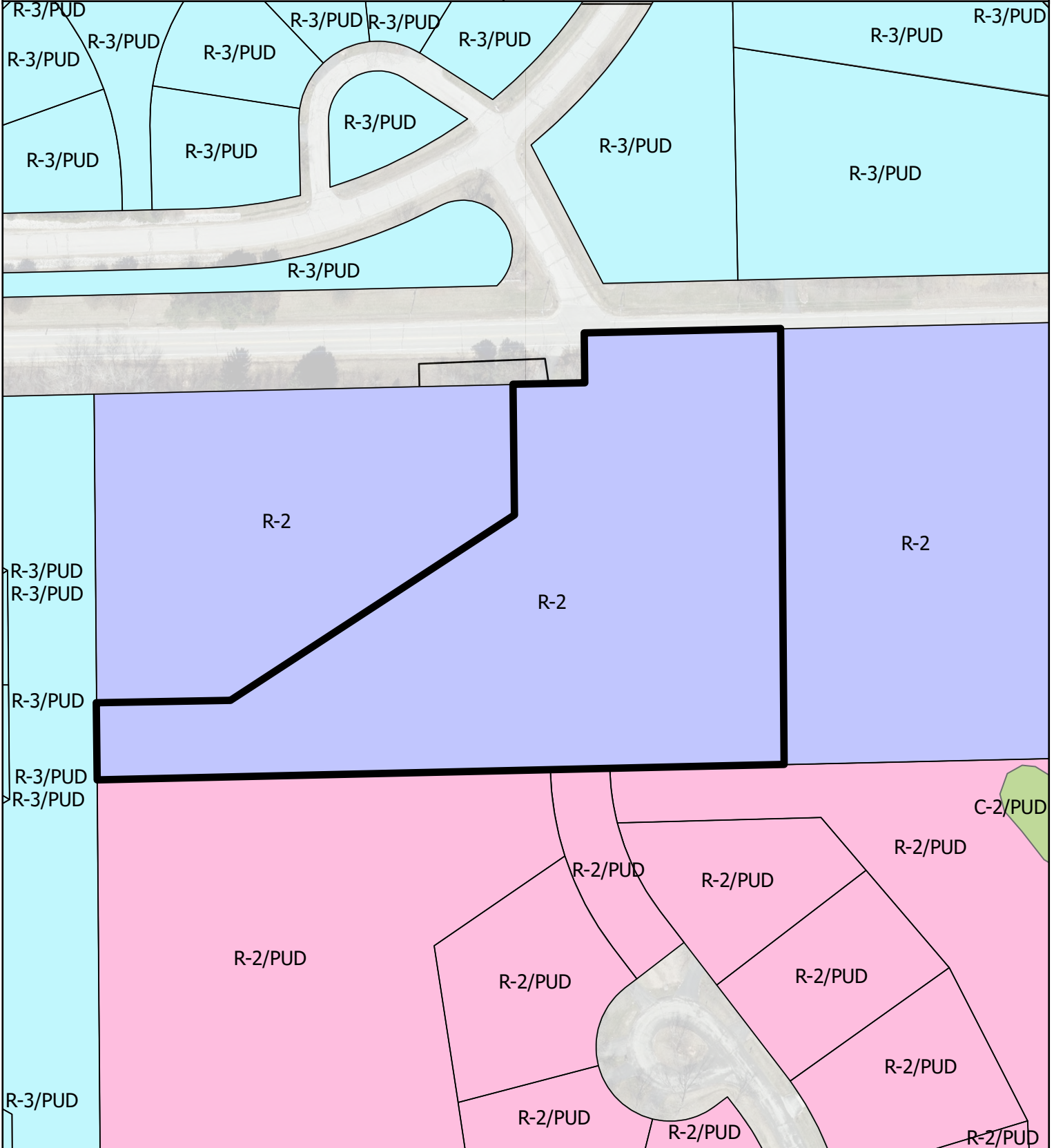
1. There are several manufacturers that have warming ovens designed to comply with the requirement.

Attachments:

Packet Docs\_Timmis

# VICTORY HOMES

AC	Arrival Corridor	IPS	Institutional & Public Service
A-1	Agricultural Preserve	NC	Neighborhood Commercial
A-2	General Agricultural	OA	Agricultural Overlay
B-1	Neighborhood Business	PUD	Planned Unit Development Overlay
B-2	Community Business	P-1	Park & Recreation
B-3	Office & Service Business	R-1	Single-Family Residential (5 Ac. Min.)
B-4	Business Park	R-1B	Single-Family Residential (2.5 Ac. Min.)
B-5	Light Industrial	R-2	Single-Family Residential (2 Ac. Min.)
B-6	Rural Industrial	R-2B	Single-Family Residential (1.5 Ac. Min.)
B-7	Rural Business	R-3	Single-Family Residential (1 Ac. Min.)
C-1	Shoreland/Wetland Conservancy	R-4	Single-Family Residential (3/4 Ac. Min.)
C-2	General Conservancy	R-5	Single-Family Residential (1/2 Ac. Min.)
CGO	Central Growth Overlay	R-6	Single-Family Residential (4 DU/Ac.)
FFO	Flood Fringe Overlay	RM	Multi-Family Residential
FW	Floodway	TC	Town Center
IPS	Institutional & Public Service	TDR	Transfer of Development Rights



## **Applicant Narrative**

I was able to find a couple other units that met the 200degree temp spec as well, but was told that they are not brands that were sourced by our normal supplier. My understanding of the entire situation was that in order for the pool house to be approved, it could not have a kitchen with the ability to cook a meal from within. An appliance such as a “warming drawer” would be allowed. The catch is, that the 200degree max temperature specification was made without research on the typical temperature range of these types of appliances. While our appliance meets the intent of the approval for a “warming drawer”, it misses the mark on the max temp. The request of the planning commission is to see the sense in this and realize that the 200degree temperature specification was not a logical choice, but one made arbitrarily and that it should be amended on the basis that we met the intent of providing an appliance that is a warming drawer only.

Could a different warming drawer have been chosen? Maybe, but none of the warming drawers are able to cook a meal, and therefore that is the mindset that should be considered.

# PKW7000SPSS

## GE Profile™ Series 27" Warming Drawer

### DIMENSIONS AND INSTALLATION INFORMATION (IN INCHES)

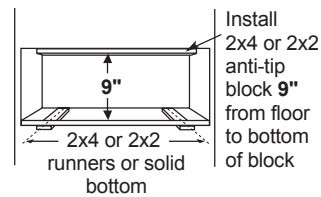
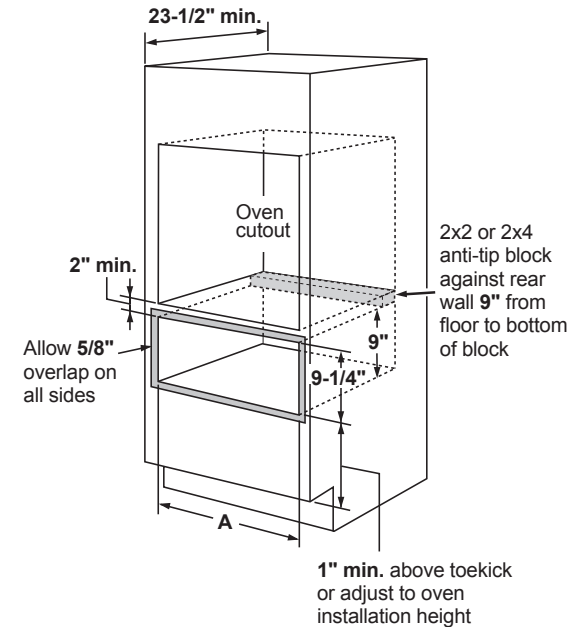
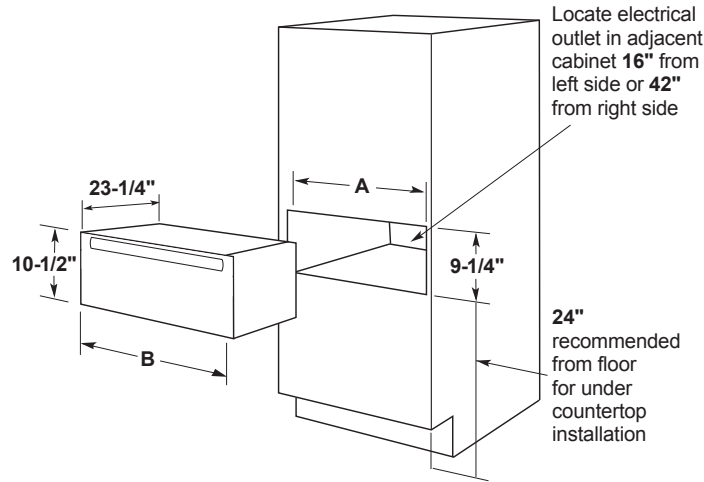
**UNDERCOUNTER INSTALLATION:** A solid barrier must be installed at least 1" from the lowest point of the bottom of cooktop burner box to the top of the cutout. Use any solid material such as 1/4"-thick plywood. Allow at least 1/4" air gap between the barrier and the top of the warming drawer. See label on top of the warming drawer for approved cooktop models.

**UNDER OVEN INSTALLATION:** Additional clearance between cutouts may be required. Check to be sure that oven supports above the warming drawer location do not obstruct the required interior 23-1/2" depth and 9-1/4" height.

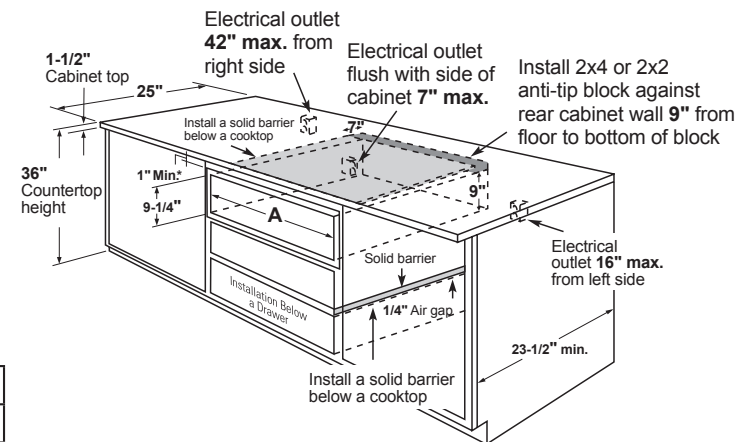
Door handle protrudes 2-3/4" from door face. Cabinets and drawers on adjacent 45° and 90° walls should be placed to avoid interference with the handle.

**INSTALLATION INFORMATION:** Before installing, consult installation instructions packed with product for current dimensional data.

KW RATING	
120V	.45
BREAKER SIZE	
120V	15 Amps



(Must Support 150 lbs.)



	A	B
<b>27" DRAWER</b>	25-1/2"	26-3/4"
<b>30" DRAWER</b>	28-1/2"	29-3/4"



For answers to your GE Profile™ or GE Appliances product questions, visit our website at [geappliances.com](http://geappliances.com) or call GE Answer Center® Service, 800.626.2000.



Specification Created 7/20

# PKW7000SPSS

## *GE Profile™ Series 27" Warming Drawer*

### **FEATURES AND BENEFITS**

Variable temperature control – Address any heating need with variable temperature control that provides a wide range of temperatures

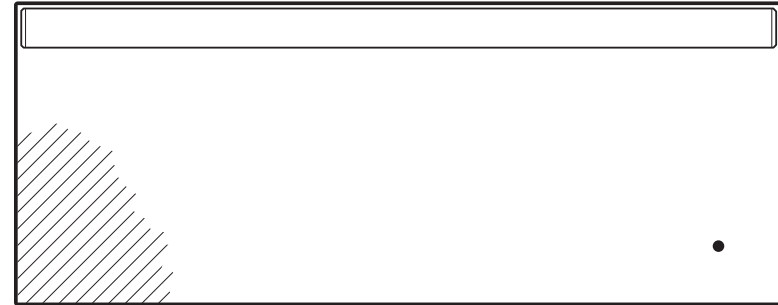
Variable humidity control – Maintain any food's desired texture thanks to variable humidity control with customized warming capabilities

Frameless drawer front – Enjoy a modern, seamless look with a frameless drawer front

“On” indicator light – Always know when your drawer is on with an indicator light that illuminates when it's in operation

Half rack – Warm more items at once thanks to a half rack that maximizes drawer space

Model PKW7000SPSS – Stainless Steel



- **Sub-Zero/Wolf:** Ranges from 80°F to 200°F (27°C to 93°C).
- **KitchenAid:** Offers settings from 170°F to 190°F (77°C to 88°C), with slow cook settings up to 250°F (121°C) [according to a Houzz discussion](#).
- **Viking:** Temperatures range from 90°F to 250°F (32°C to 121°C) [according to Village Home Stores](#).
- **Miele:** Features a range of 104°F to 185°F (40°C to 85°C) [according to BigCentric.com](#).
- **Bosch:** The 500 series has a range of 100°F to 190°F (38°C to 88°C) and includes a dough proofing mode, [according to Best Buy](#).
- **Jenn-Air:** Some models can reach a maximum temperature of 225°F (107°C) according to Plesser's Appliances.



# 30" Warming Drawer

500 Series – Stainless Steel HWD5051UC



**HWD5051UC**  
Stainless Steel

The warming drawer keeps meals hot and is designed to match the perfectly flush fit of a Bosch wall, speed or steam oven.

### Features & Benefits

The warming drawer has 3 settings to keep meals hot and ready to serve.

Installs vertically under Bosch speed, steam or wall oven.

Matches Bosch built-in products. Install either flush or proud.

### General Properties

Power levels	High, low, medium
Dough proofing mode	Yes
Temperature range	100°-190° F
Timer 5 min.- 5 hours	Yes
Automatic shut off after 1 hour	Yes
Door opening	Push to Open
Hinges	Ball bearing hinges
Wattage heating element	450W
Control type	Illuminated TouchControl

### Capacity

Cavity capacity	2.2 cu. ft.
-----------------	-------------

### Technical Details

Watts	450 W
Circuit breaker	15 A
Volts	120 V
Frequency	60 Hz
Power cord length	84"
Plug type	120V-3 prong

### Dimensions & Weight

Overall appliance dimensions (HxWxD)	9 7/16" x 29 3/4" x 23 1/2"
Required cutout size (HxWxD)	9 1/4" x 28 1/2" x 23 1/2"
Net weight	58 lbs

### Accessories—Included

Installation brackets	Installation brackets to install drawer below speed or steam oven in one cut out (identical to single wall oven cut out). Products still need to be hooked up individually.
-----------------------	---



**Accessories:** To purchase Bosch accessories, cleaners & parts please visit [www.bosch-home.com/us/store](http://www.bosch-home.com/us/store) or call 1-800-944-2904 (Mon to Fri 5 am to 6 pm PST, Sat 6 am to 3 pm PST).

**Notes:** All height, width and depth dimensions are shown in inches. BSH reserves the absolute and unrestricted right to change product materials and specifications, at any time, without notice. Consult the product's installation instructions for final dimensional data and other details prior to making cutout.

**Warranties:** Please see Use & Care manual or Bosch website for statement of limited warranty.

**For more information on our entire line of products, go to [www.bosch-home.com/us](http://www.bosch-home.com/us) or call 1-800-944-2904**

© BSH Home Appliances Corporation. All rights reserved. Bosch is a registered trademark of Robert Bosch GmbH.

# 30" Warming Drawer

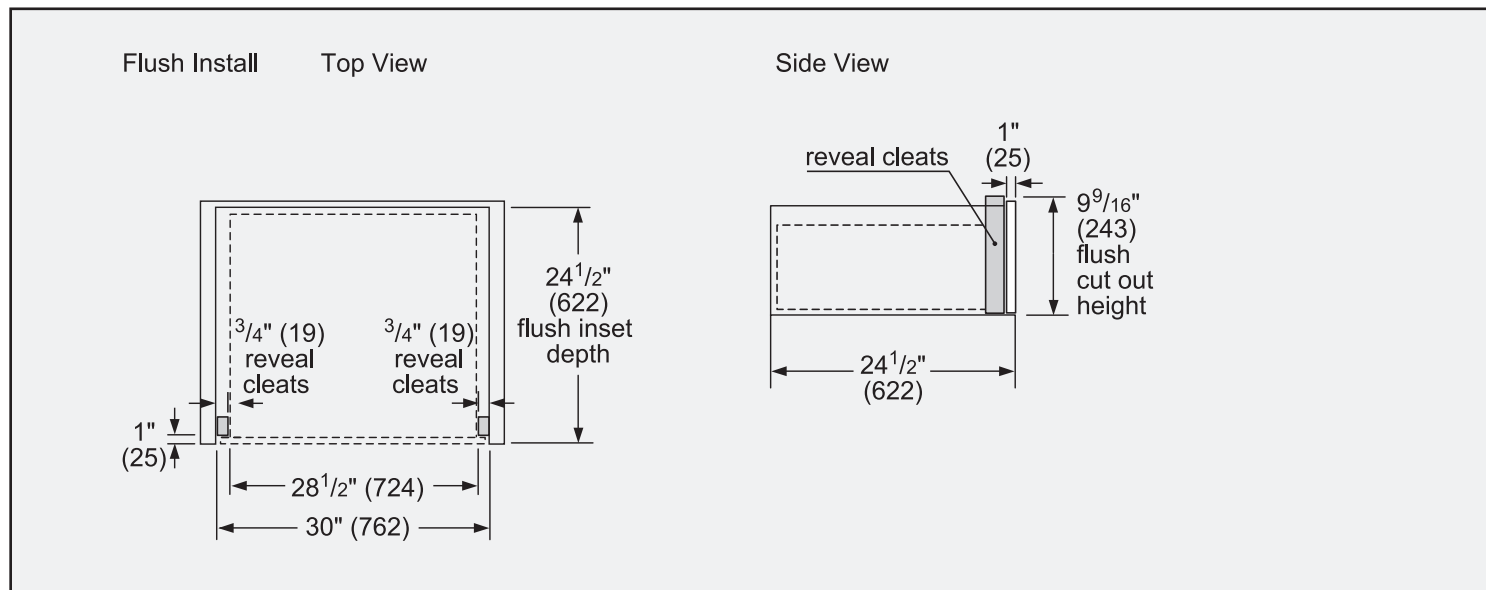
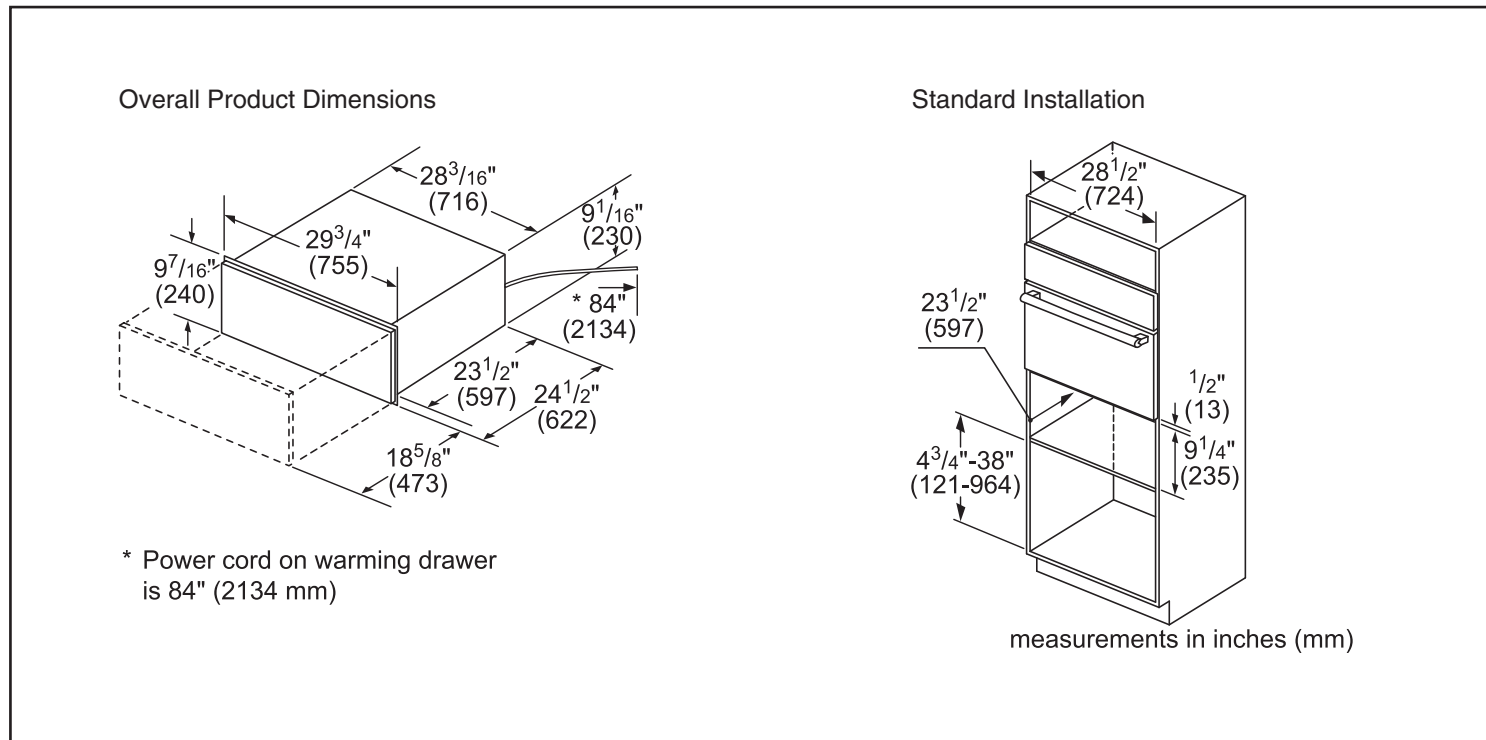
500 Series – Stainless Steel HWD5051UC



**BOSCH**

Invented for life

## Installation Details



**Accessories:** To purchase Bosch accessories, cleaners & parts please visit [www.bosch-home.com/us/store](http://www.bosch-home.com/us/store) or call 1-800-944-2904 (Mon to Fri 5 am to 6 pm PST, Sat 6 am to 3 pm PST).

**Notes:** All height, width and depth dimensions are shown in inches. BSH reserves the absolute and unrestricted right to change product materials and specifications, at any time, without notice. Consult the product's installation instructions for final dimensional data and other details prior to making cutout.

**Warranties:** Please see Use & Care manual or Bosch website for statement of limited warranty.

**For more information on our entire line of products, go to [www.bosch-home.com/us](http://www.bosch-home.com/us) or call 1-800-944-2904**

© BSH Home Appliances Corporation. All rights reserved. Bosch is a registered trademark of Robert Bosch GmbH.

# 30" Warming Drawer

500 Series – Stainless Steel HWD5051UC



**BOSCH**

Invented for life

## Installation Details

**Standard Installation**  
30" Single Oven over Storage or Warming Drawer

\* Wall oven junction box may be located above or right or left of the unit within reach of the power conduit.  
\*\* Electrical hook up may be located below (depending on space) or next to the drawer within the reach of the power cord.

minimum  $\frac{3}{4}$ " (18mm) required between cutouts

measurements in inches (mm)

**Flush Installation**  
Single Oven over Storage or Warming Drawer

Side View

Single Wall Oven

\* IMPORTANT: base has to be able to support oven weight. Please check oven manual for minimum weight requirements.

minimum  $\frac{1}{2}$ " (13) required between cutouts\*

Warming Drawer

measurements in inches (mm)

**Standard Installation**  
30" Double Oven over Storage or Warming Drawer

minimum  $\frac{3}{4}$ " (18mm) required between cutouts

measurements in inches (mm)

\* Wall oven junction box may be located above or right or left of the unit within reach of the power conduit.  
\*\* Electrical hook up may be located below (depending on space) or next to the drawer within the reach of the power cord.

**Flush Installation**  
Double Oven over Storage or Warming Drawer

Side View

Double Wall Oven

\* IMPORTANT: base has to be able to support oven weight. Please check oven manual for minimum weight requirements.

minimum  $\frac{1}{2}$ " (13) required between cutouts\*

Warming Drawer

measurements in inches (mm)

**Accessories:** To purchase Bosch accessories, cleaners & parts please visit [www.bosch-home.com/us/store](http://www.bosch-home.com/us/store) or call 1-800-944-2904 (Mon to Fri 5 am to 6 pm PST, Sat 6 am to 3 pm PST).

**Notes:** All height, width and depth dimensions are shown in inches. BSH reserves the absolute and unrestricted right to change product materials and specifications, at any time, without notice. Consult the product's installation instructions for final dimensional data and other details prior to making cutout.

**Warranties:** Please see Use & Care manual or Bosch website for statement of limited warranty.

**For more information on our entire line of products, go to [www.bosch-home.com/us](http://www.bosch-home.com/us) or call 1-800-944-2904**

© BSH Home Appliances Corporation. All rights reserved. Bosch is a registered trademark of Robert Bosch GmbH.

# 30" Warming Drawer

500 Series – Stainless Steel HWD5051UC



**BOSCH**

Invented for life

## Installation Details

**Standard Installation**  
Steam or Speed Oven Over Drawer

\* For installation into a wall cabinet, the receptacle may be installed above, below, or to the left or right of the unit within range of the power cord.

**Flush Installation**  
Steam or Speed Oven Over Drawer

Side View

Measurements in inches (mm)

**Standard Installation**  
Combination Oven over Storage or Warming Drawer

measurements in inches (mm)

\* Wall oven junction box may be located above or right or left of the unit within reach of the power conduit.

\*\*Electrical hook up may be located below (depending on space) or next to the drawer within the reach of the power cord.

**Flush Installation**  
Combination Oven over Storage or Warming Drawer

Side View

measurements in inches (mm)

\* IMPORTANT: base has to be able to support oven weight. Please check oven manual for minimum weight requirements.

**Accessories:** To purchase Bosch accessories, cleaners & parts please visit [www.bosch-home.com/us/store](http://www.bosch-home.com/us/store) or call 1-800-944-2904 (Mon to Fri 5 am to 6 pm PST, Sat 6 am to 3 pm PST).

**Notes:** All height, width and depth dimensions are shown in inches. BSH reserves the absolute and unrestricted right to change product materials and specifications, at any time, without notice. Consult the product's installation instructions for final dimensional data and other details prior to making cutout.

**Warranties:** Please see Use & Care manual or Bosch website for statement of limited warranty.

**For more information on our entire line of products, go to [www.bosch-home.com/us](http://www.bosch-home.com/us) or call 1-800-944-2904**

© BSH Home Appliances Corporation. All rights reserved. Bosch is a registered trademark of Robert Bosch GmbH.

# 30" Warming Drawer

500 Series – Stainless Steel HWD5051UC



**BOSCH**  
Invented for life

## Bosch Side-By-Side Built-In Oven Approved Combination Guide

Single ovens, microwaves, speed ovens, and drawers approved by BSH Home Appliances Corporation to be installed in combination.

**IMPORTANT:** When installing an oven in combination, a minimum distance between the ovens is required. Refer to the oven installation manual for all other measurements.

Do not install a self-cleaning oven beside another self-cleaning oven.

Appliances that are not listed must be approved under local codes and/or by the local authority having jurisdiction. For the latest updates to the approved combination, refer to the website listed in your appliance's installation instructions.

### Approved Combinations

Conventional Ovens	Built-in Microwaves	Steam Ovens	Speed Ovens	Warming Drawer
HBLxxx1RUC, HBLxxx4RUC, HBLxxx1LUC, HBLxxx4LUC, HBLxxx1UC, HBLxxx3UC, HBLxxx4UC, HBNxxx1UC	HMB50152UC	HSLP451UC	HMC80152UC, HMC80252UC, HMC80242UC, HMCP0252UC	HWD5051UC
<b>Coffee maker with trim kit</b>				
BCM8450UC + HEZCMT3050				

Refer to product installation instructions.

The suitability of the following combination has been evaluated by CSA.

Conventional Ovens	Steam Ovens	Warming Drawer
HBLxxx1RUC, HBLxxx4RUC, HBLxxx1LUC, HBLxxx4LUC, HBLxxx1UC, HBLxxx3UC, HBLxxx4UC, HBNxxx1UC	HSLP451UC	HWD5051UC

Refer to product installation instructions.

Configuration	Left Oven Type	Middle Oven Type	Right Oven Type
Side-by-side-by-side 1	Conventional oven	Steam/speed/microwave	Conventional oven
Side-by-side-by-side 2	Steam, speed, or microwave	Conventional oven**	Steam, speed, or microwave

\*\* Bottom hinge door models only. Side hinge door not recommended.

**Accessories:** To purchase Bosch accessories, cleaners & parts please visit [www.bosch-home.com/us/store](http://www.bosch-home.com/us/store) or call 1-800-944-2904 (Mon to Fri 5 am to 6 pm PST, Sat 6 am to 3 pm PST).

**Notes:** All height, width and depth dimensions are shown in inches. BSH reserves the absolute and unrestricted right to change product materials and specifications, at any time, without notice. Consult the product's installation instructions for final dimensional data and other details prior to making cutout.

**Warranties:** Please see Use & Care manual or Bosch website for statement of limited warranty.

**For more information on our entire line of products, go to [www.bosch-home.com/us](http://www.bosch-home.com/us) or call 1-800-944-2904**

© BSH Home Appliances Corporation. All rights reserved. Bosch is a registered trademark of Robert Bosch GmbH.

# 30" Warming Drawer

500 Series – Stainless Steel HWD5051UC



**BOSCH**  
Invented for life

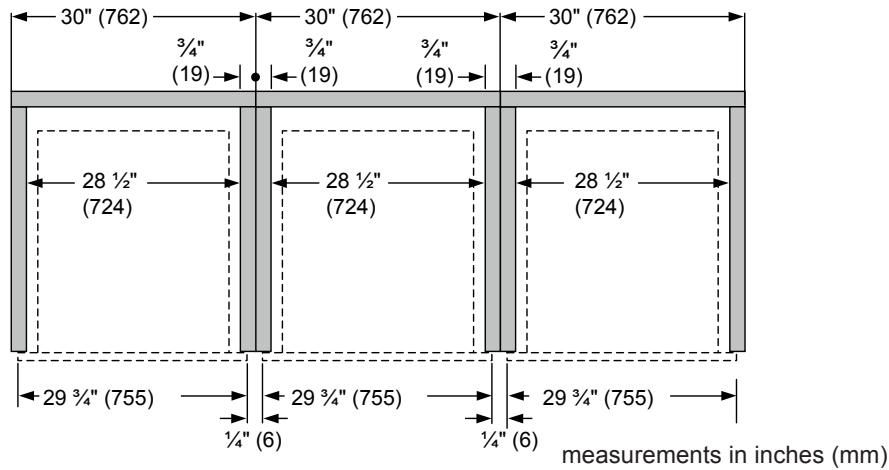


## Side-by-Side-by-Side Installation

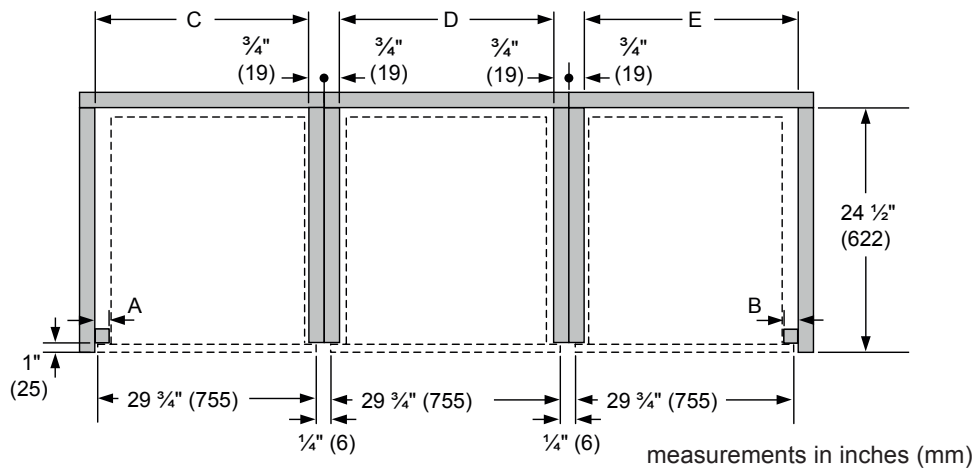
Combination type	Left oven type	Middle oven type	Right oven type
<b>Side-by-side-by-side 1</b>	Conventional oven	Steam/speed/microwave	Conventional oven
<b>Side-by-side-by-side 2</b>	Steam, speed, or microwave	Conventional oven**	Steam, speed, or microwave

\*\*Bottom hinge door modules only. Side hinge door not recommended.

### Standard Installation Side-by-side-by-side



### Flush Installation Side-by-side-by-side



Combination type	A – Left reveal cleat	B – Right reveal cleat	C – Cutout width	D – Cutout width	E – Cutout width
<b>Flush bottom hinge door</b>	3/4" (19)	3/4" (19)	29 1/4" (743)	28 1/2" (724)	29 1/4" (743)
<b>Flush left hinge door</b>	1 1/2" (38)	N/A*	30" (762)	N/A*	N/A*
<b>Flush right hinge door</b>	N/A*	1 1/2" (38)	N/A*	N/A*	30" (762)

\*Installation not recommended.

( )=mm

**Accessories:** To purchase Bosch accessories, cleaners & parts please visit [www.bosch-home.com/us/store](http://www.bosch-home.com/us/store) or call 1-800-944-2904 (Mon to Fri 5 am to 6 pm PST, Sat 6 am to 3 pm PST).

**Notes:** All height, width and depth dimensions are shown in inches. BSH reserves the absolute and unrestricted right to change product materials and specifications, at any time, without notice. Consult the product's installation instructions for final dimensional data and other details prior to making cutout.

**Warranties:** Please see Use & Care manual or Bosch website for statement of limited warranty.

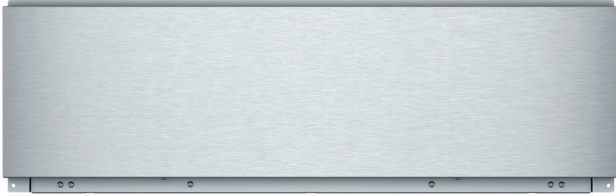
**For more information on our entire line of products, go to [www.bosch-home.com/us](http://www.bosch-home.com/us) or call 1-800-944-2904**

© BSH Home Appliances Corporation. All rights reserved. Bosch is a registered trademark of Robert Bosch GmbH.

# WD30WC

## 30-INCH WARMING DRAWER

PUSH TO OPEN



### FEATURES & BENEFITS

- Our warming drawer is the perfect combination of uncompromising performance, unique convenience features and elegant design
- Warming mode with four convenient temperature settings
- Drawer installs vertically under Thermador speed, steam or wall oven

### GENERAL PROPERTIES

Power Levels	Low, Med, High, Proof
Dough Proofing Mode	Yes
Temperature Settings	100° – 190° F
Timer	5 min. – 5 hours
Automatic Shut Off	After 1 hour
Door Opening	Push to Open
Control Type	Illuminated Touch Control

### CAPACITY

Cavity Capacity	2.2 cu. ft.
-----------------	-------------

### TECHNICAL DETAILS

Watts	450 W
Circuit Breaker	15 A
Volts	120 V
Frequency	60 Hz
Power Cord Length	84"
Plug Type	120V 3 Prong

### DIMENSIONS & WEIGHT

Overall Appliance Dimensions (HxWxD)	9 7/16" x 29 3/4" x 24 1/2"
Required Cutout Size (HxWxD) – Standard	9 1/4" x 28 1/2" x 23 1/2"
Required Cutout Size (HxWxD) – Flush	9 9/16" x 30" x 24 1/2"
Net Weight	55 lbs

### WARRANTY

Limited Warranty Parts and Labor	2 Year
----------------------------------	--------

†To be fully ADA compliant, these units must be installed according to ADA guidelines. Please check current ADA requirements for guidance on installation.

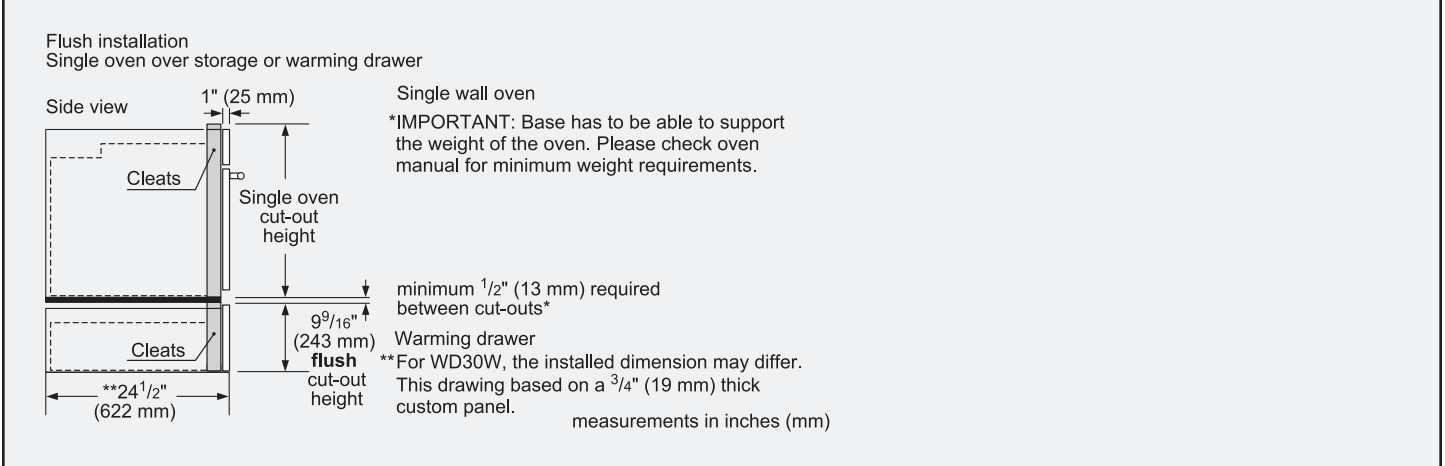
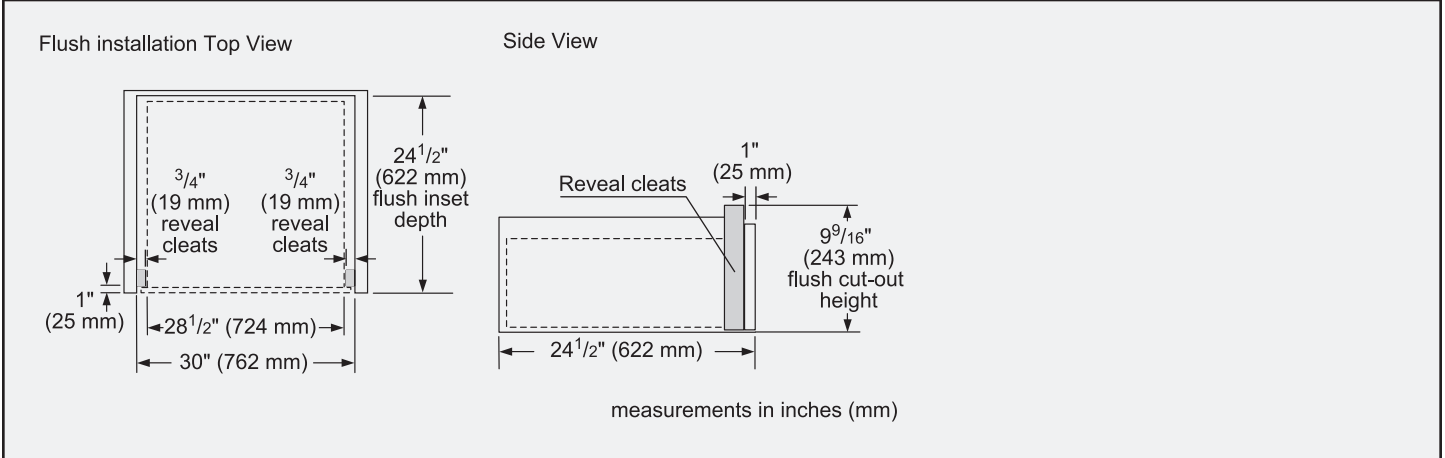
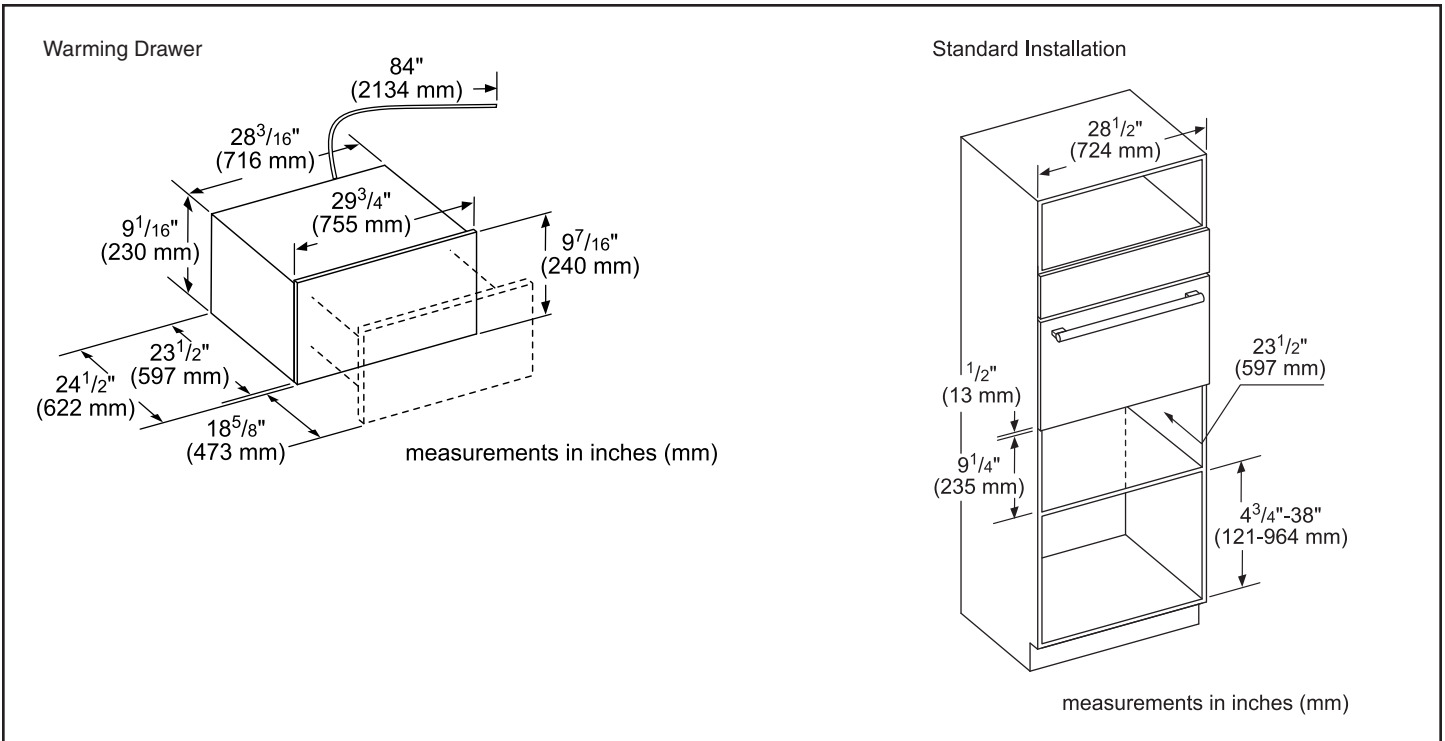
# WD30WC

## 30-INCH WARMING DRAWER

PUSH TO OPEN



### 30-INCH WARMING DRAWER AND CUTOUT DIMENSIONS



# WD30WC

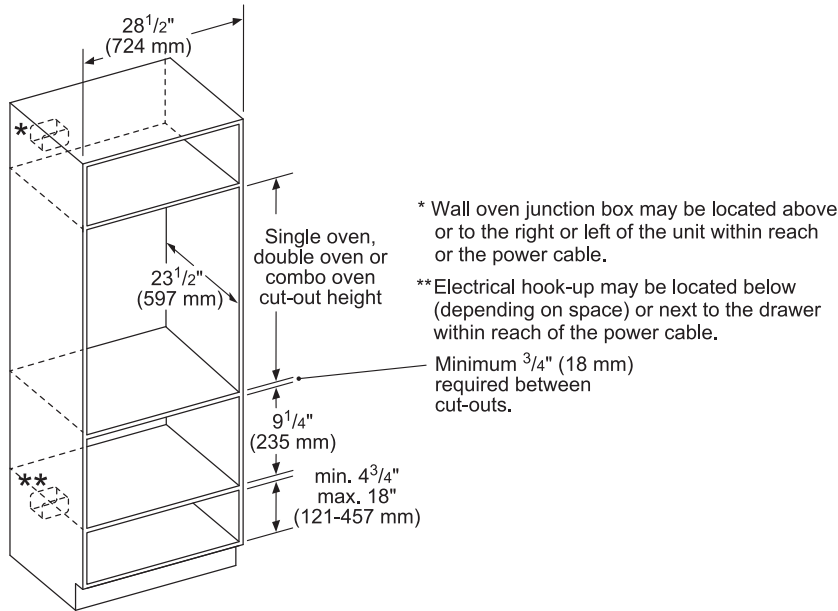
## 30-INCH WARMING DRAWER

PUSH TO OPEN



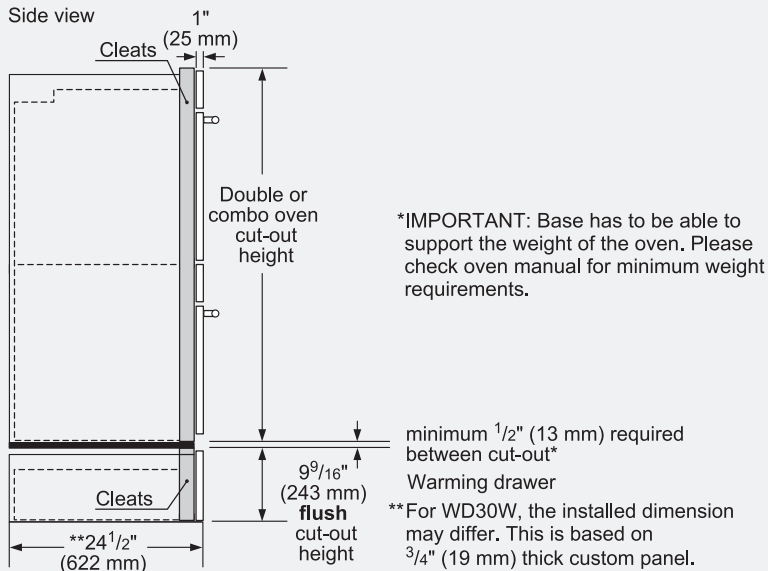
### INSTALLATION DETAILS

Standard installation  
Single oven, double oven or combo oven over warming or storage drawer



measurements in inches (mm)

Flush installation  
Double or combo oven over storage or warming drawer



measurements in inches (mm)

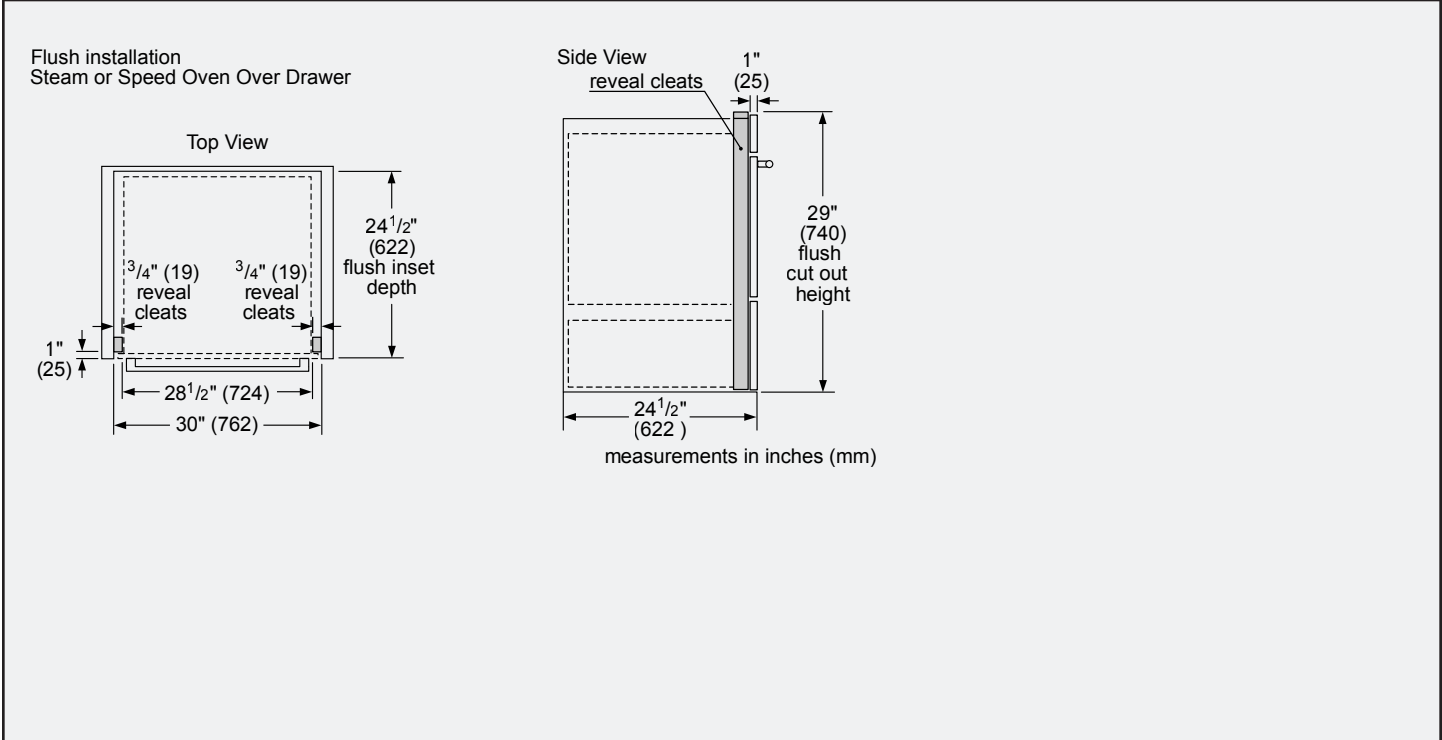
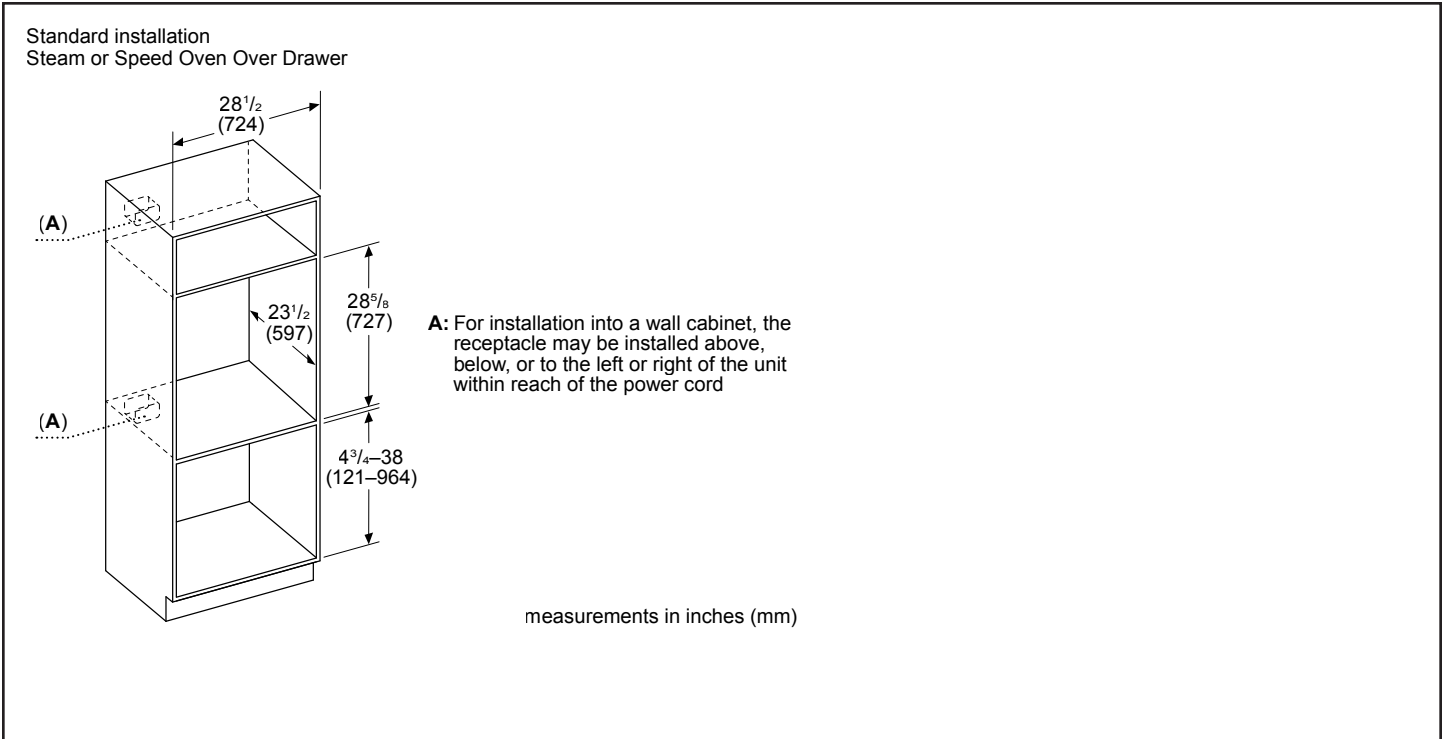
# WD30WC

## 30-INCH WARMING DRAWER

PUSH TO OPEN



### INSTALLATION DETAILS



These warranties give you specific legal rights and you may have other rights that vary from state to state. Limited warranty from date of delivery. For complete warranty details, refer to your Use & Care manual, or ask your dealer.

Specifications are for planning purposes only. Refer to installation instructions and consult your countertop supplier prior to making counter opening. Consult with a heating and ventilation engineer for your specific ventilation requirements. For the most detailed information, refer to installation instructions accompanying product or write to Thermador indicating the model number. Specifications are correct at time of printing. Thermador reserves the right to change product specifications or design without notice. Some models are certified for use in Canada. Thermador is not responsible for products that are transported from the U.S. for use in Canada.

**2) Consent**

- a) I-Mequon 1 LLC for ICAP Development. The Applicant is seeking minor request for sign waiver approval to allow for a monument sign to be built prior to development of the site located at 10931 N. Port Washington Road and for off premises signage to benefit 10921 N. Port Washington Road.
- b) Mark Hilgendorf for Trinity Lutheran Church. The applicant is seeking certified survey map approval to allow for a 2-lot land division for the property located at 11450 N. Wauwatosa Road.
- c) Pointe Real Estate. The applicant is seeking final plat approval to allow for Phase 1 of the Swan Ridge Farms subdivision consisting of a total of 41-lots for the lands immediately south of and west of 10129 N. Swan Road.

**Action**

Commissioner Stoker made a motion to approve the three items on the Consent Agenda.  
Ald. Strzelczyk seconded the motion.  
*A voice vote was taken; vote passed (7-0)*

<b>RESULT:</b>	<b>APPROVED [7 TO 0]</b>
<b>MOVER:</b>	John Stoker, Commissioner
<b>SECONDER:</b>	Robert Strzelczyk, Alderman
<b>AYES:</b>	Nerbun, Strzelczyk, Barnes, Choren, Schaefer, Stoker, Urbani
<b>ABSENT:</b>	Hawley

**3) Public Hearing**

- a) **Victory Homes of Wisconsin for Brian & Carolyn Timmis.** The applicant is seeking conditional use grant approval to allow for a guest house for the property located at 3131 W. Donges Bay Road.

Commissioner Stoker recused himself.

**Action**

Commissioner Choren made a motion to open a public hearing.  
Ald. Strzelczyk seconded the motion.  
*A voice vote was taken; vote passed (7-0)*

**Public Comment**

No public comment

**Action**

Commissioner Choren made a motion to close the public hearing.  
Commission Schaefer seconded the motion.  
*A voice vote was taken; vote passed (7-0)*

Assistant Director Jac Zader stated that this request is for a guest house on an R-2 zoned property which requires a conditional use grant. The only unresolved issue is the warming drawer which staff consider a stove/oven and request that it be removed from the submittal. Other than this one issue, staff recommend approval.

The applicant explained that the warming drawer is not for cooking but for keeping food items warm at the pool house. They specifically designed the plan without a stove for cooking.

Asst. Dir. Zader cautioned the Commission that some warming drawers can be used like a slow cooker and that this issue is really an interpretation of the code, but cautioned that approving this could be a slippery slope for future submittals.

The Commission discussed this issue and there was consensus that the warming drawer should be allowed with the condition that it shall not exceed a specified temperature.

**Action**

Ald. Strzelczyk made a motion to approve the CUG with the condition that the warming drawer does not exceed 200 degrees.

Commissioner Choren seconded the motion.

*A voice vote was taken; vote passed (6-0)*

<b>RESULT:</b>	<b>APPROVED WITH CONDITIONS [6 TO 0]</b>
<b>MOVER:</b>	Robert Strzelczyk, Alderman
<b>SECONDER:</b>	Martin Choren, Commissioner
<b>AYES:</b>	Nerbun, Strzelczyk, Barnes, Choren, Schaefer, Urbani
<b>ABSENT:</b>	Hawley
<b>RECUSED:</b>	Stoker

b) Neil Fleischhacker for Eastwood Nest LLC. The applicant is seeking conditional use grant approval to allow for warehousing for the property located at 6300-6320 Eastwood Court.

**Action**

Commissioner Schaefer made a motion to open a public hearing.

Commissioner Stoker seconded the motion.

*A voice vote was taken; vote passed (7-0)*

**Public Comment**

No public comment

**Action**

Commissioner Schaefer made a motion to close the public hearing.

Commissioner Stoker seconded the motion.

*A voice vote was taken; vote passed (7-0)*



11333 N. Cedarburg Road  
Mequon, WI 53092-1930  
Phone: 262/236-2914  
Fax: 262/242-9655

---

[www.cityofmequonwi.gov](http://www.cityofmequonwi.gov)

Community Development

**TO:** Planning Commission  
**FROM:** Cole McCraw, Assistant City Engineer  
**DATE:** April 27, 2026  
**SUBJECT:** Mark LaLonde. The applicant is seeking development agreement and minor request approval to allow for 36,200 C.Y. of fill for contaminated soil capping for the property located at 6529 W. Highland Road ( **Remove from table**).

---

**Background:** The applicant is requesting approval for filling in excess of 1,000 cubic yards (CY) and a Development Agreement (DA) at 6529 West Highland Road. The total requested fill for this application is 36,200 CY, which is proposed as the first of several phases. The ultimate request for the property includes full-site filling with 440,000 CY of fill, intended to cap the site from environmental contaminants ahead of potential future development. The fill is proposed to be placed in approximately an 8 to 12-foot depth over the ~30 acres of non-wetland area of the property.

For context, the current application for the phase one fill quantity equates to around 2,400-3,000 dump trucks at 12-15 CY per truck, whereas the ultimate request equates to around 30,000-35,000 dump trucks.

Planning Commission approval is required for fill in excess of 1,000 CY. The applicant is requesting permission to accept fill to construct the first phase of the proposed project.

A development agreement is required to formally protect City streets from damage and define other technical requirements of the work. The DA also defines any other obligations and indemnifications as determined by the City Attorney.

The existing 63-acre property was previously utilized as a residence, an asphalt batch plant, a sand and gravel mine, a shooting range, and potentially a fill site for construction debris, foundry sand, fly ash, and soil. See environmental report from Friess Environmental Consulting (FEC). These activities resulted in various site contaminations including volatile organic compounds (VOCs) RCRA metals, and PAHs in soil/groundwater, particularly near the former asphalt plant and shooting range

Many of the above issues have been addressed according to FEC. Correspondence with the DNR shows that remedial actions are required on the site. The WDNR expectation, as summarized by FEC, include covering/capping the entire fill area per NR 500 requirements and WDNR capping guidance RR-709, obtaining Historic Fill Exemption (HFE) prior to further development of the

site, and ongoing cap maintenance.

This item previously appeared at the March Planning Commission meeting and was tabled due to the need for additional information to review the request, including:

- A revised site grading plan displaying:
  - Phase one grading only or an updated plan showing only a 2-foot cap over areas where the cap is required on the site.
  - Limits of contaminated areas.
  - POWTS soil evaluation locations and consideration for leaving these areas unfilled.
  - Specimen tree locations labeled with size and species
- A haul route map minimizing hauling on City streets.
- Correspondence from WDNR confirming that the proposed fill would cap the contamination from further spreading and would allow for a future residential development.
- A Development Agreement (DA), and associated Planning Commission application for a DA.

To address the request above, the applicant submitted an updated grading plan, a haul route, clarification of WDNR requirements, and a Planning Commission application for DA consideration.

**Engineering Report:** Cole McCraw, Assistant City Engineer, has reviewed the application and has the following comments:

According to WDNR guidance (see RR-709), “soil covers may be used to prevent direct contact exposure to contaminated soils.” The applicant provided a WDNR-issued NOI/WRAPP permit. If the need arises, staff may require a third-party environmental professional to review environmental aspects of the request and the work.

The applicant provided a phased plan that divided the ultimate grading plan into 11 areas. This figure is attached to this item. Each phase appears to propose 8 to 12 feet of fill over 2-4 acres of the property. The applicant’s preference is to fill the full 8 to 12-foot depth in each phase prior to pursuing further development for two main reasons. First, it avoids having to topsoil and restore the fill areas twice, and second, it mitigates the risk of impacting the cap during further fill activity, which requires additional effort and coordination with WDNR.

*Fill Requirements:*

A hauling route will be required that shows minimized trucking on City streets. The haul route submitted shows hauling from the site west on Highland Road to both north and south on Wauwatosa Road (STH 181). A haul bond will be required to guarantee against damage to City streets due to hauling activities. Staff will require a haul bond for the work. The haul route and haul route bond are intended to protect City streets from the increase in the amount of hauled material. The development agreement will define the haul bond amount and the applicant’s

obligations.

City staff will confirm that the natural drainage pattern of the site will be maintained, and that off-site drainage will not be affected. This work would also require implementation of a stormwater management plan.

Planning Commission approval and the fill permit is valid for one year. Before the end of the permit term and the condition of the fill permit issuance, the applicant must submit an as-built grading record meeting the approved grading plan and conforming to SSLD 8.4. At that point, if the applicant wishes to proceed with further phases, Planning Commission approval will be required. It is anticipated that the applicant will request authorization of additional phasing, which will also come to the Planning Commission for approval. If the implementation of multiple phases overlaps, the requirements for completion of each individual phase and administration of requirements for new phasing will be addressed through an amendment to the initial development agreement, or through authorization through a future agreement.

The site is accessed through an existing driveway on Highland Road. A signage plan will be required due to the trucking volume.

Filling operations requiring three or more feet of fill shall require construction observation during placement per SSLD 6.0.6.

*General Requirements:*

The City will require a development agreement for this work. The development agreement would be limited to the filling, hauling, and grading activities associated with this permit and would not establish requirements for any future subdivision or subsequent development of the property. The agreement will establish:

- Requirements for pre- and post-construction road condition documentation
- Defined repair responsibilities and procedures
- Technical specifications for filling, erosion control, and stormwater management
- Any additional liability or indemnification provisions necessary to protect the City.

The language will be based on the Common Council-approved DA template as found in Appendix G of the Mequon SSLD, which can be found on the city website here: <https://www.cityofmequonwi.gov/media/10631>

Section 25 and 50 of the template DA define standard requirements for condition documentation, repair responsibility, and haul bond terms, which the DA refers to as the “street wear financial guarantee.” Since the haul bond is normally based on lot quantity, staff suggests a \$15,000 bond. This is consistent with recent developments:

<b>Development</b>	<b>Haul Bond</b>	<b>Fill Quantity (Cubic Yards)</b>
Swan Ridge Farm	\$42,000	30,000
Enclave at Meq. Preserve IV	\$13,000	25,000
Riverland Meadows	\$12,000	20,000

Wetlands are present on the property and are shown on the civil plans. The assured wetland delineation report was provided with the application. No wetland disturbance is shown on the plan. Any wetland fill or disturbance must be permitted by the WDNR.

The site proposes disturbance of greater than an acre and therefore requires a stormwater management plan (SWMP). The proposed site will be required to provide additional stormwater management to meet the current City of Mequon, WDNR and MMSD criteria. The stormwater management improvements are subject to a drainage financial guarantee per Sec. 58-677 of City ordinance. The financial guarantee shall be in an amount equal to 125 percent of the estimated cost of construction and maintenance of the stormwater management practices, as determined by the city. Additionally, a stormwater maintenance and easement agreement will be required. The stormwater management facilities are subject to certification in accordance with Sec. 58-677 and 58-678 of City ordinance.

The site is not located within the City’s sewer service area and therefore is not required to connect to public sewer or water. Soil evaluation reports were not provided with the application, so the areas that private onsite wastewater treatment systems (POWTS) can be located for potential future development are unknown. Incidentally disturbing or filling over areas that can be used for POWTS may hinder the use of POWTS and therefore further land division or development on the property. Staff recommends that the soil evaluations are completed and locations indicated on a plan prior to any approval of this item.

If a future development were to occur, private wells will be required and will be regulated by the WDNR.

The improvements propose land disturbance in excess of one acre, therefore a City erosion control permit is required. The applicant provided evidence of the WDNR-required WRAPP permit for the site. The WRAPP permit, or NOI, must be obtained prior to City erosion control permit issuance.

In summary, staff supports the proposed work on phase one subject to the requirements and conditions set forth in the DA and the recommended Planning Commission approval conditions below.

**Staff Recommendations:**

Staff recommends **approval** of the request for the 36,200 CY of fill and associated grading and the development agreement, subject to the following conditions:

1. Common Council approval of the DA.
2. City attorney review and approval of the DA.
3. Engineering Division review and approval of the grading, drainage, and erosion control plans in conformance to City ordinances and the SSLD.
4. The applicant shall notify DNR Remediation and Redevelopment Program prior to any work.
5. Approval of a storm water management plan for the site in conformance to City

ordinances and MMSD Chapter 13, including execution of a Storm Water Management Maintenance and Easement Agreement with maintenance provisions for all proposed Best Management Practices (BMPs).

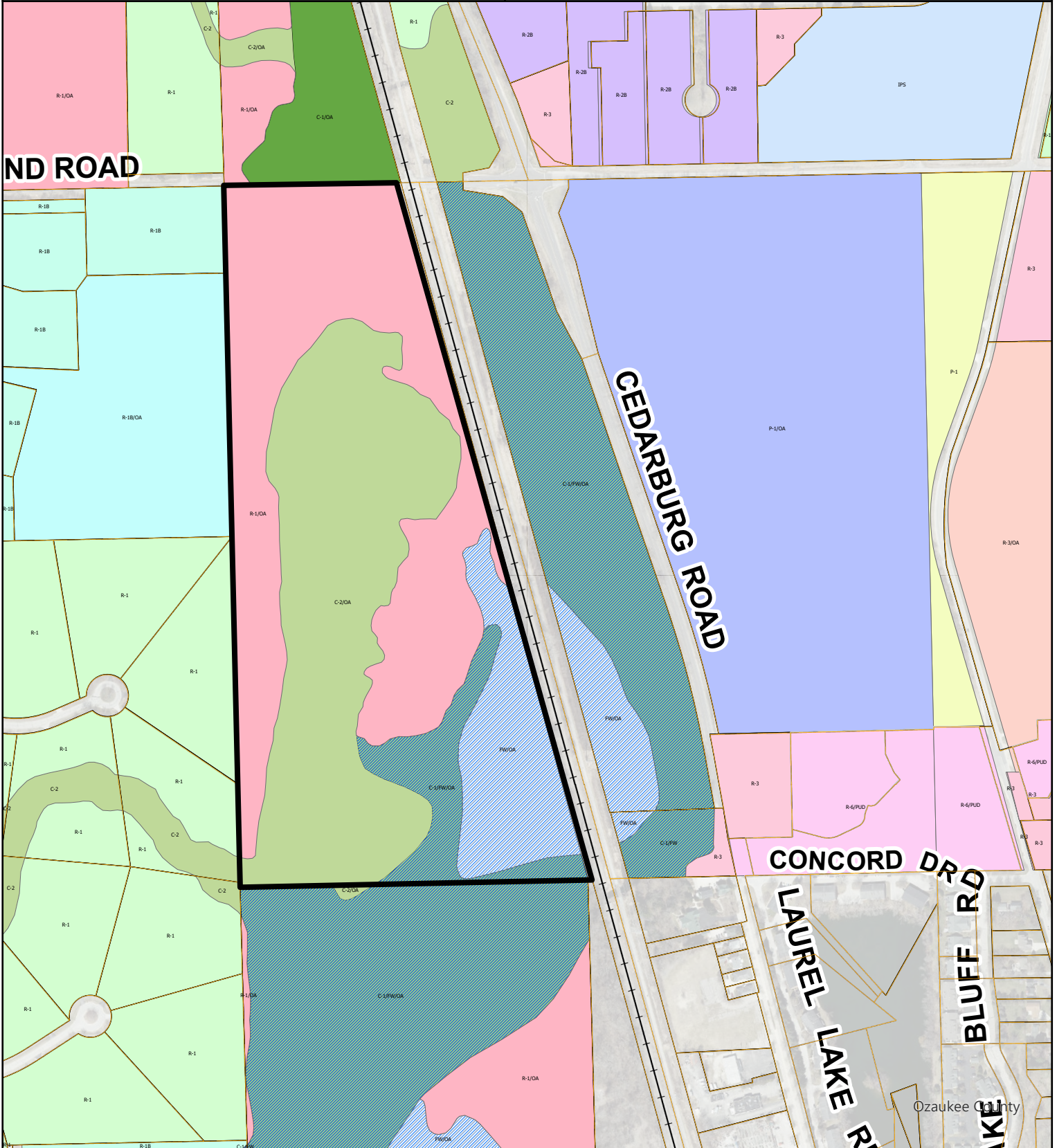
6. The City Engineer will require in accordance with City ordinance 58-677(b) that the applicant deposit an escrow or letter of credit to guarantee a good faith execution of the approved control plan and any permit conditions. The escrow / letter of credit shall be in an amount equal to 125% of the estimated cost of construction and maintenance of the storm water management practices and the City will release the portion of the Financial Guarantee less any costs incurred by the city to complete installation of practices, upon submission of a certification in accordance with 58-678(h).
7. Issuance of a City Filling, Excavation, and Berms Permit prior to any work occurring.
8. Application for and approval of a City erosion control permit, subject to applicable fees.
9. Before the end of the 1-year permit term, the applicant must submit an as-built grading record meeting the approved grading plan and conforming to SSLD 8.4. At that point, if the applicant wishes to proceed with further phases, Planning Commission approval will be required.
10. Fill and DA approvals do not guarantee any further City approvals, such as Planning Commission or Common Council, for further work or developments on the property.

Attachments:

Packet Docs\_LaLonde

# MARK LALONDE

AC	Arrival Corridor	IPS	Institutional & Public Service
A-1	Agricultural Preserve	NC	Neighborhood Commercial
A-2	General Agricultural	OA	Agricultural Overlay
B-1	Neighborhood Business	PUD	Planned Unit Development Overlay
B-2	Community Business	P-1	Park & Recreation
B-3	Office & Service Business	R-1	Single-Family Residential (5 Ac. Min.)
B-4	Business Park	R-1B	Single-Family Residential (2.5 Ac. Min.)
B-5	Light Industrial	R-2	Single-Family Residential (2 Ac. Min.)
B-6	Rural Industrial	R-2B	Single-Family Residential (1.5 Ac. Min.)
B-7	Rural Business	R-3	Single-Family Residential (1 Ac. Min.)
C-1	Shoreland/Wetland Conservancy	R-4	Single-Family Residential (3/4 Ac. Min.)
C-2	General Conservancy	R-5	Single-Family Residential (1/2 Ac. Min.)
CGO	Central Growth Overlay	R-6	Single-Family Residential (4 DU/Ac.)
FFO	Flood Fringe Overlay	RM	Multi-Family Residential
FW	Floodway	TC	Town Center
IPS	Institutional & Public Service	TDR	Transfer of Development Rights

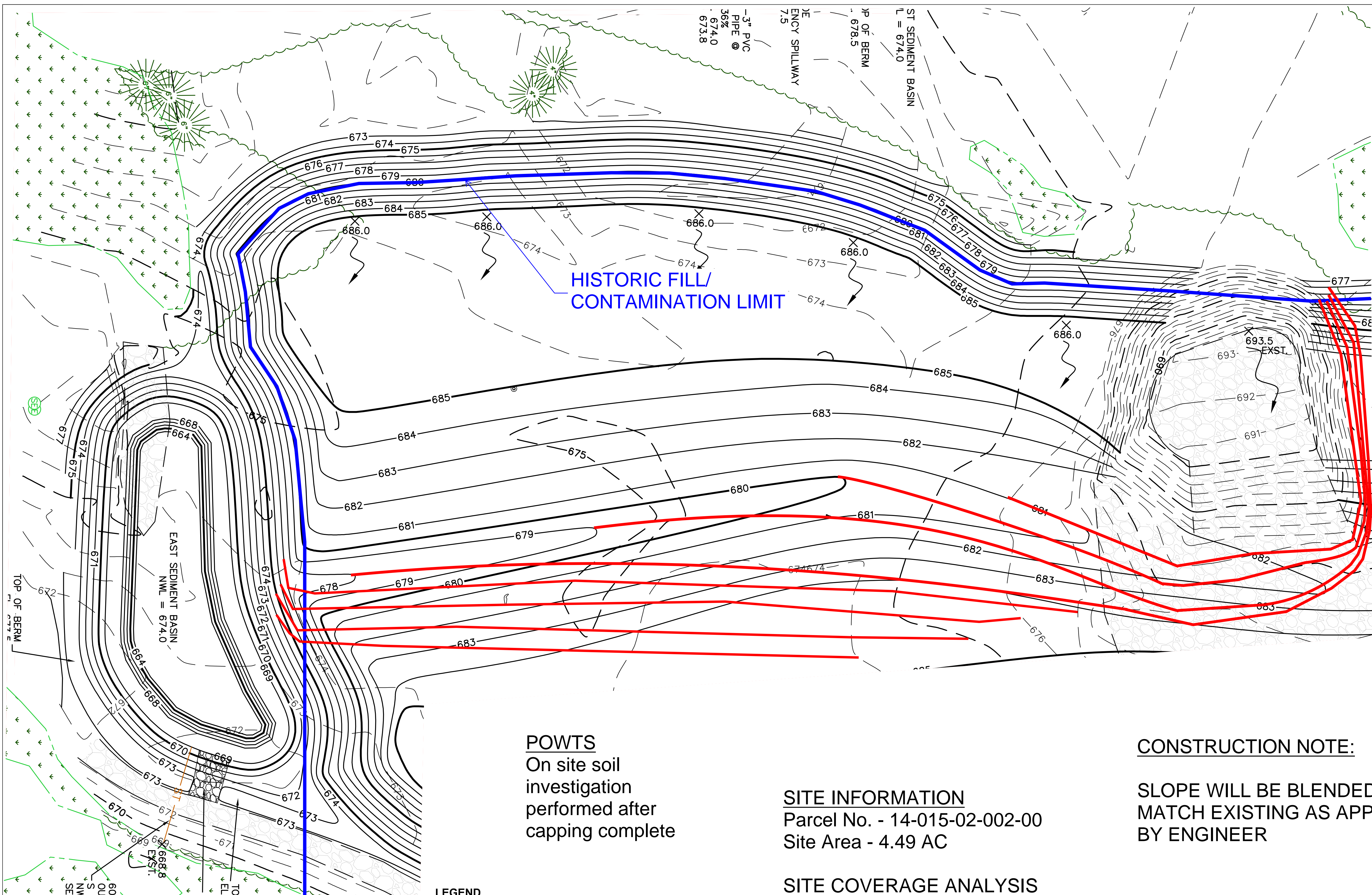


PLAN MODIFICATIONS:		
#	Date:	Description:
1	12/18/2025	CLIENT SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By:	R.S.B.
Reviewed By:	P.J.S.
Approved By:	C.A.J.

**Stage 1 Grading  
Plan ONLY**

SHEET NUMBER:  
**C1.4**  
JSD PROJECT NO: 25-15046



File: \\JSD\New Projects\2025\2515046\DWG\Civil Sheets\2515046 Cond-Draw.dwg Layout: 80scale User: Randy.Bruckner Plotmed: Dec 18, 2025 - 9:43am Xref's:

- CONSTRUCTION SCHEDULE**
- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
  - INSTALL CONSTRUCTION EXIT/UTILIZE EXISTING GRAVEL ENTRANCE.
  - INSTALL SILT FENCE.
  - INSTALL DITCH CHECKS ALONG HIGHLAND ROAD.
  - INSTALL SEDIMENT BASINS COMPLETE WITH OUTLETS, RIP RAP AND EMERGENCY SPILLWAYS.
  - BEGIN FILLING ACTIVITIES. CONTRACTOR TO GRADE SITE DURING FILLING SO THAT DRAINAGE IS DIRECTED TOWARDS EITHER SEDIMENT BASIN.
  - ONCE AN AREA HAS ESTABLISHED GRADES MATCHING THE GRADING PLAN, CONTRACTOR TO PROVIDE SEEDING/MATTING AND/OR SEEDING/MULCHING PER PLAN.
  - INSTALL SITE DITCH CHECKS.
  - ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL. NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
  - AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.

**LEGEND**

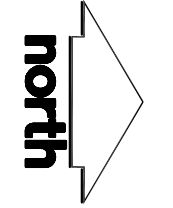
	PROPERTY LINE
	RIGHT-OF-WAY
	EASEMENT LINE
	EXISTING SITE WETLANDS
	SPOT GRADE
	PROPOSED 5 FOOT CONTOUR
	PROPOSED 1 FOOT CONTOUR
	EXISTING 1 FOOT CONTOUR
	EXISTING 5 FOOT CONTOUR
	DRAINAGE DIRECTION
	SILT FENCE
	RIP-RAP
	CONSTRUCTION ENTRANCE SEEDING W/TYPE B EROSION MATTING
	SEEDING W/HYDRO MULCH OR EQUAL
	DITCH CHECK

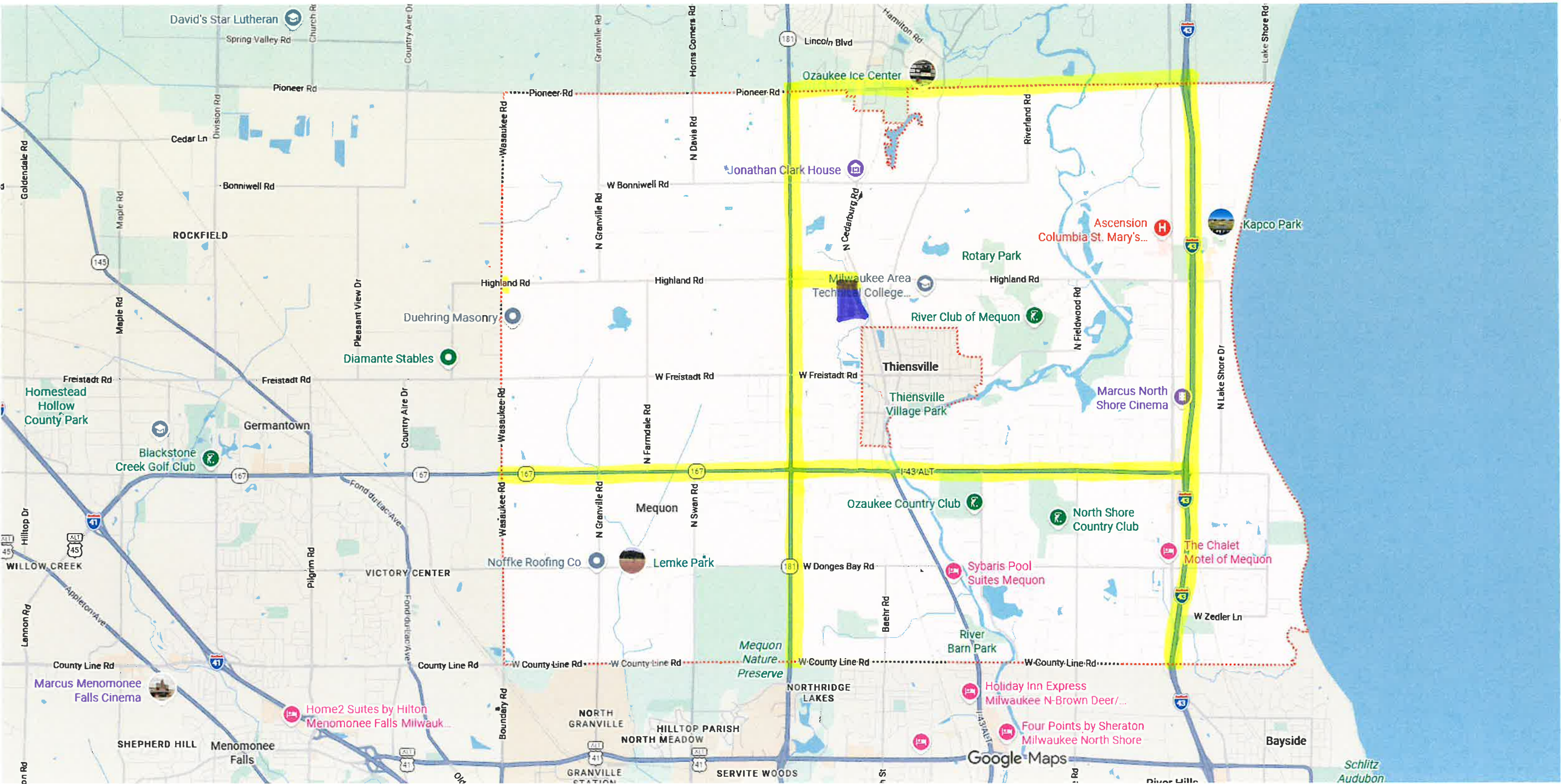
**POWTS**  
On site soil investigation performed after capping complete



**SITE INFORMATION**  
Parcel No. - 14-015-02-002-00  
Site Area - 4.49 AC

**SITE COVERAGE ANALYSIS**  
Existing Pervious Surface Area - 4.49 AC  
Existing Impervious Surface Area - 0.00 AC  
Proposed Pervious Surface Area - 4.49 AC  
Remaining Impervious Surface Area - 0.00 AC  
Proposed Net Impervious Decrease - 0.00 AC  
Disturbed Area - 4.49 AC

**CONSTRUCTION NOTE:**  
SLOPE WILL BE BLENDED TO MATCH EXISTING AS APPROVED BY ENGINEER





 Haul Route  
 Site

Cole

Please review in response FES response to your questions.

Mark LaLonde

**LaLonde Contractors, Inc.**

mark@lciwi.com

C – (414)788-0150

---

**From:** Trent Ott <tott@fecinc.us>

**Sent:** Monday, April 13, 2026 4:10 PM

**To:** Mark LaLonde <mark@lciwi.com>

**Subject:** Re: Correspondence with regards to WDNR: FES and JSD

Mark-

In response to Cole's request for information.

**#3 WDNR Correspondence & Permits**

**#3 requires you to submit : (1) correspondence from WDNR confirming the proposed fill will cap contamination from further spreading AND will allow for a future residential development.**

- The DNR is currently reviewing our status report regarding the investigation and remedial actions that we conducted at the site. Based on the results to date, the contamination is not present within the groundwater and therefore would not be considered mobile or spreading. Capping of the impacts will eliminate any potential movement of the contaminants. Capping is a commonly approved DNR remedial strategy to address any risk from direct contact from impacts such as those found at the site. As we discussed, the 2 foot layer is a minimum required by the DNR but this site will require a thicker cap to allow for proper storm water management and to allow future development to not penetrate through the cap to disturb the historic fill.

**(2) Applicant shall notify DNR Remediation & Redevelopment in writing prior to filling activity occurring and copy City staff. FEC can provide the City more direction on this when we meet, therefore, it is not noted with a deadline in the checklist. Action item for #3: nothing required at this time since more will be discussed at the meeting, but feel free to send additional clarification to us (from FEC or DNR) on these items ahead of our meeting.**

-As discussed, we (yourself and FEC) met with DNR R&R staff on April 8th, 2026. DNR is currently reviewing our submittal for internal peer review and will respond to us

with comments. During the meeting, the DNR requested that a Historic Fill Construction Exemption be requested for the site, which will be submitted by FEC on behalf of the property owner. The DNR was made aware of potential future development ideas and, although they could not speak to capping means or methods, they did indicate that a thicker cap would be beneficial for future property use. FEC will continue to work with the DNR to achieve site closure to allow for redevelopment. Please let me know if you or the City have additional questions.  
Trent.

Trenton J. Ott  
Project Manager  
Friess Environmental Consulting, Inc.  
office (414) 228-9815  
mobile (414) 688-6683  
[tott@fecinc.us](mailto:tott@fecinc.us)

On 4/1/2026 9:35 AM, Cole McCraw wrote:

### **#3 WDNR Correspondence & Permits**

#3 requires you to submit : (1)  
correspondence from WDNR confirming the proposed fill will cap contamination from further spreading AND will allow for a future residential development; and to complete: (2)  
Applicant shall notify DNR Remediation & Redevelopment in writing prior to filling activity occurring and copy City staff. FES can provide the City more direction on this when we meet, therefore, it is not noted with a deadline in the checklist. **Action item for #3: nothing required at this time since more will be discussed at the meeting, but feel free to send additional clarification to us (from FES or DNR) on these items ahead of our meeting.**

The story about this land to share with the board is as follows:

Historically this land was used as a dump site after being mined for gravel. The dump site was filled and is now monitored and regulated by the DNR Freiss environmental and me. I purchased the site and engaged FEC as my environmental consultant to satisfy the DNR's requested operations for property clean up and have the wells monitored to allow for the site to be capped(filled) for redevelopment. As outlined in the "property status report" we have completed these required operations and are moving forward to get a city permit to start the capping(filling) operations. I have hired JSD to do the civil work required to get these permits and have submitted our initial plan for filling the site. As noted in our meeting, the plans will need to be reviewed yearly as the land contours and ultimate end use of the land is not yet determined. We have been working on the site for several years without issue and have made good progress in improving the property. We hope to continue working to improve the site with the approval of these permits. All necessary WDRN permits are approved and included. I have engaged Herr Septic to assist in the evaluation and planning for site development as it pertains to the septic systems for the land. We are looking to get our city permits as soon as possible to continue the cleanup and improvement of the site in 2026.

# Phasing Plan

Total = 252,138 CY

Section	Area [SF]	Area [AC]	Volume [CY]	1/2 Volume [CY]
1	195,642	4.49	36,180	18,090
2	120,142	2.76	22,218	11,109
3	109,741	2.52	20,294	10,147
4	118,392	2.72	21,894	10,947
5	92,304	2.12	17,070	8,535
6	144,255	3.31	26,677	13,338
7	148,955	3.42	27,546	13,773
8	103,086	2.37	19,064	9,532
9	124,801	2.87	23,079	11,540
10	128,132	2.94	23,695	11,848
11	77,979	1.79	14,421	7,210

Total Area 1,363,428 SF  
31.3 AC

SHEET INDEX	
C1.0	EROSION CONTROL PLAN & OVERALL GRADING PLAN
C1.1	SITE GRADING PLAN NORTH
C1.2	SITE GRADING PLAN SOUTH
C2.0	SITE DETAILS
H1.0	HYDRAULIC CALCULATIONS & SUBCATCHMENTS EXISTING CONDITIONS SURVEY



CREATE THE VISION TELL THE STORY

jsdinc.com

MILWAUKEE REGIONAL OFFICE  
W238 N1610 BUSSE ROAD, SUITE 100  
WAUKESHA, WISCONSIN 53188  
P. 262.513.0666

CLIENT:  
**Lalonde Contractors, Inc.**  
Attn: Mark Lalonde

CLIENT ADDRESS:  
**1609 Lincoln Ave.**  
Waukesha, WI 53186

PROJECT:  
**6529 Highland Road**

PROJECT LOCATION:  
**Mequon, WI, 53092**

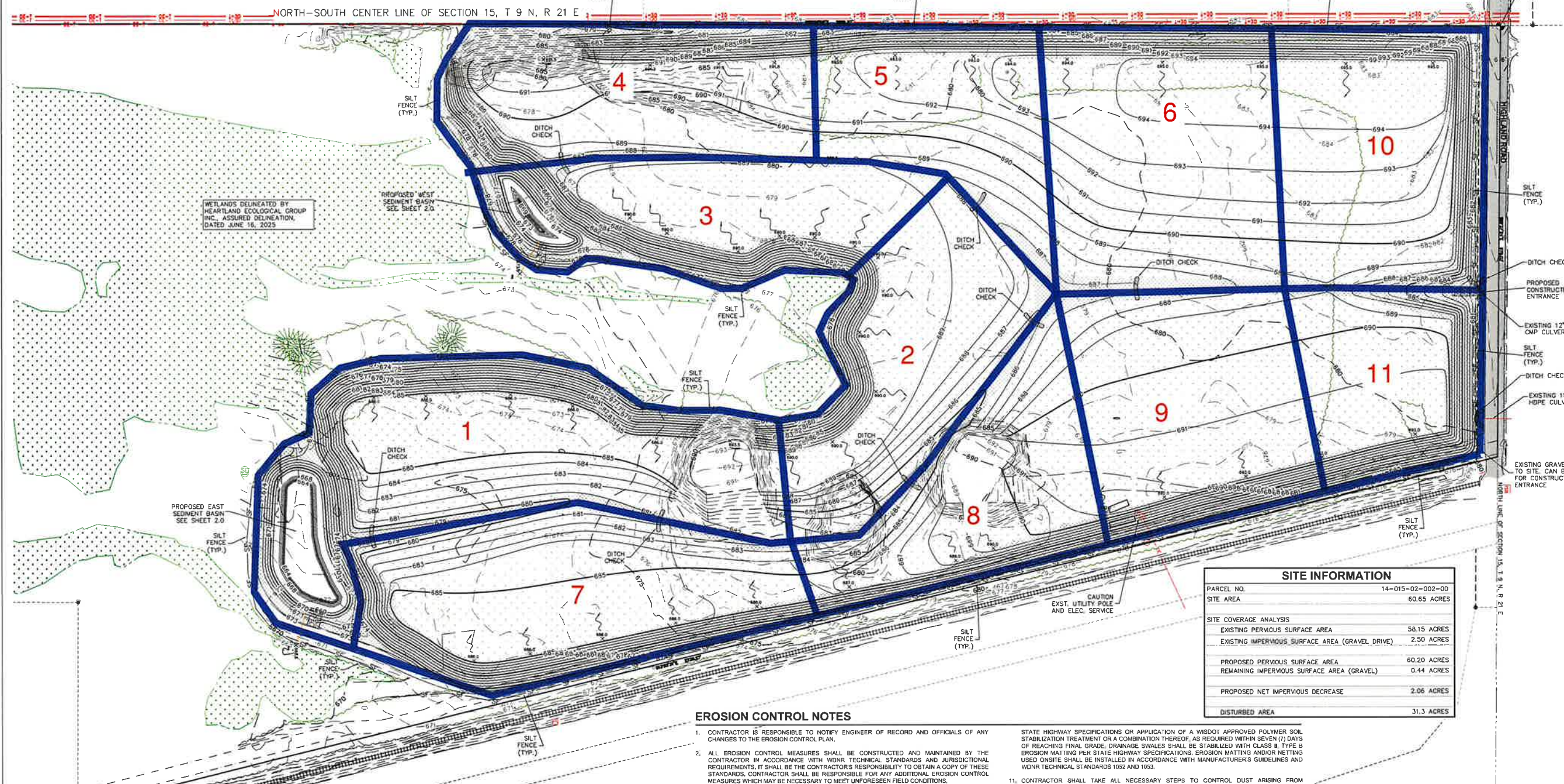
PLAN MODIFICATIONS:		
#	Date:	Description:
1	12/18/2025	CLIENT SUBMITTAL
2		
3		
4		
5		
6		
7		
8		
9		
10		
11		
12		
13		
14		
15		

Designed By: R.S.B.  
Reviewed By: P.J.S.  
Approved By: C.A.J.

**EROSION CONTROL PLAN & OVERALL GRADING PLAN**

SHEET NUMBER:  
**C1.0**

JSD PROJECT NO: 25-15046



SITE INFORMATION	
PARCEL NO.	14-015-02-002-00
SITE AREA	60.65 ACRES
SITE COVERAGE ANALYSIS	
EXISTING PERVIOUS SURFACE AREA	58.15 ACRES
EXISTING IMPERVIOUS SURFACE AREA (GRAVEL DRIVE)	2.50 ACRES
PROPOSED PERVIOUS SURFACE AREA	60.20 ACRES
REMAINING IMPERVIOUS SURFACE AREA (GRAVEL)	0.44 ACRES
PROPOSED NET IMPERVIOUS DECREASE	2.06 ACRES
DISTURBED AREA	31.3 ACRES

**EROSION CONTROL NOTES**

- CONTRACTOR IS RESPONSIBLE TO NOTIFY ENGINEER OF RECORD AND OFFICIALS OF ANY CHANGES TO THE EROSION CONTROL PLAN.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED BY THE CONTRACTOR IN ACCORDANCE WITH WDMR TECHNICAL STANDARDS AND JURISDICTIONAL REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF THESE STANDARDS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL EROSION CONTROL MEASURES WHICH MAY BE NECESSARY TO MEET UNFORESEEN FIELD CONDITIONS.
- INSTALL PERIMETER EROSION CONTROL MEASURES (SUCH AS CONSTRUCTION ENTRANCES, SILT FENCE, AND EXISTING INLET PROTECTION) PRIOR TO ANY GRADING OR DISTURBANCE OF EXISTING SURFACE COVER. MODIFICATIONS TO THE APPROVED EROSION CONTROL DESIGN IN ORDER TO MEET UNFORESEEN FIELD CONDITIONS IS ALLOWED IF MODIFICATIONS CONFORM TO WDMR TECHNICAL STANDARDS AND JURISDICTIONAL REQUIREMENTS. ALL DESIGN MODIFICATIONS MUST BE APPROVED BY THE JURISDICTIONAL AUTHORITIES PRIOR TO DEVIATION OF THE APPROVED PLAN.
- ADDITIONAL EROSION CONTROL MEASURES, AS REQUESTED BY JURISDICTIONS HAVING AUTHORITY AND/OR ENGINEER OF RECORD SHALL BE INSTALLED WITHIN 24 HOURS OF REQUEST.
- INSPECTIONS AND MAINTENANCE OF ALL EROSION CONTROL MEASURES SHALL BE ROUTINE (ONCE PER WEEK MINIMUM) TO ENSURE PROPER FUNCTION OF EROSION CONTROLS AT ALL TIMES. EROSION CONTROL MEASURES ARE TO BE IN WORKING ORDER AT THE END OF EACH WORK DAY.
- ALL EROSION AND SEDIMENT CONTROL ITEMS SHALL BE INSPECTED WITHIN 24 HOURS OF ALL RAIN EVENTS EXCEEDING 0.5". ANY DAMAGED EROSION CONTROL MEASURES SHALL BE REPAIRED OR REPLACED IMMEDIATELY UPON INSPECTION.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL LOCATIONS OF VEHICLE INGRESS/EGRESS POINTS. ADDITIONAL LOCATIONS OTHER THAN AS SHOWN ON THE PLANS MUST BE PRE-APPROVED BY THE JURISDICTION. CONSTRUCTION ENTRANCES SHALL BE 30' LONG AND NO LESS THAN 12" THICK BY USE OF 3" SELECTED CRUSHED CONSTRUCTION ENTRANCES SHALL BE MAINTAINED BY THE CONTRACTOR IN A CONDITION WHICH WILL PREVENT THE TRACKING OF MUD OR DRY SEDIMENT OFF-SITE AFTER EACH WORKING DAY OR MORE FREQUENTLY AS REQUIRED.
- PAVED SURFACES ADJACENT TO CONSTRUCTION SITE VEHICLE ACCESS SHALL BE SWEEP AND/OR SCRAPPED TO REMOVE ACCUMULATED SOIL, DIRT, AND/OR DUST AFTER THE END OF EACH WORK DAY AND AS REQUESTED BY THE JURISDICTIONAL AUTHORITIES.
- DITCH CHECKS AND APPLICABLE EROSION NETTING/MATTING SHALL BE INSTALLED IMMEDIATELY AFTER COMPLETION OF GRADING EFFORTS WITHIN DITCHES/SWALES TO PREVENT SOIL TRANSPORTATION.
- ALL SLOPES 4:1 OR GREATER SHALL BE STABILIZED WITH CLASS 1 TYPE B EROSION MATTING PER

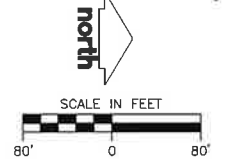
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO CONTROL DUST ARISING FROM CONSTRUCTION OPERATIONS. REFER TO WDMR TECHNICAL STANDARD 1068.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAN SEVEN (7) DAYS SHALL PASS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED UNLESS:
  - THE INITIATION STABILIZATION MEASURES BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS CEASED OR IS PRECLUDED BY SNOW COVER. IN THAT EVENT, STABILIZATION SHALL BE INITIATED AS SOON AS PRACTICABLE.
  - CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN FOURTEEN (14) DAYS FROM WHEN ACTIVITY CEASED (I.E. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION ACTIVITY IS TEMPORARILY CEASED IS LESS THAN FOURTEEN (14) DAY). IN THAT EVENT, STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE SEVENTH (7) DAY AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY CEASED.
  - STABILIZATION MEASURES SHALL BE DETERMINED BASED ONSITE CONDITIONS WHEN CONSTRUCTION ACTIVITY HAS CEASED INCLUDING, BUT NOT LIMITED TO, WEATHER CONDITIONS AND LENGTH OF TIME THE MEASURE MUST BE EFFECTIVE. THE FOLLOWING ARE ACCEPTABLE STABILIZATION MEASURES:
    - PERMANENT SEEDING: IN ACCORDANCE WITH APPROVED CONSTRUCTION SPECIFICATION.
    - TEMPORARY SEEDING: MAY CONSIST OF SPRING OATS(100LBS/ACRE) IN SPRING/SUMMER OR WHEAT OR CEREAL RYE (150LBS/ACRE) IN FALL.
    - HYDRO-MULCHING WITH A TACKIFIER.
    - WOVEN AND NONWOVEN GEOTEXTILES.
    - EROSION MATTING.
    - SOODING.
    - OTHER MEASURES AS APPROVED BY THE ENGINEER.
- EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL LAND DISTURBING CONSTRUCTION ACTIVITY AT THE SITE HAS BEEN COMPLETED AND THAT A UNIFORM PERENNIAL VEGETATIVE COVER HAS BEEN ESTABLISHED WITH A CONTIGUOUS DENSITY OF AT LEAST 70% FOR UNPAVED AREAS AND AREAS NOT COVERED BY PERMANENT STRUCTURES OR THAT EMPLOY EQUIVALENT PERMANENT STABILIZATION MEASURES.
- CONTRACTOR/OWNER SHALL FILE A NOTICE OF TERMINATION UPON COMPLETION OF THE PROJECT IN ACCORDANCE WITH WDMR REQUIREMENTS AND/OR REQUEST FOR PERMIT CLOSURE IN ACCORDANCE WITH JURISDICTION PERMIT AND SPECIFICATION REQUIREMENTS.

**LEGEND**

- PROPERTY LINE
- RIGHT-OF-WAY
- EASEMENT LINE
- EXISTING SITE WETLANDS
- SPOT GRADE
- PROPOSED 5 FOOT CONTOUR
- PROPOSED 1 FOOT CONTOUR
- EXISTING 5 FOOT CONTOUR
- EXISTING 1 FOOT CONTOUR
- DRAINAGE DIRECTION
- SILT FENCE
- RIP-RAP
- CONSTRUCTION ENTRANCE
- SEEDING W/TYPE B EROSION MATTING
- SEEDING W/HYDRO MULCH OR EQUAL
- DITCH CHECK

**CONSTRUCTION SCHEDULE**

- OBTAIN PLAN APPROVAL AND OTHER APPLICABLE PERMITS.
- INSTALL CONSTRUCTION EXITS/UTILIZE EXISTING GRAVEL ENTRANCE.
- INSTALL SILT FENCE.
- INSTALL DITCH CHECKS ALONG HIGHLAND ROAD.
- INSTALL SEDIMENT BASINS COMPLETE WITH OUTLETS, RIP RAP AND EMERGENCY SPILLWAYS.
- BEGIN FILLING ACTIVITIES. CONTRACTOR TO GRADE SITE DURING FILLING SO THAT DRAINAGE IS DIRECTED TOWARDS EITHER SEDIMENT BASIN.
- ONCE AN AREA HAS ESTABLISHED GRADES MATCHING THE GRADING PLAN, CONTRACTOR TO PROVIDE SEEDING/MATTING AND/OR SEEDING/MULCHING PER PLAN.
- INSTALL SITE DITCH CHECKS.
- ALL EROSION CONTROL PRACTICES WILL BE INSPECTED WEEKLY AND AFTER RAINFALL. NEEDED REPAIRS WILL BE PERFORMED IMMEDIATELY.
- AFTER SITE IS STABILIZED, REMOVE ALL TEMPORARY MEASURES AND VEGETATE THE DISTURBED AREAS.



P:\14-015-02-002-00\CADD\DWG\C1.0.dwg User: Randy.Jandrew Plot: Dec 18, 2025 8:24am Xref's

THESE PLANS AND DESIGNS ARE COPYRIGHT PROTECTED AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT THE WRITTEN CONSENT OF JSD PROFESSIONAL SERVICES, INC.



January 30, 2026

Mark LaLonde  
6529 W. Highland LLC  
1609 Lincoln Avenue  
Waukesha WI 53186  
Via email: mark@lciwi.com

SUBJECT: Coverage Under WPDES General Permit No. WI-S067831-06: Construction Site Storm Water Runoff  
Permittee Name: 6529 W. Highland LLC  
Site Name: 6529 Highland Road - Fill Site  
FIN: 103128

Dear Permittee:

The Wisconsin Department of Natural Resources received your Water Resources Application for Project Permits or Notice of Intent, on January 21, 2026, for the 6529 Highland Road - Fill Site site and has evaluated the information provided regarding storm water discharges from your construction site. We have determined that your construction site activities will be regulated under ch. 283, Wis. Stats., ch. NR 216, Wis. Adm. Code, and in accordance with Wisconsin Pollutant Discharge Elimination System (WPDES) General Permit No. WI-S067831-06, Construction Site Storm Water Runoff. All erosion control and storm water management activities undertaken at the site must be done in accordance with the terms and conditions of the general permit.

The **Start Date** of permit coverage for this site is January 30, 2026. The maximum period of permit coverage for this site is limited to 3 years from the **Start Date**. Therefore, permit coverage automatically expires and terminates 3 years from the Start Date and storm water discharges are no longer authorized unless another Notice of Intent and application fee to retain coverage under this permit or a reissued version of this permit is submitted to the Department 14 working days prior to expiration.

A copy of the general permit along with extensive storm water information including technical standards, forms, guidance and other documents is accessible on the Department's storm water program Internet site. To obtain a copy of the general permit, please download it and the associated documents listed below from the following Department Internet site:

<http://dnr.wi.gov/topic/stormwater/construction/forms.html>

- Construction Site Storm Water Runoff WPDES general permit No. WI-S067831-06
- Construction site inspection report form
- Notice of Termination form

If, for any reason, you are unable to access these documents over the Internet, please contact me and I will send them to you.

To ensure compliance with the general permit, please read it carefully and be sure you understand its contents. Please take special note of the following requirements (This is not a complete list of the terms and conditions of the general permit.):

1. The Construction Site Erosion Control Plan and Storm Water Management Plan that you completed prior to submitting your permit application must be implemented and maintained throughout construction. Failure to do so may result in enforcement action by the Department.

2. Construction dewatering discharges from an area subject to remedial action operations or from an area containing contamination that would be subject to remedial action operations are not eligible for coverage under this permit (section 1.1.2.3). Discharges may be eligible for coverage under the [Contaminated Groundwater from Remedial Action Operations General Permit \(WI-0046566-07-0\)](#).

3. The general permit requires that erosion and sediment controls be routinely inspected at least every 7 days, and within 24 hours after a rainfall event of 0.5 inches or greater. Weekly written reports of all inspections must be maintained. The reports must contain the following information:

- a. Date, time, and exact place of inspection;
- b. Name(s) of individual(s) performing inspection;
- c. An assessment of the condition of erosion and sediment controls;
- d. A description of any erosion and sediment control implementation and maintenance performed;
- e. A description of the site's present phase of construction.

4. A **Certificate of Permit Coverage** must be posted in a conspicuous place on the construction site. The Certificate of Permit Coverage (WDNR Publication # WT-813) is enclosed for your use.

5. When construction activities have ceased and the site has undergone final stabilization, a Notice of Termination (NOT) of coverage under the general permit must be submitted to the Department.

It is important that you read and understand the terms and conditions of the general permit because they have the force of law and apply to you. Your project may lose its permit coverage if you do not comply with its terms and conditions. The Department may also withdraw your project from coverage under the general permit and require that you obtain an individual WPDES permit instead, based on the Department's own motion, upon the filing of a written petition by any person, or upon your request.

If you believe that you have a right to challenge this decision to grant permit coverage, you should know that the Wisconsin statutes and administrative rules establish time periods within which requests to review Department decisions must be filed. For judicial review of a decision pursuant to ss. 227.52 and 227.53, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to file your petition with the appropriate circuit court and serve the petition on the Department. Such a petition for judicial review must name the Department of Natural Resources as the respondent.

To request a contested case hearing pursuant to s. 227.42, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to serve a petition for hearing on the Secretary of the Department of Natural Resources. All requests for contested case hearings must be made in accordance with s. NR 2.05(5), Wis. Adm. Code, and served on the Secretary in accordance with s. NR 2.03, Wis. Adm. Code. The filing of a request for a contested case hearing is not a prerequisite for judicial review and does not extend the 30-day period for filing a petition for judicial review.

Thank you for your cooperation with the Construction Site Storm Water Discharge Permit Program. If you have any questions concerning the contents of this letter or the general permit, please contact Peter Wood, P.E. at (262) 822-8227.

Sincerely,



Peter Wood, P.E.  
Southeast Region  
Storm Water Program

ENCLOSURE: Certificate of Permit Coverage



# CERTIFICATE OF PERMIT COVERAGE

**UNDER THE  
WPDES CONSTRUCTION SITE STORM WATER RUNOFF PERMIT  
Permit No. WI-S067831-06**

Under s. NR 216.455(2), Wis. Adm. Code, landowners of construction sites with storm water discharges regulated by the Wisconsin Department of Natural Resources (WDNR) Storm Water Permit Program are required to post this certificate in a conspicuous place at the construction site. This certifies that the site has been granted WDNR storm water permit coverage. The landowner must implement and maintain erosion control practices to limit sediment-contaminated runoff to waters of the state in accordance with the permit.

**EROSION CONTROL COMPLAINTS**  
should be reported to the WDNR Tip Line at  
**1-800-TIP-WDNR (1-800-847-9367)**

Please provide the following information to the Tip Line:

**WDNR Site No. (FIN): 103128**

**Site Name: 6529 Highland Road - Fill Site**

**Address/Location: 6529 W. Highland Road City of MEQUON**

Additional Information:

**Landowner: 6529 W. Highland LLC**

**Landowner's Contact Person: Mark LaLonde**

**Contact Telephone Number: (414) 788-0150**

**Permit Start Date: January 30, 2026**

By:  \_\_\_\_\_



December 31, 2024

Wisconsin Department of Natural Resources  
Mr. John Feeney  
1027 West St. Paul Avenue  
Milwaukee, WI 53233

RE: Project Status Update for the Site Investigations, Remedial Actions, and Proposed Redevelopment of the Former Icke and Bublitz, Inc., Property Located at 6529 West Highland Road, Mequon, WI, WDNR FID No. 246102120; BRRTS No. 02-46-000365 — FEC Project No. 210401

Dear Mr. Feeney:

**Friess Environmental Consulting, Inc. (FEC)** has been conducting environmental consulting services, including groundwater monitoring and soil remedial actions in conjunction with proposed redevelopment of the above-referenced site (“Site”). This summary letter discusses the project history, the results of the recent analytical testing and remedial activities, and proposed actions to develop the site and obtain site closure.

Project Background

The subject property covers approximately 63 acres and is located at 6529 Highland Road, Mequon, Wisconsin (the Site). The Site location is illustrated in Figure B.1.a. The Site is bordered by a recreational trail and a railroad corridor to the east; Highland Road to the north; and agricultural, wooded, and low-lying areas to the west and south. A residence was located in the south-central portion of the Site; however, the building was razed in June 2003. Outbuildings associated with the former residence were razed in 2022. In addition, a former asphalt batch plant was located near the northeast corner of the Site. Historically, the Site has been used to mine sand and gravel. However, available information also suggests that the Site was filled and may contain construction debris, foundry sand, fly ash, and fill soils.

Previous site assessment and investigation activities were completed by Hydro-Search, Inc. (HSI) and Giles Engineering Associates, Inc. (Giles). During 1988, HSI reviewed applicable information available for the Site. Based on HSI's review, it appears the property was filled with metal debris, cinders, potential fly ash, soil fill, and concrete/asphalt debris. HSI also noted the documentation of refuse having been placed on site in approximately 1979. DNR records indicate the refuse was removed and transported to a landfill for proper disposal and the

file closed. HSI also installed eight soil boreholes at the Site and submitted one soil sample for laboratory analysis. The borehole locations are illustrated in Figure B.1.b. Based on the results of the soil sampling, elevated concentrations of volatile organic compounds (VOCs) were reported in the soil sample. Details of HSI's work are found in its April 25, 1988, report entitled "Environmental Assessment Bublitz and Icke Property, Mequon, Wisconsin."

During 1990, Giles installed ten soil boreholes at the Site (four of which were converted into ground-water monitoring wells) and excavated 21 test pits. The borehole, test pit, and monitoring well locations are illustrated in Figure B.1.b. Soil samples were collected from the boreholes and test pits for laboratory analysis. In addition, ground-water samples from the monitoring wells and two private water supply wells located at the Site were submitted for laboratory analysis. Based on the results of the sampling, elevated Resources Conservation and Recovery Act (RCRA) metals and VOCs were reported in soil samples collected from two soil boreholes. RCRA metals were reported in the ground-water samples collected from each monitoring well. In addition, methylene chloride was reported in the water samples collected from the private water supply wells. However, Giles reports that the detected levels of methylene chloride may be laboratory introduced. Details of Giles' work are found in its October 11, 1990, report entitled "Preliminary Hazardous Substances Presence Study."

During 2002, the City of Mequon (the City), in conjunction with the Icke & Bublitz Corporation (the Corporation), received a Wisconsin Department of Natural Resources (WDNR) Brownfield Site Assessment Grant (SAG) to conduct Phase II environmental activities at the Site. The goal of the work was to address real and perceived environmental concerns, and to obtain approval from the WDNR to develop the Site (i.e., obtain an exemption to build on a historic fill site). Before redevelopment, it was necessary to determine if historical site activities may have adversely affected the Property. To complete these tasks, the City contracted Northern Environmental Technologies, Incorporated (NET) to conduct investigation activities.

NET installed nineteen soil probeholes (ten of which were converted into small diameter groundwater monitoring wells), four soil borings (converted to groundwater monitoring wells), four hand augers, and collected four surface samples. The probehole, borings, hand auger, surface sample, and monitoring well locations are illustrated in Figure B.1.b. Soil samples were collected from the soil sampling locations for laboratory analysis. In addition, groundwater samples from the small diameter wells and monitoring wells and two private water supply wells located at the Site were submitted for laboratory analysis. Based on the

results of the sampling, contaminant concentrations above the analytical limit of detection were reported in several boreholes and coincide with a former asphalt plant, shooting range, and areas that have been mined and filled. In addition, groundwater contamination was noted in several temporary monitoring points and monitoring wells. In addition, NET noted that while sampling the temporary groundwater monitoring point installed in B1000, approximately a sixteenth inch thickness of free product was noted in the bailer. The product was dark in color and exhibited a fuel oil or diesel fuel odor. Free product was not detected in any other monitoring point.

During October 2003, methane monitoring at each temporary well was conducted and monitored five times over a 10-day period. Overall, methane readings were inconsistent over the sampling period. None of the recorded readings collected in any monitoring point exceeded 25% of the LEL. In addition, no debris/fill material that would generate methane through decomposition was noted in any of the boreholes.

NET believed that the site assessment was complete, and the extent of contamination was adequately defined. However, remedial work was recommended in the former asphalt batch plant area to remove contaminated soil and free product encountered in this area and in the former shooting range area to remove soil with elevated lead concentrations.

Additional areas containing elevated levels of metals and volatile organic compounds are present across the northern half of the Site and coincide with areas that have been mined and filled. Some of the reported contaminant concentrations within this area exceed regulatory standards. However, NET indicated engineering controls and/or deed instruments would allow for redevelopment and case closure.

Based on the information, the presence of historic fill on the subject property, previous use as a gun range, and confirmed presence of volatile organic compounds (VOCs), RCRA metals, and polynuclear aromatic hydrocarbons (PAHs), impacts were reported to the DNR and a responsible party letter was issued in March 2002. NET submitted a site investigation report and work plan to the DNR in 2004. The DNR reviewed their request and subsequently requested additional sampling and remedial actions.

Based on more recent correspondence with the DNR (letter dated November 30, 2023), the additional actions would still be required and include: covering the entire fill area per Wisconsin Administrative Code (WAC) NR 500 requirements

and DNR capping guidance (RR 709), obtaining an exemption to build on a historic fill site prior to any construction, a minimum of one year of quarterly monitoring to establish contaminant trends, removal of any free phase petroleum in the former asphalt batch plant area to the extent practicable, and methane monitoring.

The scope of work conducted by FEC was to conduct four additional rounds of groundwater monitoring from the on-site groundwater wells, coordinate and document the removal and disposal of the petroleum contaminated soil near the former asphalt batch plant, coordinate and document the removal and disposal of the lead contaminated soil near the former gun range, conduct methane testing, and evaluate the historic fill for proposed property development. The results are discussed below.

### Groundwater Monitoring

On August 16 and November 24, 2021, and March 11 and July 13, 2022, FEC was on site to measure groundwater levels and collect groundwater samples from seven on site monitoring wells (MW-1 to MW-6 and MW-8). The groundwater monitoring wells were installed as part of previous site investigations. It should be noted that sampling was not conducted from MW-7 as the well was damaged during site clearing and was subsequently properly abandoned. FEC submitted the groundwater samples collected from the monitoring wells to a DNR-certified laboratory for analyses of RCRA metals and volatile organic compounds (VOCs).

The depth to groundwater measurements were measured as part of the previous site investigations. Groundwater was measured in the monitoring wells at depths ranging from 6.40 to 13.73 feet bgs during the August 2021 sampling event. The results of the groundwater elevation survey during all the sampling events indicate groundwater flows in a southerly direction. The measured depth to groundwater and groundwater elevations are presented on the attached Table.

The results of the groundwater analytical testing did not indicate concentrations of VOCs or RCRA metals above the DNR groundwater quality Enforcement Standards (ES). The results of the groundwater monitoring were consistent with the previous groundwater monitoring that has been conducted on the site. The results of the groundwater analytical testing are shown on the attached Tables, and the analytical reports are attached.

### Soil Removal and Disposal (Former Batch Plant Area)

As indicated earlier, a former asphalt batch plant was located in the northeastern portion of the site. NET noted that while sampling the temporary groundwater monitoring point installed in B1000, approximately a sixteenth inch thickness of free product was noted in the bailer. The product was dark in color and exhibited a fuel oil or diesel fuel odor. The groundwater sample from B1000 contained a naphthalene concentration that slightly exceeded the DNR groundwater quality enforcement standard (ES).

On September 21, 2021, FEC was on site to conduct a test pit at the location of the former B1000 and collect a soil sample (S-1) for analytical testing to obtain disposal approval for soil to be excavated from the former asphalt batch plant area. The results of the test pit investigation did indicate the presence of staining and asphaltic petroleum impacts in the soil from approximately 5 to 8 feet bgs. A copy of the analytical results and the Waste Management soil profile are included.

On October 22, 2021, FEC was on site to coordinate the removal of the asphaltic petroleum impacts that were apparent near B1000. Overburden was removed in the area to a depth of approximately 5 feet bgs to expose a layer of black stained soils present in the area of the former batch plant from approximately 5 to 8 feet bgs. The excavation area was approximately 20 feet by 20 feet with the soils from 5 to 8 feet being removed. Approximately 84 tons of the stained soil was excavated, loaded, and transported by LaLonde Contractors to the Orchard Ridge landfill in Menomonee Falls, Wisconsin for proper disposal. A listing of the soil manifests is included. The excavation was then filled with the overburden and clean imported fill material.

The free product observed in 2004 appears to have been water within the fill containing asphaltic petroleum impacts to generate a thin layer of oil like residue. These soils have now been removed and based on observations and field screening, no free product was noted during or following the soil removal activities. The field observations indicate that no significant staining was remaining in the walls or base of the excavation.

### Soil Removal and Disposal (Former Gun Range Area)

As indicated earlier, a soil berm utilized as part of a gun range was located in the central portion of the site. A soil sample collected from the face of the soil pile/berm (SP) contained a high concentration of lead; however, additional soil

sampling around the soil pile/berm (S1, S2, B1500, and B2400) only contained lead at concentrations slightly above the DNR groundwater residual contaminant level (RCL). As such, the lead impacts were confined to the face of the soil pile/berm.

On October 20, 2023, FEC was on site to collect a soil sample (CS-1) from the face of the soil pile/berm for disposal approval for soil to be excavated from the former gun range area. A copy of the analytical results and the Waste Management soil profile are included.

On December 13, 2023, FEC was on site to coordinate the removal of soil from the face and base of the soil pile/berm. Soil was excavated, screened to remove any potential bullet fragments, and loaded into trucks for transport to the landfill. The excavation area included the face and base of the soil pile/berm and was approximately 9 feet by 100 feet with the soils within the top 2 feet being removed. Approximately 102 tons of material was loaded and transported by LaLonde Contractors to the Orchard Ridge landfill in Menomonee Falls, Wisconsin for proper disposal. A listing of the soil manifests is included. Two confirmation samples (CS-2 and CS-3) were collected from the base of the excavation. The results of the confirmation soil sampling indicated that no significant lead impacts were remaining in the soil samples collected from the base of the soil excavation.

### Methane Testing

During October 2003, the temporary monitoring points installed in the probeholes were monitored for the presence of methane. Before the initiation of the methane monitoring, each temporary well was fitted with a slip cap containing a valve and hose barb. Methane was monitored five times over a 10-day period using a Gastech® model NP-204 natural gas meter. Methane readings were collected by placing the gas meter probe on the valve of the gas probe, opening the valve, and recording the stabilized reading.

Methane readings were detected in temporary points B600, B1000, B1500, and B1700. The highest methane readings were noted in B1700; however, were still less than 2 percent of the lower explosive limit (LEL). Overall, methane readings were inconsistent over the sampling period. None of the recorded readings collected in any monitoring point exceeded the LEL. In addition, no debris/fill material that would generate methane through decomposition was noted on the site.

On May 8, 2024, FEC was on site to conduct methane testing from the remaining groundwater monitoring wells and from B1700. The other temporary points sampled in 2003 were damaged and subsequently abandoned. The monitoring was conducted with a Rae Systems MultiRAE Plus multiple-gas monitor equipped with a sensor to detect methane as a % of the LEL.

Methane readings were collected by inserting the gas meter tubing into and closing the well or monitoring point and recording the stabilized reading. The results of the monitoring indicated no methane present within the groundwater monitoring wells and B1700. Based on no fill material (refuse) that would be considered methane producing having been encountered at the site and the results of the additional methane testing, it does not appear that the fill present on site would be considered a risk to produce methane in the future.

### Historic fill Evaluation

Numerous subsurface explorations have been conducted on the site. The subsurface exploration indicates that the surficial materials throughout the subject property generally consist of approximately 4± to 10± feet of extremely variable brown to dark brown silty clay to silty sand fill material with variable amounts of gravel, asphalt, organic matter, concrete, and various other debris material. In several test pits located in the northeast corner of the subject property and west of the existing driveway a black silty fine sand, possible cinders and/or possible foundry sand was encountered extending to a depth of 5½ to 6± feet below the existing ground surface. The underlying naturally occurring soils generally consist of light brown to brown silty fine sand to clayey silt with variable amounts of clay, gravel, rock fragments, and silt seams to the maximum depths explored.

Based on information obtained from the records review and previous subsurface explorations, fill material is present over the northern two-thirds of the Property. The fill was placed in areas on the property that were formerly quarried. The fill material consists predominately of silt, clay, and sand. Concrete, asphalt, metal, bricks, and other demolition debris were noted in several boreholes and test pits. Also, cinders and ash were noted in boreholes located primarily in the northeastern portions of the Property. Since much of the "fill area" consists of silt, sand, and clay and inert construction demolition waste, foundry sands and cinders and ash (normally exempt from Chapter NR 500, Wisconsin Administrative Code regulations), it would not be required to construct a cap meeting the requirements of section NR 506.08, Wisconsin Administrative Code (s. NR 506.08, Wis. Adm. Code) across the entire area containing fill material.

## Proposed Redevelopment

The property is currently zoned residential and owned by 6529 W Highland LLC. The property is proposed to be further filled by LaLonde Contractors as part of their business operations. The grade of the northern portion of the site, which contains the historic fill material, is proposed to be raised by 5 feet or more. This will further cap the historic impacts present in the fill at the site. The property is then proposed to be redeveloped with residential lots. The redevelopment is proposed to incorporate some type of association that would detail rules of construction and retain responsibility for maintenance of the cap.

## Conclusions

Numerous environmental assessments have been conducted on the property. Based on recent correspondence with the DNR, additional actions were required and included: covering the entire fill area, obtaining an exemption to build on a historic fill site prior to any construction, a minimum of one year of quarterly monitoring to establish contaminant trends, removal of any free phase petroleum in the former asphalt batch plant area to the extent practicable, and methane monitoring.

The scope of work conducted by FEC was to conduct four additional rounds of groundwater monitoring from the on-site groundwater wells, coordinate and document the removal and disposal of the petroleum contaminated soil near the former asphalt batch plant, coordinate and document the removal and disposal of the lead contaminated soil near the former gun range, conduct methane testing, and evaluate the historic fill for proposed property development.

The results of the groundwater analytical testing did not indicate concentrations of VOCs or RCRA metals above the DNR groundwater quality standards. The results of the groundwater monitoring were consistent with the previous groundwater monitoring that has been conducted on the site.

Approximately 84 tons of asphaltic petroleum impacted soil were removed from the former batch plant area and properly disposed of. Free product was not observed during or following the soil removal activities. The field observations indicate that no significant staining was remaining in the walls or base of the excavation.

Approximately 102 tons of lead impacted soil were removed from the former gun range area and properly disposed of. The results of the confirmation sampling indicate that no significant lead impacts were remaining in the soil samples collected from the base of the soil excavation.

Methane testing has been conducted at the site. Based on no fill material (refuse) that would be considered methane producing having been encountered at the site and the results of the additional methane testing, it does not appear that the fill present on site would be considered a risk to produce methane in the future.

Historic fill soils are located on the site. It does not appear that these soils are a significant risk to human health or the environment. It is understood that future development will include obtaining a historic fill construction exemption (HFE), capping, and a cap maintenance plan as part of site development and closure. Historic fill soil removed from the site as part of future development would need to be properly managed.

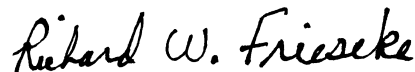
We appreciate this opportunity to provide a status update on the former Icke and Bublitz, Inc., property located at 6529 West Highland Road. Please call us at (414) 228-9815 if you have any questions.

Respectfully,

***Friess Environmental Consulting, Inc.***



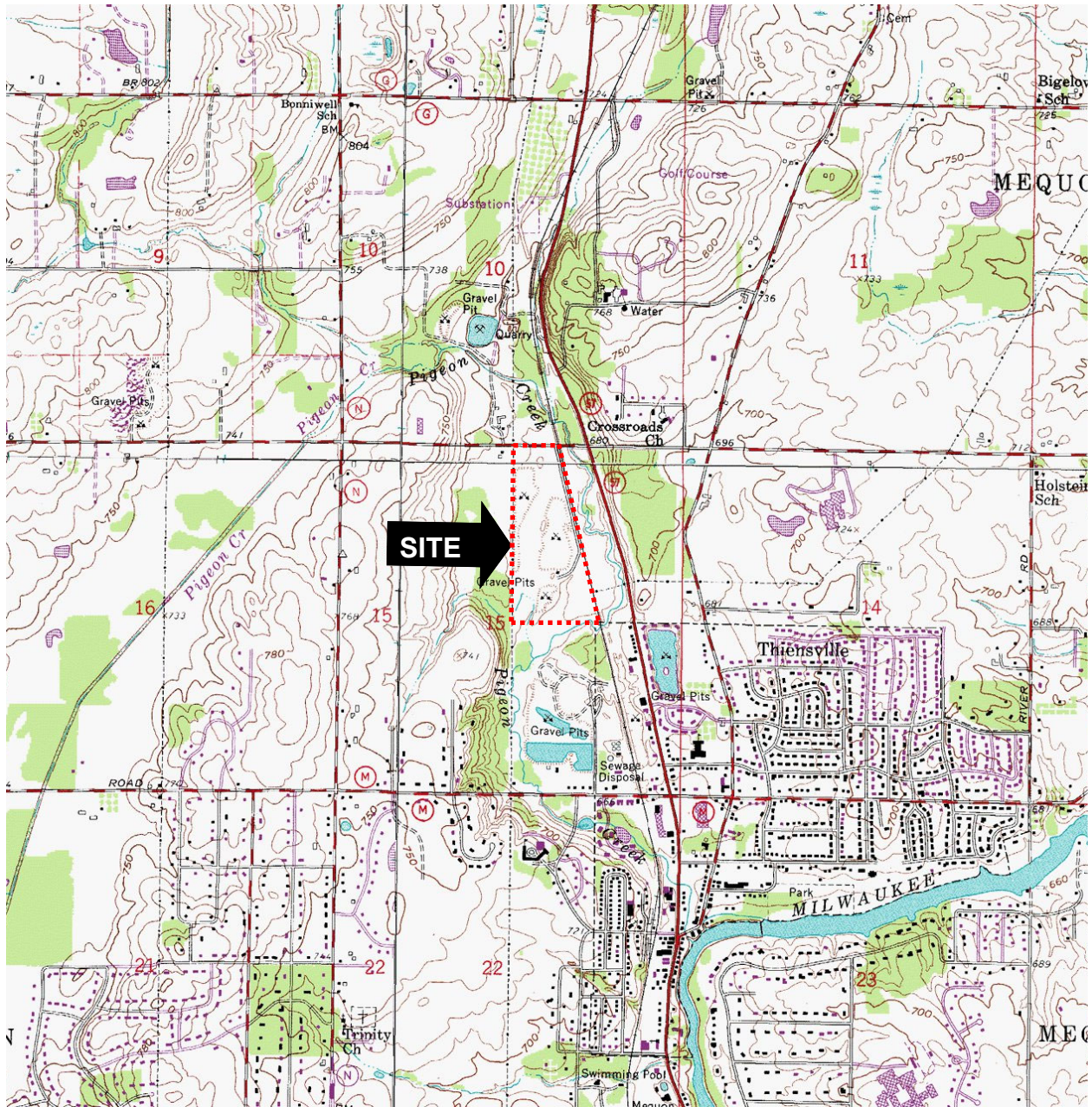
Trenton J. Ott  
Project Manager





Richard W. Frieseke, P.E.  
President

Enclosures

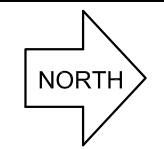
210401 Status Report



<p>Approximate Scale</p> <p>1" = 2,500'</p>	<p>United States Geological Survey Topographic Map Thiensville Quadrangle NW &amp; SW 1/4 of the NE 1/4 of Section 15 Township 9 North, Range 21 East</p>	
 <p><b>FRIESS</b> ENVIRONMENTAL CONSULTING, INC.</p>	<p><b>Vicinity Diagram</b> 6529 West Highland Road Mequon, WI</p>	<p><b>Figure</b> B.1.a.</p>



- KEY**
- = SI boring/monitoring well location
  - = NET SI boring/temp well location
  - = NET SI boring location
  - = NET sample location
  - = HSI SI boring location
  - = Giles test pit location
  - = Giles SI boring location



**Friess Environmental Consulting, Inc.**  
**Guide to Abbreviations**  
**in Laboratory Data Tables**

< = Less than the specified detection limit.

DO = Dissolved Oxygen

ES = Enforcement Standard

DRO = Diesel range organics

GRO = Gasoline range organics

iu = instrument units

MTBE = Methyl-tert butyl ether

mV = Millivolts

NA = Not analyzed for indicated parameter

NM = Not measured for indicated parameter

NR = No recovery at this interval.

NR 140 ES = Wisconsin Administrative Code NR 140 Groundwater Quality  
Enforcement Standard

NR 140 PAL = Wisconsin Administrative Code NR 140 Groundwater Quality  
Preventive Action Limit

NR 720 Groundwater RCL = Wisconsin Administrative Code NR 720 Residual Contaminant Level for the protection of groundwater  
via the U.S. EPA's Regional Screening Level Web-Calculator per DNR draft document RR-890

NR 720 Non-Industrial DC RCL = Wisconsin Administrative Code NR 720 Non-Industrial Residual Contaminant Level for direct contact  
via the U.S. EPA's Regional Screening Level Web-Calculator per DNR draft document RR-890

Note: NR 720 values are calculated utilizing the U.S. EPA's Regional Screening Level Web-Calculator per DNR draft document RR-890.

NS = No NR 140 ES/PAL or NR 720 RCL standard has been established.

ORP = Oxidation-reduction potential

PAL = Preventive Action Limit

PID = Photoionization detector

ppb = parts per billion

ppm = parts per million

RCL = Residual contaminant level as established in WAC Chapter NR 720

TMBs = Trimethylbenzenes (combined 1,2,4- and 1,3,5-trimethylbenzene)

umhos = Micromhos

**Table A.1.a. (Page 1 of 2)**  
**Groundwater VOC Results**  
**6529 West Highland Road**  
**Mequon, Wisconsin**

Sample Location	Sampling Date	Benzene (ppb)	Ethyl-benzene (ppb)	MTBE (ppb)	Naphthalene (ppb)	Toluene (ppb)	Combined TMBs (ppb)	Total Xylenes (ppb)
B100	9/20/1990	0.23 J	<0.16	<0.22	<0.26	<0.15	<0.26	<0.46
B300	9/20/1990	0.38 J	<0.16	<0.22	<0.26	0.57	<0.26	<0.46
B500	9/20/1990	0.44 J	<0.16	<0.22	0.43 J	<0.15	<0.26	<0.46
B600	9/20/1990	<0.17	<0.16	<0.22	<0.26	<0.15	<0.26	<0.46
B700	9/20/1990	<0.17	<0.16	<0.22	<0.26	<0.15	<0.26	<0.46
B800	9/20/1990	<i>0.56</i>	<0.16	<0.22	<0.26	<0.15	<0.26	<0.46
B1000	9/20/1990	<1.70	33.0	<2.20	<b>141</b>	<1.50	<i>274</i>	14.0
B1200	9/20/1990	0.29 J	<0.16	<0.22	<0.26	<0.15	0.64	<0.46
B1500	9/20/1990	<0.17	<0.16	<0.22	<0.26	0.48	<0.26	<0.46
B1700	9/20/1990	<i>0.50 J</i>	<0.16	<0.22	<0.26	0.82	<0.26	<0.46
SW-1	5/27/2003	<0.17	<0.16	<0.22	<0.26	<0.15	<0.26	<0.46
SW-2	6/2/2003	<0.17	<0.16	<0.22	<0.26	<0.15	<0.26	<0.46
MW-1	9/20/1990	<5.00	<5.00	NA	NA	<5.00	NA	NA
	5/8/2003	<0.17	<0.16	<0.22	<0.26	<0.15	<0.26	<0.46
	8/29/2003	<0.17	<0.16	<0.22	<0.26	<0.15	<0.26	<0.46
	8/16/2021	<0.38	<0.37	<0.46	<1.40	<0.42	<0.73	<1.38
	11/24/2021	<0.38	<0.37	<0.46	<1.40	<0.42	<0.73	<1.38
	3/11/2022	<0.30	<0.33	<0.47	<1.40	<0.33	<0.76	<1.01
MW-2	9/20/1990	<5.00	<5.00	NA	NA	<5.00	NA	NA
	5/8/2003	<0.17	<0.16	<0.22	<0.26	5.10	<0.26	<0.46
	8/29/2003	<0.17	<0.16	<0.22	<0.26	0.35 J	<0.26	<0.46
	8/16/2021	<0.38	<0.37	<0.46	<1.40	<0.42	<0.73	<1.38
	11/24/2021	<0.38	<0.37	<0.46	<1.40	<0.42	<0.73	<1.38
	3/11/2022	<0.30	<0.33	<0.47	<1.40	<0.33	<0.76	<1.01
7/13/2022	<0.30	<0.33	<0.47	<1.40	<0.33	<0.76	<1.01	
ES (ppb)	-	5	700	60	100	1,000	480	10,000
PAL (ppb)	-	0.5	140	12	10	200	96	1,000

Notes:

1. Only the detected compounds are presented.
2. Concentrations in *blue italics* exceed their respective NR 140 preventive action limits (PALs).
3. Concentrations in **red bold** exceed their respective NR 140 enforcement standards (ESs).
4. NA: Not analyzed for that parameter.

**Table A.1.a. (Page 2 of 2)**  
**Groundwater VOC Results**  
**6529 West Highland Road**  
**Mequon, Wisconsin**

Sample Location	Sampling Date	Benzene (ppb)	Ethyl-benzene (ppb)	MTBE (ppb)	Naphthalene (ppb)	Toluene (ppb)	Combined TMBs (ppb)	Total Xylenes (ppb)
MW-3	9/20/1990	<5.00	<5.00	NA	NA	<5.00	NA	NA
	5/8/2003	<0.17	<0.16	<0.22	<0.26	<0.15	<0.26	<0.46
	8/29/2003	<0.17	<0.16	<0.22	<0.26	<0.15	<0.26	<0.46
	8/16/2021	<0.38	<0.37	<0.46	<1.40	<0.42	<0.73	<1.38
	11/24/2021	<0.38	<0.37	<0.46	<1.40	<0.42	<0.73	<1.38
	3/11/2022	<0.30	<0.33	<0.47	<1.40	<0.33	<0.76	<1.01
	7/13/2022	<0.30	<0.33	<0.47	<1.40	<0.33	<0.76	<1.01
MW-4	9/20/1990	<5.00	<5.00	NA	NA	<5.00	NA	NA
	5/8/2003	<0.17	<0.16	<0.22	<0.26	0.54	<0.26	<0.46
	8/29/2003	<0.17	<0.16	<0.22	<0.26	<0.15	<0.26	<0.46
	8/16/2021	<0.38	<0.37	<0.46	<1.40	<0.42	<0.73	<1.38
	11/24/2021	<0.38	<0.37	<0.46	<1.40	<0.42	<0.73	<1.38
	3/11/2022	<0.30	<0.33	<0.47	<1.40	<0.33	<0.76	<1.01
	7/13/2022	<0.30	<0.33	<0.47	<1.40	<0.33	<0.76	<1.01
MW-5	8/29/2003	<0.17	<0.16	<0.22	<0.26	<0.15	<0.26	<0.46
	8/16/2021	<0.38	<0.37	<0.46	<1.40	<0.42	<0.73	<1.38
	11/24/2021	<0.38	<0.37	<0.46	<1.40	<0.42	<0.73	<1.38
	3/11/2022	<0.30	<0.33	<0.47	<1.40	<0.33	<0.76	<1.01
	7/13/2022	<0.30	<0.33	<0.47	<1.40	<0.33	<0.76	<1.01
MW-6	8/29/2003	0.20 J	<0.16	<0.22	<0.26	0.50	0.33 J	<0.46
	8/16/2021	<0.38	<0.37	<0.46	<1.40	<0.42	<0.73	<1.38
	11/24/2021	<0.38	<0.37	<0.46	<1.40	<0.42	<0.73	<1.38
	3/11/2022	<0.30	<0.33	<0.47	<1.40	0.33 J	<0.76	<1.01
	7/13/2022	<0.30	<0.33	<0.47	<1.40	0.33 J	<0.76	<1.01
MW-7	8/29/2003	0.33 J	<0.16	<0.22	<0.26	0.33 J	<0.26	<0.46
MW-8	8/29/2003	0.25 J	<0.16	<0.22	<0.26	0.30 J	<0.26	<0.46
	8/16/2021	<0.38	<0.37	<0.46	<1.40	<0.42	<0.73	<1.38
	11/24/2021	<0.38	<0.37	<0.46	<1.40	<0.42	<0.73	<1.38
	3/11/2022	<0.30	<0.33	<0.47	<1.40	0.44 J	<0.76	<1.01
	7/13/2022	<0.30	<0.33	<0.47	<1.40	0.44 J	<0.76	<1.01
ES (ppb)	-	5	700	60	100	1,000	480	10,000
PAL (ppb)	-	0.5	140	12	10	200	96	1,000

Notes:

1. Only the detected compounds are presented.
2. Concentrations in *blue italics* exceed their respective NR 140 preventive action limits (PALs).
3. Concentrations in **red bold** exceed their respective NR 140 enforcement standards (ESs).
4. NA: Not analyzed for that parameter.

Table A.1.b.  
Groundwater PAH Results  
6529 West Highland Road  
Mequon, Wisconsin

Sample Location	Sampling Date	Acenaphthene (ppb)	Acenaphthylene (ppb)	Anthracene (ppb)	Benzo (a) anthracene (ppb)	Benzo (a) pyrene (ppb)	Benzo (b) fluoranthene (ppb)	Benzo (g,h,i) perylene (ppb)	Benzo (k) fluoranthene (ppb)	Chrysene (ppb)	Dibenzo (a,h) anthracene (ppb)	Fluoranthrene (ppb)	Flourene (ppb)	Indeno (1,2,3-cd) pyrene (ppb)	1-Methyl Naphthalene (ppb)	2-Methyl Naphthalene (ppb)	Naphthalene (ppb)	Phenanthrene (ppb)	Pyrene (ppb)
MW-1	8/29/2003	<0.032	<0.015	<0.023	<0.031	<0.008	<0.033	<0.016	<0.024	<0.028	<0.037	<0.024	<0.015	<0.021	<0.026	<0.03	<0.026	<0.045	<0.023
MW-2	8/29/2003	<0.032	<0.015	<0.023	<0.031	<0.008	<0.033	<0.016	<0.024	<0.028	<0.037	<0.024	<0.015	<0.021	<0.026	<0.03	0.033 J	<0.045	<0.023
MW-3	8/29/2003	<0.032	<0.015	<0.023	0.062 J	<i>0.073</i>	<i>0.077 J</i>	0.025 J	0.041 J	<i>0.060 J</i>	<0.037	0.10	0.026 J	0.032 J	<0.026	<0.03	0.027 J	<0.045	0.077
MW-4	8/29/2003	<0.032	<0.015	<0.023	<0.031	<0.008	<0.033	<0.016	<0.024	<0.028	<0.037	<0.024	<0.015	<0.021	<0.026	<0.03	<0.026	<0.045	<0.023
MW-5	8/29/2003	<0.032	<0.015	<0.023	<0.031	<0.008	<0.033	<0.016	<0.024	<0.028	<0.037	<0.024	<0.015	<0.021	<0.026	<0.03	0.029 J	<0.045	<0.023
MW-6	8/29/2003	<0.032	<0.015	<0.023	<0.031	<0.008	<0.033	<0.016	<0.024	<0.028	<0.037	0.026 J	<0.015	<0.021	0.030 J	0.033 J	0.031 J	<0.045	<0.023
MW-7	8/29/2003	<0.032	<0.015	<0.023	<0.031	<0.008	<0.033	<0.016	<0.024	<0.028	<0.037	<0.024	<0.015	<0.021	<0.026	<0.03	<0.026	<0.045	<0.023
MW-8	8/29/2003	<0.032	<0.015	<0.023	<0.031	<0.008	<0.033	<0.016	<0.024	<0.028	<0.037	<0.024	<0.015	<0.021	<0.026	<0.03	<0.026	<0.045	<0.023
NR 140 ES		NS	NS	3,000	NS	0.2	0.2	NS	NS	0.2	NS	400	400	NS	NS	NS	100	NS	250
NR 140 PAL		NS	NS	600	NS	0.02	0.02	NS	NS	0.02	NS	80	80	NS	NS	NS	10	NS	50

- Notes:
1. Concentrations in *blue italics* exceed their respective NR 140 preventive action limits (PALs).
  2. Concentrations in *red bold* exceed their respective NR 140 enforcement standards (ESs).
  3. NS: No standard for that parameter

**Table A.1.c. (Page 1 of 2)**  
**Groundwater Metals Results**  
**6529 West Highland Road**  
**Mequon, Wisconsin**

Sample Location	Sampling Date	Arsenic (ppb)	Baruim (ppb)	Cadmium (ppb)	Chromium (ppb)	Lead (ppb)	Mercury (ppb)	Selenium (ppb)	Silver (ppb)
B100	6/3/2003	<6.00	<70.0	<10.0	<20.0	<50.0	<i>0.50</i>	<6.50	<10.0
B700	6/3/2003	<i>9.20</i>	<70.0	<10.0	<20.0	<50.0	<b>3.00</b>	<6.50	<10.0
B1000	6/4/2003	<i>5.30</i>	<70.0	<10.0	<20.0	<50.0	<i>0.30</i>	<6.50	<10.0
B1500	6/4/2003	<1.20	<70.0	<10.0	<20.0	<50.0	<i>0.30</i>	<6.50	<10.0
B1700	6/4/2003	<1.20	<70.0	<10.0	<20.0	<50.0	<b>23.0</b>	<6.50	<10.0
B2400	8/28/2003	NA	NA	NA	NA	<1.50	NA	NA	NA
MW-1	9/20/1990	<10.0	110	<10.0	<10.0	<b>170</b>	<0.40	<20.0	<10.0
	5/8/2003	<1.20	<70.0	<10.0	<20.0	<50.0	<i>0.80</i>	<6.50	<10.0
	8/29/2003	<5.00	<400	<5.00	<10.0	<1.50	<i>0.428</i>	<10.0	<i>13.4</i>
	8/16/2021	<4.40	35.1	<0.48	<1.40	<2.99	<0.10	<7.35	<1.54
	11/24/2021	<4.40	55.3	<0.48	<1.40	<2.99	<0.10	<7.35	<1.54
	3/11/2022	<i>1.10 J</i>	53.1	<3.10	<4.30	<0.80	<0.10	<1.10	<8.60
7/13/2022	<0.80	55.8	<3.74	<3.54	1.00 J	<0.10	<1.10	<8.60	
MW-2	9/20/1990	<10.0	640	<10.0	10.0	<100	<0.40	<20.0	<10.0
	5/8/2003	<i>5.20</i>	79.0 J	<10.0	<20.0	<b>60.0 J</b>	<b>2.70</b>	<6.50	<10.0
	8/29/2003	<i>6.63</i>	<400	<0.50	<10.0	<1.50	<i>0.308</i>	<10.0	<i>12.8</i>
	8/16/2021	<4.40	45.8	<0.48	<1.40	<2.99	<0.10	<7.35	<1.54
	11/24/2021	<4.40	86.9	<0.48	<1.40	<2.99	<0.10	<7.35	<1.54
	3/11/2022	<i>1.80 J</i>	89.3	<3.10	<4.30	<0.80	<0.10	1.10 J	<8.60
7/13/2022	<0.80	71.6	<3.74	<3.54	<0.80	<0.10	<1.10	<8.60	
MW-3	9/20/1990	<10.0	90.0	<10.0	10.0	<100	<i>0.60</i>	<20.0	<10.0
	5/8/2003	<i>3.30</i>	<70.0	<10.0	<20.0	<50.0	<i>1.20</i>	<6.50	<10.0
	8/29/2003	<b>12.6</b>	<400	<0.50	<10.0	<21.0	<i>0.634</i>	<10.0	<i>12.6</i>
	8/16/2021	<4.40	23.2	<0.48	1.78 J	<2.99	<0.10	<7.35	<1.54
	11/24/2021	<4.40	74.4	<0.48	<1.40	<2.99	<0.10	<7.35	<1.54
	3/11/2022	<i>1.90 J</i>	51.3	<3.10	<4.30	<0.80	<0.10	<1.10	<8.60
7/13/2022	<0.80	35.5	<3.74	<3.54	<0.80	<0.10	<1.10	<8.60	
ES (ppb)	-	10	2,000	5	100	15	2	50	50
PAL (ppb)	-	1	400	1	10	5	0.2	10	10

Notes:

1. Concentrations in *blue italics* exceed their respective NR 140 preventive action limits (PALs).
2. Concentrations in **red bold** exceed their respective NR 140 enforcement standards (ESs).
3. NA: Not analyzed for that parameter.

**Table A.1.c. (Page 2 of 2)**  
**Groundwater Metals Results**  
**6529 West Highland Road**  
**Mequon, Wisconsin**

Sample Location	Sampling Date	Arsenic (ppb)	Baruim (ppb)	Cadmium (ppb)	Chromium (ppb)	Lead (ppb)	Mercury (ppb)	Selenium (ppb)	Silver (ppb)
MW-4	9/20/1990	<10.0	80.0	<10.0	<10.0	<b>150</b>	<0.40	<20.0	<10.0
	5/8/2003	<1.20	<70	<10.0	<20.0	<b>50.0 J</b>	<i>1.90</i>	<6.50	<10.0
	8/29/2003	<5.00	<400	<0.50	<10.0	<1.50	<i>0.50</i>	<10.0	<i>14.9</i>
	8/16/2021	<4.40	33.1	<0.48	1.75 J	<2.99	<0.10	<7.35	<1.54
	11/24/2021	<4.40	73.2	<0.48	<1.40	<2.99	<0.10	<7.35	<1.54
	3/11/2022	<i>1.30 J</i>	56.5	<3.10	<4.30	<0.80	<0.10	<1.10	<8.60
	7/13/2022	<0.80	69.8	<3.74	<3.54	<0.80	<0.10	<1.10	<8.60
MW-5	8/29/2003	<5.00	<400	<0.50	<10.0	<1.50	<i>0.65</i>	<10.0	<i>13.5</i>
	8/16/2021	<i>6.40 J</i>	20.4	<0.48	1.85 J	<i>5.07 J</i>	<0.10	<7.35	<1.54
	11/24/2021	<4.40	61.6	<0.48	<1.40	<2.99	<0.10	<7.35	<1.54
	3/11/2022	<i>1.10 J</i>	43.4	<3.10	<4.30	<0.80	<0.10	<1.10	<8.60
	7/13/2022	<0.80	40.6	<3.74	<3.54	1.50 J	<0.10	<1.10	<8.60
MW-6	8/29/2003	<5.00	<400	<0.50	<10.0	<0.15	<i>0.668</i>	<10.0	<i>13.0</i>
	8/16/2021	<4.40	44.1	<0.48	2.77 J	<2.99	<0.10	<7.35	<1.54
	11/24/2021	<4.40	53.4	<0.48	<1.40	<2.99	<0.10	<7.35	<1.54
	3/11/2022	<i>1.60 J</i>	104	<3.10	<4.30	4.50	<0.10	1.10	<8.60
	7/13/2022	<i>3.10</i>	127	<3.74	<3.54	<0.80	<0.10	<1.10	<8.60
MW-7	5/8/2003	<5.00	<400	<0.50	<10.0	<1.50	<i>0.415</i>	<10.0	<i>12.2</i>
MW-8	8/29/2003	<5.00	<400	<0.50	<10.0	<1.50	<i>0.476</i>	<10.0	<i>13.4</i>
	8/16/2021	<4.40	46.8	<0.48	<1.40	<2.99	<0.10	<7.35	<1.54
	11/24/2021	<4.40	88.1	<0.48	<1.40	<2.99	<0.10	<7.35	<1.54
	3/11/2022	<i>1.40 J</i>	106	<3.10	4.60 J	<0.80	<0.10	<1.10	<8.60
	7/13/2022	<i>1.00 J</i>	110	<3.74	<3.54	3.00	<0.10	<1.10	<8.60
ES (ppb)	-	<i>10</i>	<i>2,000</i>	<i>5</i>	<i>100</i>	<i>15</i>	<i>2</i>	<i>50</i>	<i>50</i>
PAL (ppb)	-	<i>1</i>	<i>400</i>	<i>1</i>	<i>10</i>	<i>5</i>	<i>0.2</i>	<i>10</i>	<i>10</i>

Notes:

1. Concentrations in *blue italics* exceed their respective NR 140 preventive action limits (PALs).
2. Concentrations in **red bold** exceed their respective NR 140 enforcement standards (ESs).
3. NA: Not analyzed for that parameter.

**Table A.2.a. (Page 1 of 2)**  
**Soil VOC Results**  
**6529 West Highland Road**  
**Mequon, Wisconsin**

Sample Location	Sampling Date	S/US	Benzene (ppb)	Ethylbenzene (ppb)	Methyl tert-butyl ether (ppb)	Naphthalene (ppb)	Tetrachloroethene (ppb)	Toluene (ppb)	1,1,1-Trichloroethane (ppb)	Trichloroethene (ppb)	Combined Trimethylbenzenes (ppb)	Total Xylenes (ppb)
HIS B-5: 6-7.5 FT	4/8/1988	US	26.0	<2.00	NA	NA	<1.00	15.0	2.00	4.00	NA	86.0
Giles B-3: 2-3.5 FT	9/17/1990	US	9.00	12.0	NA	NA	<1.00	11.0	2.00	8.00	NA	NA
NET B100: 2-4 FT	6/2/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B100: 6-8 FT	6/2/2003	S	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B200: 2-4 FT	6/2/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B200: 6-8 FT	6/2/2003	S	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B300: 2-4 FT	6/2/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	110	<50.0	<75.0
NET B300: 8-10 FT	6/2/2003	S	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B400: 2-4 FT	6/2/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B400: 8-10 FT	6/2/2003	S	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B500: 2-4 FT	6/2/2003	US	<25.0	<25.0	<25.0	2,400	<25.0	54.0	<25.0	<25.0	87.0	<75.0
NET B500: 6-8 FT	6/2/2003	S	<25.0	<25.0	<25.0	69.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B600: 2-4 FT	6/2/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B600: 8-10 FT	6/2/2003	S	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B700: 2-4 FT	6/2/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B700: 10-12 FT	6/2/2003	S	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B800: 2-4 FT	6/2/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B800: 8-10 FT	6/2/2003	S	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B900: 2-4 FT	6/2/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B900: 10-12 FT	6/2/2003	S	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B1000: 2-4 FT	6/2/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B1000: 6-8 FT	6/2/2003	S	<25.0	153	<25.0	1,000	<25.0	<25.0	<25.0	<25.0	2,469	92.0
NET B1100: 2-4 FT	6/2/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B1100: 6-8 FT	6/2/2003	S	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B1200: 2-4 FT	6/2/2003	US	<25.0	<25.0	<25.0	48.0 J	<25.0	<25.0	<25.0	<25.0	319	<75.0
NET B1200: 6-8 FT	6/2/2003	S	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B1300: 2-4 FT	6/3/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B1300: 10-12 FT	6/3/2003	S	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NR 720 Groundwater RCL			5.0	1,600	27	660	4.5	1,100	140	4.0	1,400	4,000
NR 720 Residential DC RCL			1,600	8,020	63,800	2,400	33,000	818,000	640,000	1,300	219K/182K	260,000
NR 720 Industrial DC RCL			7,070	35,400	282,000	10,200	145,000	818,000	640,000	8,410	219K/182K	260,000

Note: Only the detected compounds are presented.  
Note: NR 720 values calculated utilizing the U.S. EPA's RSL Web-Calculator per DNR document RR-890 (updated October 2024).  
Note: Concentrations that exceed their respective RCLs for the protection of groundwater are in *blue italics*.  
Note: Concentrations that exceed their respective non-industrial RCLs for direct contact are underlined.  
Note: Concentrations that exceed their respective industrial RCLs for direct contact are in [brackets].  
Note: "J" indicates slight detection above the level of detection but less than the level of quantification.  
Note: NA indicates not analyzed for that parameter.

**Table A.2.a. (Page 2 of 2)**  
**Soil VOC Results**  
**6529 West Highland Road**  
**Mequon, Wisconsin**

Sample Location	Sampling Date	S/US	Benzene (ppb)	Ethylbenzene (ppb)	Methyl tert-butyl ether (ppb)	Naphthalene (ppb)	Tetrachloroethene (ppb)	Toluene (ppb)	1,1,1-Trichloroethane (ppb)	Trichloroethene (ppb)	Combined Trimethylbenzenes (ppb)	Total Xylenes (ppb)
NET B1400: 2-4 FT	6/3/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B1400: 6-8 FT	6/3/2003	S	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B1500: 2-4 FT	6/3/2003	US	<25.0	<25.0	<25.0	83.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B1500: 6-8 FT	6/3/2003	S	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B1600: 0-2 FT	6/3/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B1600: 6-8 FT	6/3/2003	S	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B1700: 0-2 FT	6/3/2003	US	<25.0	<25.0	<25.0	<u>4.000</u>	<25.0	<25.0	<25.0	<25.0	397	212
NET B1700: 6-8 FT	6/3/2003	S	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B1800: 0-2 FT	6/3/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B1800: 6-8 FT	6/3/2003	S	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B1900: 0-2 FT	6/3/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B1900: 6-8 FT	6/3/2003	S	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B2000: 2-4 FT	8/28/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B2100: 6-8 FT	8/28/2003	S	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B2200: 6-8 FT	8/28/2003	S	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET B2300: 2-4 FT	8/28/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET HA1: 0-2 FT	8/28/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET HA2: 0-2 FT	8/28/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET HA3: 0-2 FT	8/28/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
NET HA4: 0-2 FT	8/28/2003	US	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<25.0	<50.0	<75.0
FEC S-1: 0-2 FT	9/21/2021	US	<25.0	215	<36.0	610	<39.0	51.0 J	<30.0	<39.0	277 J	219 J
NR 720 Groundwater RCL			5.0	1,600	27	660	4.5	1,100	140	4.0	1,400	4,000
NR 720 Residential DC RCL			1,600	8,020	63,800	2,400	33,000	818,000	640,000	1,300	219K/182K	260,000
NR 720 Industrial DC RCL			7,070	35,400	282,000	10,200	145,000	818,000	640,000	8,410	219K/182K	260,000

Note: Only the detected compounds are presented.  
 Note: NR 720 values calculated utilizing the U.S. EPA's RSL Web-Calculator per DNR document RR-890 (updated October 2024) .  
 Note: Concentrations that exceed their respective RCLs for the protection of groundwater are in *blue italics* .  
 Note: Concentrations that exceed their respective non-industrial RCLs for direct contact are underlined.  
 Note: Concentrations that exceed their respective industrial RCLs for direct contact are in [brackets].  
 Note: "J" indicates slight detection above the level of detection but less than the level of quantification.  
 Note: NA indicates not analyzed for that parameter.

**Table A.2.b.  
Soil PAH Results  
6529 West Highland Road  
Mequon, Wisconsin**

Sample Location	Sampling Date	S/US	Acena-phthene (ppb)	Acena-phthylene (ppb)	Anthracene (ppb)	Benzo (a) anthra-cene (ppb)	Benzo (a) pyrene (ppb)	Benzo (b) fluor-anthene (ppb)	Benzo (g,h,i) perylene (ppb)	Benzo (k) fluor-anthene (ppb)	Chrysene (ppb)	Dibenzo (a,h) anthra-cene (ppb)	Fluor-anthene (ppb)	Fluorene (ppb)	Indeno (1,2,3-cd) pyrene (ppb)	1-Methyl Naph-thalene (ppb)	2-Methyl Naph-thalene (ppb)	Naph-thalene (ppb)	Phen-anthrene (ppb)	Pyrene (ppb)
NET B100: 2-4 FT	6/2/2003	US	<28.0	<32.0	<46.0	<33.0	<43.0	<42.0	<32.0	<45.0	<46.0	<47.0	74.0 J	<32.0	<56.0	<47.0	29.0 J	<39.0	358	52.0 J
NET B200: 2-4 FT	6/2/2003	US	<28.0	<32.0	<46.0	<33.0	<43.0	<42.0	<32.0	<45.0	<46.0	<47.0	66.0	<32.0	<56.0	<47.0	<22.0	<39.0	352	63.0
NET B300: 2-4 FT	6/2/2003	US	<560	<640	<920	<660	<860	<840	<640	<900	<920	<940	1,400 J	<640	<1,120	<940	<440	<780	1,100 J	1,300 J
NET B400: 2-4 FT	6/2/2003	US	3,900 J	<3,200	16,000	<u>19,000</u>	<u>[17,000]</u>	<u>21,000</u>	4,000 J	11,000 J	<u>20,000</u>	<4,700	51,000	4,600 J	<5,600	<4,700	<2,200	<3,900	37,000	42,000
NET B500: 2-4 FT	6/2/2003	US	480 J	<320	1,000 J	<u>1,200</u>	<u>1,200 J</u>	<u>1,600</u>	<320	830 J	<u>1,300 J</u>	<470	3,100	480 J	<560	<470	<220	<390	2,500	2,500
NET B700: 2-4 FT	6/2/2003	US	<28.0	<32.0	<46.0	34.0 J	<43.0	<42.0	<32.0	<45.0	<46.0	<47.0	78.0 J	<32.0	<56.0	<47.0	38.0 J	<39.0	330	64.0 J
NET B700: 10-12 FT	6/2/2003	S	<28.0	<32.0	<46.0	<33.0	<43.0	<42.0	<32.0	<45.0	<46.0	<47.0	<30.0	<32.0	<56.0	<47.0	<22.0	<39.0	<36.0	<39.0
NET B800: 2-4 FT	6/2/2003	US	<28.0	<32.0	<46.0	<33.0	<43.0	<42.0	<32.0	<45.0	<46.0	<47.0	<30.0	<32.0	<56.0	<47.0	<22.0	<39.0	<36.0	<39.0
NET B900: 2-4 FT	6/2/2003	US	<28.0	<32.0	<46.0	<33.0	<43.0	<42.0	<32.0	<45.0	<46.0	<47.0	<30.0	<32.0	<56.0	<47.0	<22.0	<39.0	<36.0	<39.0
NET B1000: 2-4 FT	6/2/2003	US	<28.0	<32.0	<46.0	<33.0	<43.0	<42.0	<32.0	<45.0	<46.0	<47.0	<30.0	<32.0	<56.0	<47.0	<22.0	<39.0	<36.0	<39.0
NET B1000: 6-8 FT	6/2/2003	S	310	68.0 J	150	<33.0	<43.0	<42.0	<32.0	<45.0	<46.0	<47.0	58.0 J	440	<56.0	<u>640</u>	750	140	670	58.0 J
NET B1100: 2-4 FT	6/2/2003	US	<28.0	<32.0	<46.0	<33.0	<43.0	<42.0	<32.0	<45.0	<46.0	<47.0	<30.0	<32.0	<56.0	<47.0	<22.0	<39.0	<36.0	<39.0
NET B1200: 2-4 FT	6/3/2003	US	86.0 J	<32.0	<46.0	<33.0	<43.0	<42.0	<32.0	<45.0	<46.0	<47.0	<30.0	87.0 J	<56.0	<u>[1,200]</u>	570	290	130	<39.0
NET B1300: 2-4 FT	6/3/2003	US	<28.0	<32.0	<46.0	<33.0	<43.0	<42.0	<32.0	<45.0	<46.0	<47.0	<30.0	<32.0	<56.0	<47.0	<22.0	<39.0	<36.0	<39.0
NET B1400: 2-4 FT	6/3/2003	US	<28.0	<32.0	<46.0	<33.0	<43.0	<42.0	<32.0	<45.0	<46.0	<47.0	<30.0	<32.0	<56.0	<47.0	<22.0	<39.0	43.0 J	<39.0
NET B1500: 2-4 FT	6/3/2003	US	<560	<640	960 J	<u>1,500 J</u>	<u>1,500 J</u>	<840	<640	<900	<u>2,300 J</u>	<940	1,100 J	<640	<1,120	<u>960 J</u>	790 J	<780	6,200	12,000
NET B1600:6-8 FT	6/3/2003	US	<140	<160	<230	<165	<215	<210	<160	<225	<230	<235	<150	<160	<280	<235	<110	<195	<180	<195
NET B1700: 0-2 FT	6/3/2003	US	1,100	450 J	3,600	<u>6,300</u>	<u>[7,000]</u>	<u>8,200</u>	1,300	4,000	<u>7,100</u>	<470	5,800	1,200	<u>1,400 J</u>	<u>[4,000]</u>	7,400	<u>2,400</u>	8,000	9,800
NET B1800: 0-2 FT	6/3/2003	US	<28.0	<32.0	<46.0	44.0 J	44.0 J	48.0 J	<32.0	<45.0	<46.0	<47.0	94.0 J	<32.0	<56.0	<47.0	<22.0	<39.0	<36.0	83.0 J
NET B1900: 0-2 FT	6/3/2003	US	<28.0	<32.0	<46.0	<33.0	<43.0	<42.0	<32.0	<45.0	<46.0	<47.0	<30.0	<32.0	<56.0	<47.0	<22.0	<39.0	<36.0	<39.0
NR 720 Groundwater RCL			NS	NS	<u>197,000</u>	NS	<u>470</u>	<u>480</u>	NS	<u>140</u>	NS	<u>89,000</u>	<u>15,000</u>	NS	NS	NS	<u>239,000</u>	<u>660</u>	NS	<u>55,000</u>
NR 720 Non-Industrial DC RCL			<u>3,590,000</u>	NS	<u>17,900,000</u>	<u>1,140</u>	<u>115</u>	<u>1,150</u>	NS	<u>11,500</u>	<u>115,000</u>	<u>115</u>	<u>2,390,000</u>	<u>2,390,000</u>	<u>1,150</u>	265	<u>239,000</u>	<u>2,400</u>	NS	<u>1,790,000</u>
NR 720 Industrial DC RCL			<u>45,200,000</u>	NS	<u>100,000,000</u>	<u>20,800</u>	<u>2,110</u>	<u>21,100</u>	NS	<u>211,000</u>	<u>2,110,000</u>	<u>2,110</u>	<u>30,100,000</u>	<u>30,100,000</u>	<u>21,100</u>	<u>1,110</u>	<u>3,010,000</u>	<u>10,200</u>	NS	<u>22,600,000</u>

Note: NR 720 values are calculated utilizing the U.S. EPA's Regional Screening Level Web-Calculator per DNR draft document RR-890 (updated October 2024).  
 Note: Concentrations that exceed their respective RCLs for the protection of groundwater are in *blue italics*.  
 Note: Concentrations that exceed their respective non-industrial RCLs for direct contact are underlined.  
 Note: Concentrations that exceed their respective industrial RCLs for direct contact are in [brackets].  
 Note: "J" indicates slight detection above the level of detection but less than the level of quantification.

**Table A.2.c.  
Soil Metals Results  
6529 West Highland Road  
Mequon, Wisconsin**

Sample Location	Sampling Date	S/US	Arsenic (ppm)	Barium (ppm)	Cadmium (ppm)	Chromium (ppm)	Lead (ppm)	Mercury (ppm)	Selenium (ppm)	Silver (ppm)
Giles Pit 2 (TP2)	9/12/1990	US	<u>[8.20]</u>	49.0	2.40	5.30	58.0	0.072	<0.20	<0.10
NET B100: 2-4 FT	6/2/2003	US	<u>[5.30]</u>	9.90	<0.01	3.00	4.50	0.05	<0.30	<0.01
NET B200: 6-8 FT	6/2/2003	US	<u>[3.40]</u>	78.0	<0.01	11.0	14.0	0.07	<0.64	1.40
NET B300: 2-4 FT	6/2/2003	US	<u>[4.20]</u>	40.0	<0.01	12.0	126	0.03	<0.64	1.60
NET B400: 2-4 FT	6/2/2003	US	<u>[3.80]</u>	105	0.75	16.0	76.0	0.15	<0.25	1.20
NET B500: 2-4 FT	6/2/2003	US	<u>[5.70]</u>	116	1.00	11.0	293	0.10	<0.64	1.20
NET B600: 2-4 FT	6/2/2003	US	<u>[4.70]</u>	48.0	<0.01	8.80	18.0	0.05	<0.64	1.60
NET B700: 2-4 FT	6/2/2003	US	<u>[5.40]</u>	12.0	<0.01	3.30	3.10	<0.0002	<0.25	<0.01
NET B700: 10-12 FT	6/2/2003	S	<u>[8.10]</u>	33.0	<0.01	8.30	9.70	0.03	<0.64	1.60
NET B800: 2-4 FT	6/2/2003	US	<u>[9.10]</u>	479	2.80	29.0	<u>[1.351]</u>	0.19	<0.64	3.20
NET B900: 10-12 FT	6/2/2003	US	<u>[3.60]</u>	27.0	<0.01	5.70	10.0	0.04	<1.40	2.10
NET B1000: 2-4 FT	6/2/2003	US	<u>[12.0]</u>	590	1.60	34.0	<u>[1.500]</u>	0.09	<1.30	3.20
CP	6/2/2003	US	<u>[12.0]</u>	11.0	<0.01	<0.02	8.50	<0.0002	<0.64	<0.01
NET B1200: 2-4 FT	6/3/2003	US	<u>[5.60]</u>	736	1.20	29.0	<u>[996]</u>	0.18	<1.30	1.80
NET B1400: 2-4 FT	6/3/2003	US	<u>[77.0]</u>	202	1.30	4.80	122	0.14	<0.64	<0.01
NET B1500: 2-4 FT	6/3/2003	US	<u>[3.50]</u>	43.0	0.54	6.10	20.0	0.03	<0.64	1.90
NET B1500: 6-8 FT	6/3/2003	S	<u>[3.20]</u>	34.0	<0.01	11.0	3.50	0.07	<1.50	2.00
NET B1600: 0-2 FT	6/3/2003	US	<u>[2.80]</u>	51.0	0.51	13.0	7.00	0.06	<0.64	0.73
NET B1700: 0-2 FT	6/3/2003	US	<u>[2.60]</u>	29.0	<0.01	5.40	13.0	0.06	<0.63	2.80
NET B1800: 0-2 FT	6/3/2003	US	<u>[4.80]</u>	37.0	0.72	11.0	42.0	0.10	<0.64	<0.01
SP	6/4/2003	US	NA	NA	NA	NA	<u>[8.179]</u>	NA	NA	NA
NET B2000: 2-4 FT	8/28/2003	US	<u>[3.69]</u>	61.7	<0.59	11.3	21.9	<0.0472	<2.95	<2.95
NET B2100: 6-8 FT	8/28/2003	US	<3.15	65.2	<0.631	9.11	13.0	<0.0505	<3.15	<3.15
NET B2200: 6-8 FT	8/28/2003	US	<2.79	<27.9	<0.559	6.23	9.58	<0.0447	<2.79	<2.79
NET B2300: 2-4 FT	8/28/2003	US	<2.94	<29.4	<0.589	4.12	4.42	<0.0471	<2.94	<2.94
NET B2400: 2-4 FT	8/28/2003	US	NA	NA	NA	NA	41.3	NA	NA	NA
NET HA 1: 0-2 FT	8/28/2003	US	<u>[3.82]</u>	<28.0	<0.56	6.56	8.06	<0.0448	<2.80	<2.80
NET HA 2: 0-2 FT	8/28/2003	US	0.117	68.8	0.68	18.8	15.4	0.117	<2.86	<2.86
NET HA 3: 0-2 FT	8/28/2003	US	<u>[4.99]</u>	<29.0	<0.58	14.8	18.7	0.0919	<2.90	<2.90
NET HA 4: 0-2 FT	8/28/2003	US	<u>[5.08]</u>	69.1	0.642	11.5	14.2	0.0958	<3.12	<3.12
NET S1: 0-2 FT	1/16/2004	US	NA	NA	NA	NA	58.0	NA	NA	NA
NET S2: 0-2 FT	1/16/2004	US	NA	NA	NA	NA	11.0	NA	NA	NA
FEC S-1: 0-2 FT	9/21/2021	US	<u>2.63</u>	132	0.423	19.5	46.5	<0.018	<0.764	<0.127
FEC CS-1: 0-2 FT	10/20/2023	US	NA	NA	NA	NA	28.1	NA	NA	NA
FEC CS-2: 0-2 FT	12/13/2023	US	NA	NA	NA	NA	6.28	NA	NA	NA
FEC CS-3: 0-2 FT	12/13/2023	US	NA	NA	NA	NA	11.0	NA	NA	NA
NR 720 Groundwater RCL			0.58	165	0.75	360,000	27	0.21	0.52	0.85
NR 720 Non-industrial DC RCL			0.677	15,300	7.1	0.3/100K	200	3.13	391	391
NR 720 Industrial DC RCL			3	100,000	100	6.36/100K	800	3.13	5,840	5,840
USGS Background Values			8.3	364	1.1	44	52.0	NS	NS	NS

Note: NR 720 values are calculated utilizing the EPA's Regional Screening Level Web-Calculator per DNR document RR-890 (updated October 2024).

Note: Concentrations that exceed their respective RCLs for the protection of groundwater are in *blue italics*.

Note: Concentrations that exceed their respective non-industrial RCLs for direct contact are underlined.

Note: Concentrations that exceed their respective industrial RCLs for direct contact are in [brackets].

Note: "J" indicates slight detection above the level of detection but less than the level of quantification.

Note: NA indicates not analyzed for that parameter.

**Table A.6.  
Groundwater Elevations  
6529 West Highland Road  
Mequon, Wisconsin**

<b>Well Number</b>	<b>Date</b>	<b>Ground Surface Elevation</b>	<b>Top of Casing Elevation</b>	<b>*Depth to Water Below Casing</b>	<b>Depth to Water Below Ground</b>	<b>Groundwater Elevation</b>	<b>Elevation Change</b>
<b>MW-1</b>	9/20/1990	682.33	684.90	8.41	5.84	<b>676.49</b>	-
	5/8/2003			6.73	4.16	<b>678.17</b>	<b>1.68</b>
	8/29/2003			9.37	6.80	<b>675.53</b>	<b>-2.64</b>
	8/16/2021			7.75	5.18	<b>677.15</b>	<b>1.62</b>
	11/24/2021			8.93	6.36	<b>675.97</b>	<b>-1.18</b>
	3/11/2022			8.45	5.88	<b>676.45</b>	<b>0.48</b>
	7/13/2022			8.32	5.75	<b>676.58</b>	<b>0.13</b>
<b>MW-2</b>	9/20/1990	679.35	682.91	13.00	9.44	<b>669.91</b>	-
	5/8/2003			11.59	8.03	<b>671.32</b>	<b>1.41</b>
	8/29/2003			13.73	10.17	<b>669.18</b>	<b>-2.14</b>
	8/16/2021			11.98	8.42	<b>670.93</b>	<b>1.75</b>
	11/24/2021			13.03	9.47	<b>669.88</b>	<b>-1.05</b>
	3/11/2022			12.62	9.06	<b>670.29</b>	<b>0.41</b>
	7/13/2022			12.50	8.94	<b>670.41</b>	<b>0.12</b>
<b>MW-3</b>	9/20/1990	675.90	678.79	7.22	4.33	<b>671.57</b>	-
	5/8/2003			5.78	2.89	<b>673.01</b>	<b>1.44</b>
	8/29/2003			10.21	7.32	<b>668.58</b>	<b>-4.43</b>
	8/16/2021			7.13	4.24	<b>671.66</b>	<b>3.08</b>
	11/24/2021			8.94	6.05	<b>669.85</b>	<b>-1.81</b>
	3/11/2022			8.44	5.55	<b>670.35</b>	<b>0.50</b>
	7/13/2022			8.46	5.57	<b>670.33</b>	<b>-0.02</b>
<b>MW-4</b>	9/20/1990	679.76	682.49	7.45	4.72	<b>675.04</b>	-
	5/8/2003			6.35	3.62	<b>676.14</b>	<b>1.10</b>
	8/29/2003			9.14	6.41	<b>673.35</b>	<b>-2.79</b>
	8/16/2021			7.40	4.67	<b>675.09</b>	<b>1.74</b>
	11/24/2021			8.75	6.02	<b>673.74</b>	<b>-1.35</b>
	3/11/2022			8.35	5.62	<b>674.14</b>	<b>0.40</b>
	7/13/2022			7.54	4.81	<b>674.95</b>	<b>0.81</b>
<b>MW-5</b>	8/29/2003	682.26	685.52	10.24	6.98	<b>675.28</b>	-
	8/16/2021			8.08	4.82	<b>677.44</b>	<b>2.16</b>
	11/24/2021			10.35	7.09	<b>675.17</b>	<b>-2.27</b>
	3/11/2022			9.75	6.49	<b>675.77</b>	<b>0.60</b>
	7/13/2022			8.99	5.73	<b>676.53</b>	<b>0.76</b>
<b>MW-6</b>	8/29/2003	679.63	682.86	13.73	10.50	<b>669.13</b>	-
	8/16/2021			12.04	8.81	<b>670.82</b>	<b>1.69</b>
	11/24/2021			13.51	10.28	<b>669.35</b>	<b>-1.47</b>
	3/11/2022			13.14	9.91	<b>669.72</b>	<b>0.37</b>
	7/13/2022			13.22	9.99	<b>669.64</b>	<b>-0.08</b>
<b>MW-7</b>	8/29/2003	674.14	677.19	9.50	6.45	<b>667.69</b>	-
Well damaged - Abandoned							
<b>MW-8</b>	8/29/2003	670.03	673.53	6.40	2.90	<b>667.13</b>	-
	8/16/2021			4.84	1.34	<b>668.69</b>	<b>1.56</b>
	11/24/2021			4.94	1.44	<b>668.59</b>	<b>-0.10</b>
	3/11/2022			4.58	1.08	<b>668.95</b>	<b>0.36</b>
	7/13/2022			5.15	1.65	<b>668.38</b>	<b>-0.57</b>

\*Measured from the north rim of the top of well casing.  
All measurements are presented in feet.  
Benchmark: Elevations referenced to the City of Milwaukee datum.

**Table A.7. (Page 1 of 2)  
Methane Gas Evaluation  
6529 West Highland Road  
Mequon, Wisconsin**

<b>Sample ID</b>	<b>Sampling Date</b>	<b>Methane (% LEL)</b>
B100	10/1/2003	0.0
	10/3/2003	0.0
	10/5/2003	0.0
	10/8/2003	0.0
	10/10/2003	0.0
B300	10/1/2003	0.0
	10/3/2003	0.0
	10/5/2003	0.0
	10/8/2003	0.0
	10/10/2003	0.0
B500	10/1/2003	0.0
	10/3/2003	0.0
	10/5/2003	0.0
	10/8/2003	0.0
	10/10/2003	0.0
B600	10/1/2003	0.0
	10/3/2003	0.0
	10/5/2003	0.0
	10/8/2003	0.1
	10/10/2003	0.0
B700	10/1/2003	0.0
	10/3/2003	0.0
	10/5/2003	0.0
	10/8/2003	0.0
	10/10/2003	0.0
B800	10/1/2003	0.0
	10/3/2003	0.0
	10/5/2003	0.0
	10/8/2003	0.0
	10/10/2003	0.0

**Table A.7. (Page 2 of 2)  
Methane Gas Evaluation  
6529 West Highland Road  
Mequon, Wisconsin**

<b>Sample ID</b>	<b>Sampling Date</b>	<b>Methane (% LEL)</b>
B1000	10/1/2003	0.0
	10/3/2003	0.0
	10/5/2003	0.0
	10/8/2003	0.1
	10/10/2003	0.2
B1200	10/1/2003	0.0
	10/3/2003	0.0
	10/5/2003	0.0
	10/8/2003	0.0
	10/10/2003	0.0
B1500	10/1/2003	0.1
	10/3/2003	0.0
	10/5/2003	0.0
	10/8/2003	0.0
	10/10/2003	0.0
B1700	10/1/2003	0.0
	10/3/2003	2.0
	10/5/2003	0.0
	10/8/2003	1.1
	10/10/2003	1.3
	5/8/2024	0.0
MW-1	5/8/2024	0.0
MW-2	5/8/2024	0.0
MW-3	5/8/2024	0.0
MW-4	5/8/2024	0.0
MW-5	5/8/2024	0.0
MW-6	5/8/2024	0.0
MW-8	5/8/2024	0.0