



11333 N. Cedarburg Road
Mequon, WI 53092
Phone: 262-236-2924
Fax: 262-242-9655

www.ci.mequon.wi.us

Inspection Department

ARCHITECTURAL BOARD
Monday, July 8, 2024
6:00 PM
City Hall – Lower Conference Room

Agenda

After Architectural Board approval, please call the Building Inspection's Office at (262-236-2924) to schedule issuance of the building permit.

It is advisable that someone is present to represent your building permit application.

ALL TIMES LISTED ARE APPROXIMATE AND IT IS STRONGLY RECOMMENDED THAT APPLICANT(S) **ARRIVE AT 6:00 PM AT THE START OF THE MEETING TO ENSURE THAT YOU ARE AVAILABLE WHEN YOUR ITEM IS DISCUSSED.**

Enter at the East or West (Elevator) Entrance - Reasonable accommodation will be made for those citizens who are unable to attend the meeting in the methods identified above upon at least two hours' notice. Notice can be given to the City Clerk's Office at 262-236-2914.

1) Call to Order. Roll Call

2) Approval of Meeting Minutes

Action requested: review and approve

a. Meeting Minutes from June 10, 2024

3) Architectural Board Applications:

1. **Daren & Krista Diiorio**

10723 N. Torrey Drive

Subdivision: Torrey Drive Estates

District 7 – 6:00 pm

New Single-Family Residence

Contractor: Victory Homes of WI

Architect: David Pluim

2. **Jamie & Demetrios Georgacopoulos**

3535 W. Torrey Drive

Subdivision: Torrey Drive Estates

District 7 – 6:05 pm

New Single-Family Residence

Contractor: Victory Homes of WI

Architect: David Pluim

3. **Brent Hamm & Rachel Miller**

13771 N. Pine View Court

Subdivision: Riverland Estates

District 1 – 6:10 pm

New Single-Family Residence

Contractor: Anderson Homes

Architect: Anderson Homes

4. **William & Joann Pennington**

7033 W. Overlook Court

Subdivision: Highland Ridge

District 1 – 6:15 pm

Addition: Attached Garage

Contractor: TBD

Architect: Deep River Partners

4) Adjourn

Notice is hereby given that a quorum of other governmental bodies may be present at this meeting to present, discuss and/or gather information about a subject over which they have decision-making responsibility, although they will not take formal action thereto at this meeting.



11333 N. Cedarburg Road
Mequon, WI 53092-1930
Phone: 262-242-3100
Fax: 262-242-9655

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Office of Architectural Board

TO: Architectural Board
FROM: Karen Heil, Administrative Assistant
DATE: July 8, 2024
SUBJECT: Meeting Minutes from June 10, 2024

Attachments:
6.10 (PDF)



www.ci.mequon.wi.us

11333 N. Cedarburg Road
 Mequon, Wisconsin 53092
 Phone: (262) 236-2924
 Fax: (262) 242-9818

INSPECTION DIVISION

ARCHITECTURAL BOARD MINUTES
Monday, June 10, 2024
6:00 PM
Lower-Level Conference Room

Minutes

1. Call to Order, Roll Call:

Present: Vice-Chairman Paul Apfelabch

Members at Large: Michael Wade, Tom Irvin, Janet Ehn, Anthony LaGalbo

Building Inspector: Greg Golden

2. Meeting Minutes

Minutes from the May 13, 2024, meeting were approved by District Representative Tom Irvin and seconded by District Representative Anthony LaGalbo.

Minutes passed unanimously.

Attachment: 6.10 (9498 : Meeting Minutes from June 10, 2024)

3. Application Submittals:

No.	Alder. District /Time	Type of App	Owner(s) / Project Address	Contractor
1)	Dist. 1 6:00 pm	New Detached Garage	Minahan Children LLC 13725 N. Green Bay Road Subd: N/A	Contractor: WI Craftsman Architect: John Klett
Moved to Approve: <u>Irvin</u> Seconded by: <u>LaGalbo</u> Approved: <u>Yes</u> Vote: <u>Unanimous</u> Conditions: Plans approved as submitted.				
2)	Dist. 1 6:10 pm	Addition: Attached Garage	William & Joann Pennington 7033 W. Overlook Court Subd: Highland Ridge	Contractor: TBD Architect: Deep River Partners
Moved to Approve: _____ Seconded by: _____ Approved: _____ Vote: _____ Conditions: _____ CANCELED				
3)	Dist. 3 6:20 pm	New Single-Family Residence	Veridian Homes LLC 8021 W. Preserve Parkway Subd: The Enclave	Contractor: Veridian Homes Architect: Veridian Homes
Moved to Approve: <u>Irvin</u> Seconded by: <u>Wade</u> Approved: <u>Yes</u> Vote: <u>Unanimous</u> Conditions: Plans approved as submitted.				

Attachment: 6.10 (9498 : Meeting Minutes from June 10, 2024)

4)	Dist. 3 6:25 pm	New Single-Family Residence	Veridian Homes LLC 8041 W. Preserve Parkway Subd: The Enclave	Contractor: Veridian Homes Architect: Veridian Homes
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Moved to Approve: Irvin
 Seconded by: LaGalbo
 Approved: Yes
 Vote: Unanimous

Conditions: Plans approved as submitted.

5)	Dist. 6 6:30 pm	New Detached Garage	Scott Starr 2220 W. Sunnydale Lane Subd: N/A	Contractor: Tuff Shed Architect: Tuff Shed
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Moved to Approve: Irvin
 Seconded by: Wade
 Approved: Yes
 Vote: Unanimous

Conditions: Plans approved with the following conditions:

1. A picture window (same size & style, centered) will be added to Elevations A, C & D.
2. The 4x3 window on Elevation D will be removed.
3. Shutters on all garage windows to match house shutters.

6)	Dist. 7 6:40 pm	New Single-Family Residence	Christian & Laura Kastrup 3620 W. Torrey Drive Subd: Torrey Drive	Contractor: Victory Homes of WI Architect: David Pluim
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Moved to Approve: LaGalbo
 Seconded by: Irvin
 Approved: Yes
 Vote: Unanimous

Conditions: Plans approved as submitted.

7)	Dist. 7 6:45 pm	New Single-Family Residence	William & Sarah Kessenich 3525 W. Torrey Drive Subd: Torrey Drive	Contractor: Victory Homes of WI Architect: David Pluim
----	--------------------	------------------------------------	--	---

Moved to Approve: Irvin
 Seconded by: Wade
 Approved: Yes
 Vote: Unanimous

Conditions: Plans approved as submitted.

Attachment: 6.10 (9498 : Meeting Minutes from June 10, 2024)

8)	Dist. 8 6:50 pm	Addition: Attached Garage	Joseph Miller 230 W. Highview Drive Subd: Sunset Ridge Estates	Contractor: George Homes LLC Architect: CMDD LLC
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Moved to Approve: Irvin

Seconded by: LaGalbo

Approved: Yes

Vote: Unanimous

Conditions: Plans approved as submitted with the following conditions:

1. Add upper window to the Northwest elevation (side of garage) to match existing windows on the garage.
2. Add two centered windows to the Northwest elevation (rear of garage) that match the window to the left.

4. **Action:**

District Representative Tom Irvin made a motion to adjourn the meeting.
District Representative Michael Wade seconded the motion.

A vote was taken; voted passed unanimously.

Meeting adjourned at 6:35 p.m.



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Mequon, WI 53092-1930
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Fax: 262-242-9655

www.ci.mequon.wi.us

Office of Architectural Board

TO: Architectural Board
FROM: Karen Heil, Administrative Assistant
DATE: July 8, 2024
SUBJECT: Daren & Krista Diiorio - New Single-Family Residence at 10723 N. Torrey Drive

Attachments:

Statement of Intent (PDF)

Site Plan (PDF)

Plans (PDF)

The Victory Companies, Inc.

June 13, 2024

To whom it may concern:

It is Victory Homes of Wisconsin's intent to build a new single-family home at property description being: lot 2 Torrey Drive Estates, being a part of the northeast $\frac{1}{4}$ of the southwest $\frac{1}{4}$, of section 25, Township 9 North, Range 21 East, in the City of Mequon, Ozaukee County, Wisconsin

Thank you,

Rebecca Kirst
Permitting Coordinator
Victory Companies
N118W18531 Bunsen Drive
Germantown, WI 53022
262-252-7100

Attachment: Statement of Intent (9499 : Daren & Krista Diiorio)

Exhibit

Property Description:
Lot 2, TORREY DRIVE ESTATES, Being Parcel 1 of Certified Survey Map 841, Recorded as Document No. 285305 Being Part of the Northeast 1/4 of the Southwest 1/4 of Section 25, Township 9 North, Range 21 East, in the City of Mequon, County of Ozaukee, State of Wisconsin.

- Notes:
- A title commitment has not been provided and this parcel may be subject to, or benefit from, easements or agreements, written or otherwise, not shown hereon.
 - Outside diameter measured on all monuments.
 - () Indicates recorded as bearings and dimensions.
 - Proposed elevations shown on this drawing are suggested grades and should be verified by the owner and/or the builder and approved by the building inspector.
 - Contractors must verify at least two benchmarks shown hereon.
 - Field work completed on xx-xx-xx.
 - Building Setbacks
Front = 30'
Side = 20'
Rear = 20'

LEGEND

△

10' Offset

⊕

Proposed Well

⊔

Utility Pedestals

⊙

Sanitary Manhole

⊖

Storm Manhole

⊞

Catch Basin

⊗

Monument Found as Noted

○

3/4"X18" Iron Rod Set

× 733.57

Existing Spot Grade

735

Proposed Grade

735

Proposed Contour

735

Existing Contour

Building Setback Line

SD_x

Existing Storm Sewer

SD

Proposed Sump Drain

W

Proposed Water Line

SS

Proposed Sewer Line

G

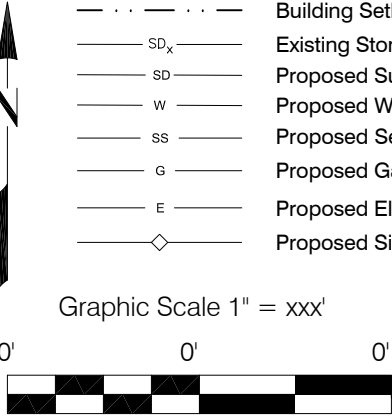
Proposed Gas Line

E

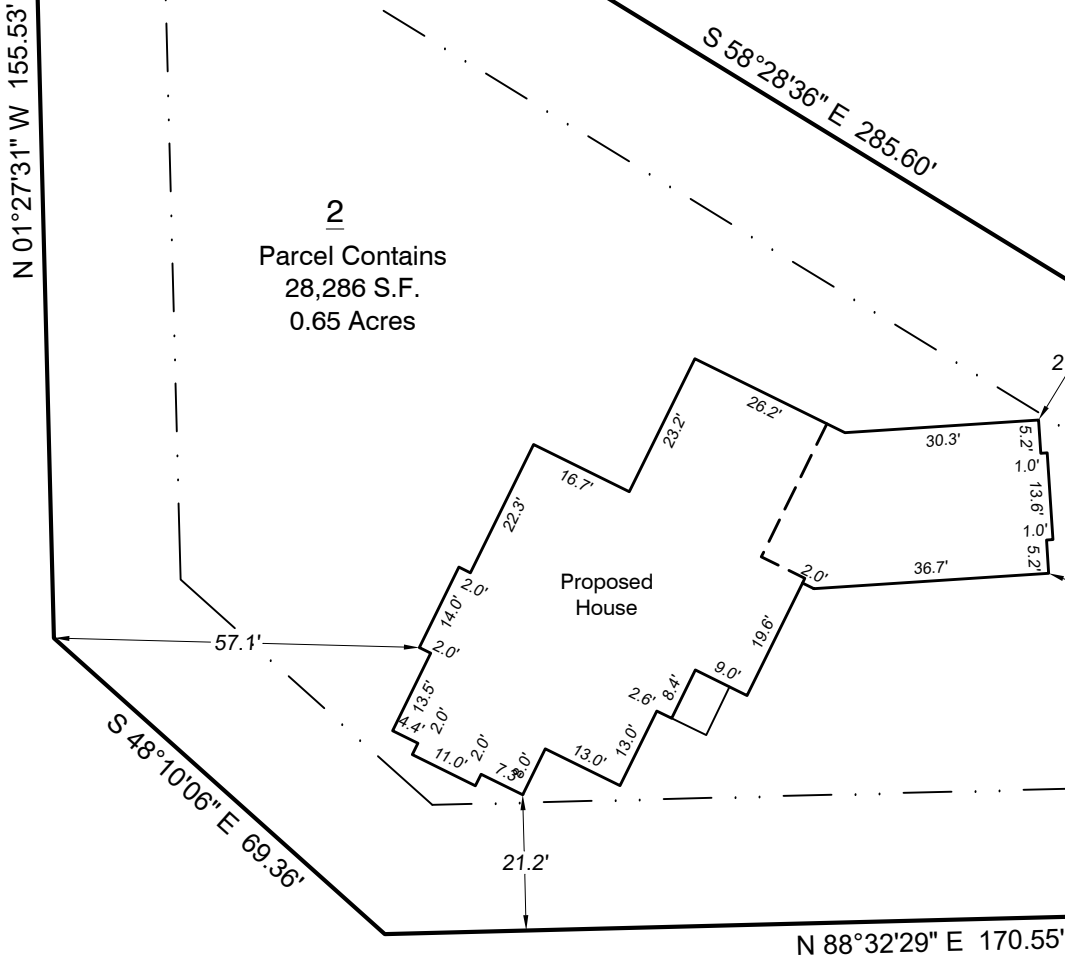
Proposed Electric Line

◇

Proposed Silt Fence



Suggested Top of Wall: 740.17'
Suggested Garage Floor: 739.84'
Suggested Final Yard Grade: 739.50'
Suggested Top of Footing: 731.17'
(Assuming X' Poured Wall-check plans)
Sewer invert elevations to be verified by sewer contractor



LAND SURVEYS INC.

260 Regency Court Suite L100
Brookfield, WI 53045 (262) 312-1034
landsurveysinc.com

SURVEYOR'S CERTIFICATE

I hereby certify that we surveyed the property described above and that the map is a true representation thereof and shows the size and location of the property, it's exterior boundaries. Said survey meets the minimum standards for property surveys of the Wisconsin Administrative Code (A-E7) and the map hereon is correct to the best of my knowledge and belief. This Survey is solely for the use of the present owners of the property at the date below.

Dated this XXth Day of XXXXX, 2024:
Phillip J. Landry S-3176

REVISIONS

PREPARED FOR:

Victory Homes of Wisconsin, Inc.
N118W18531 Bunsen Dr
Germantown, WI 53022

DIORIO RESIDENCE

BEARINGS ARE REFERENCED TO
SUBDIVISION NAME,
SPECIFIC LINE
LOT X, BLOCK XX
BEARS N 00°00'00" E

Drawn By: PL Job# 24232
Sheet 1 of 1

ROOF TRUSS HEEL HEIGHTS
4 / 12 PITCH - 4" HEEL - 12" OWHG
4.75 / 12 PITCH - 4.75" HEEL - 12" OWHG
8 / 12 PITCH - 8" HEEL - 12" OWHG
10 / 12 PITCH - 10" HEEL - 12" OWHG
12 / 12 PITCH - 12" HEEL - 12" OWHG

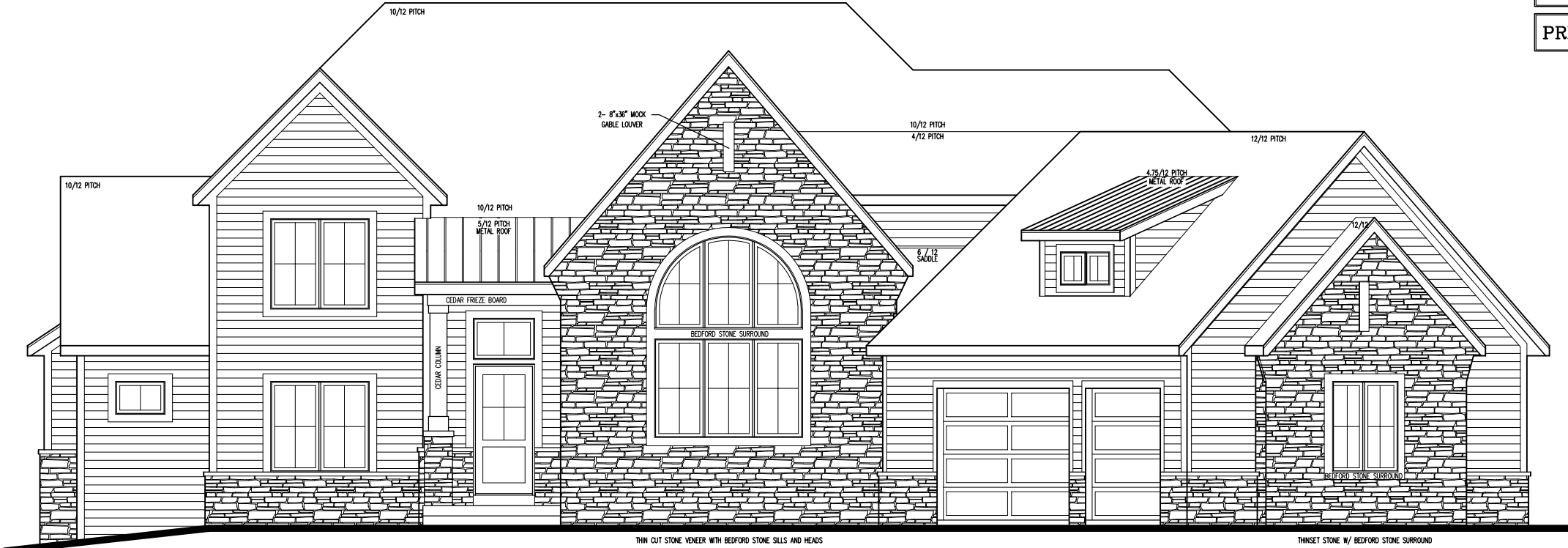
- GREEN PLAN CHECK LIST
- ☐ ACC / Survey Approval
 - ☐ Plan / Exterior Selections Approval
 - ☐ Financing Approval

This plan is not for construction, if you do not have a green plan stamped final, please contact our office for the latest revisions date to commence with construction using this plan. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM THE LATEST REVISION DATE.

JOB #1032

Wisconsin Focus on Energy Home

PRELIMINARY PLANS



FRONT ELEVATION
1/4"=1'-0"



LEFT SIDE ELEVATION
1/4"=1'-0"

REVISIONS		DIORIO RES.		MONTELLO MODEL	
DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION
3/12/24	DP	BID PLAN	3/12/24	DP	4,931
4/28/24	DP	REQUESTED REVISIONS	4/28/24	DP	4,931
5/1/24	DP	REQUESTED REVISIONS	5/1/24	DP	4,931
6/1/24	DP	CONTRACT PLAN	6/1/24	DP	4,931

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ORY HOMES OF WISCONSIN, INC.
" Building For The Way You Live "
1118 WISCONSIN DRIVE
GERMANTOWN, WISCONSIN 53022
PH. (262) 252-7100 / FAX (262) 252-7106

Krista and Daren Diorio Residence
Lot 2, Torry Drive Subdivision



RIGHT SIDE ELEVATION
1/4"=1'-0"



REAR ELEVATION
1/4"=1'-0"

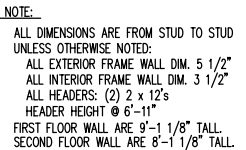
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"Building For The Way You Live"
1118 W853 BUNSEN DRIVE
GERMANTOWN, WISCONSIN 53022
PH. (262) 252-7100 / FAX (262) 252-7108

CLIENT: DIORIO RES.				REVISIONS			
MONTELLO MODEL				DATE	BY:	DESCRIPTION	
TITLE	ELEVATIONS	DATE	SQ. FEET:				
		3/12/24					
PRINT #:	DRAWN BY:	SCALE:	PAGE #:				
22403-3	PLUMB	NOTED	2/5				



" Building For The Way You Live "
 N118 W18531 BUNSEN DRIVE
 GERMANTOWN, WISCONSIN 53022
 PH (262) 252-7100 / FAX (262) 252-7109



FRAMING ROUGH OPENINGS: INTERIOR DOORS
HINGED DOORS--2" over the door x 6'-11"
DOUBLE DOORS--1 1/2" over the door x 6'-11"
SLIDING DOORS--1" over the door x 6'-11"
POCKET DOOR--2x door + 1" x 7'-0 1/2"
FRAMING ROUGH OPENINGS: WINDOWS
DOUBLE SILL PLATES UNDER WINDOWS
THAT ARE WIDER THAN 48"

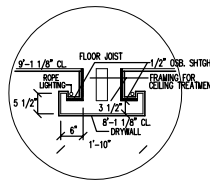
Krista and Daren Diiorio Residence
Lot 2, Torry Drive Subdivision

REVISIONS

DATE	BY	DESCRIPTION

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DRY HOMES OF WISCONSIN, INC.
"Building For The Way You Live"
1118 WISCONSIN DRIVE
GERMAN TOWN, WISCONSIN 53022
PH. (262) 252-7100 / FAX (262) 252-7108



NOTE: LOW-PITCHED ROOF PLANES
4/12 AND LOWER PITCHED ROOFS TO ICE AND WATER
SHIELD SHALL EXTEND AT LEAST 30" UP THE ROOF
SLOPE AND AT LEAST 12" UP THE ROOF SLOPE
BEYOND THE INNER FACE OF AN EXTERIOR WALL.

TYPICAL ROOF MATERIAL
18 TOTAL ROOF POD VENTS PER CODE
CERTAINTED LANDMARK DESIGNER LIFETIME
DIMENSIONAL SHINGLES OVER #15 FELT
1/2" O.S.B. SHEATHING W/ CLIPS
ROOF TRUSS @ 24" o.c.
PROPER ROOF VENTS

TYPICAL FASCIA/SOFTIT
O.D.E. ROOF EDGES
1X8 HARDIE FASCIA
2 x 8 SUBFASCIA (2 x 6 RAKES)
HARDIE SOFTIT
WITH VENTS

TYPICAL WALL MATERIAL
HARDIE CEMENT BD. SIDING,
CORNERS AND TRIM BOS.
TYVEK HOUSEWRAP
OSB SHITC.
2 x 6 STUDS @ 16" o.c.
R-23 BIBS INSULATION
VAPOR BARRIER
1/2" DRYWALL

TYPICAL FLOOR SYSTEM
3/4" T & G HIGH PERF. OSB SUBFLOOR
11 7/8" 1" JST @ 16" o.c.
(3" CLOSED CELL FOAM INSULATION @ DECK RING)

STYRO TUFF II COATING
OVER R-5 INSULATION BD.

2 x 6 TREATED MUSSILL
OVER SILL SEALER
SIMPSON MASEZ ANCHORS
4" o.c. AND 1.0' OFF CORNERS
LATERAL BRACING OR EQUIV.

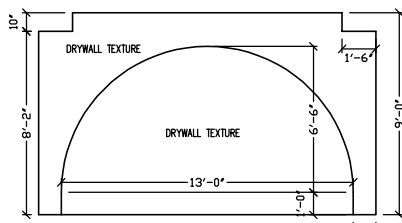
1" STYROFOAM
TO FING.
10" CONC. WALL

3" CONC. SLAB OVER V.B.
AND 4" MIN. GRANULAR FILL

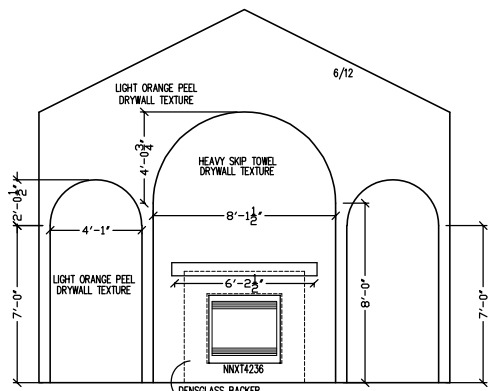
POURED CONC. WALL

FORM & DRAIN
SYSTEM

TYP. WALL SECTION
1/2"=1'-0"

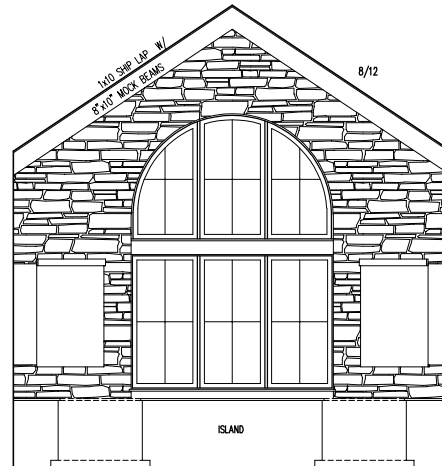


MASTER BED WALL
1/4"=1'-0"

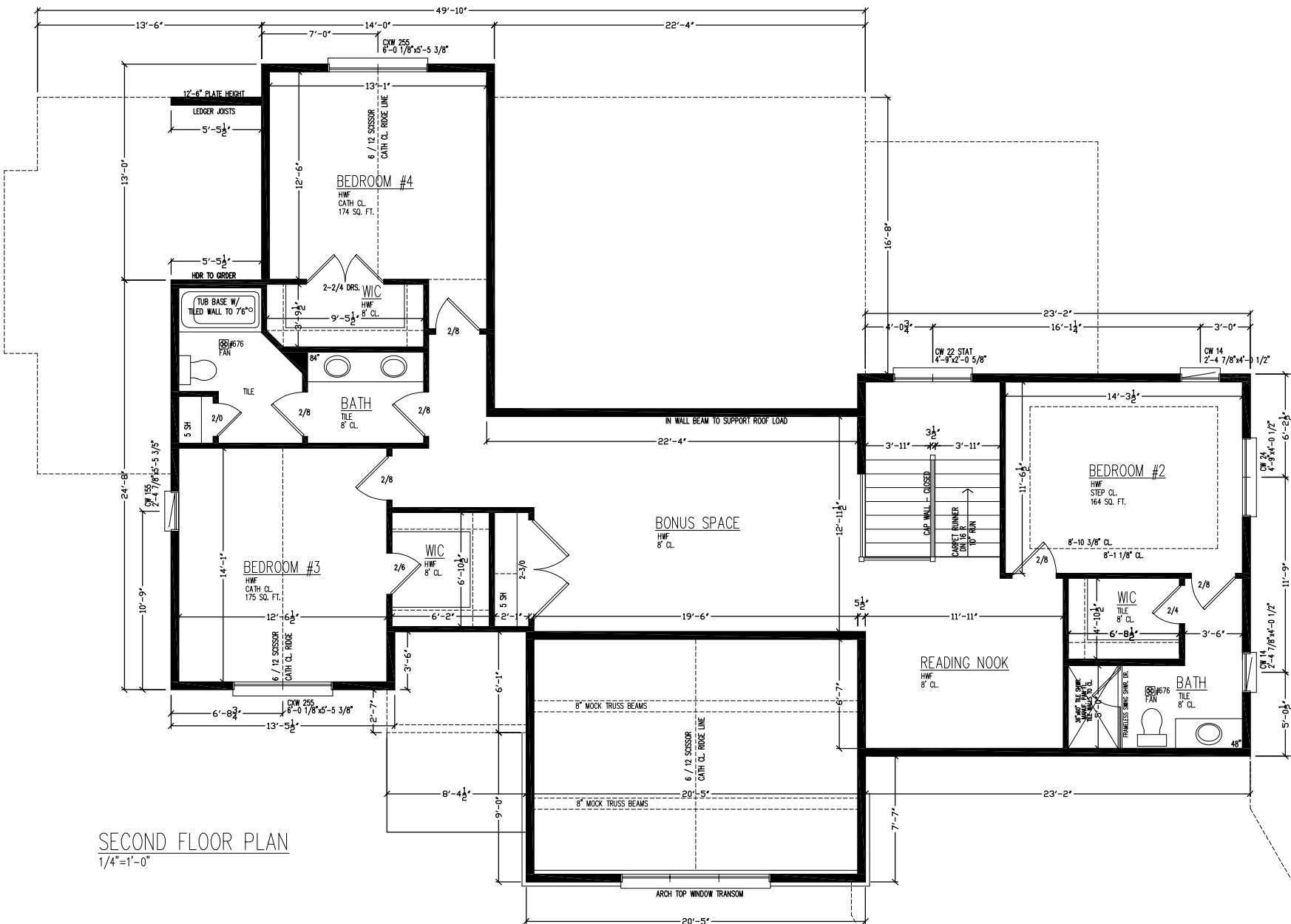


GREATROOM WALL & FIREPLACE DETAIL
1/4"=1'-0"

- FIREPLACE SELECTION (As Checked)
- ☒ Heatilator Novus NNX4236
R.O. 42"x34" 7/8"x19" 5/8"
 - ☒ Heat&Glo Novus Northstar
R.O. 42" 1/4"x44"x24"
 - ☒ No Hearth
 - ☒ Raise fireplace unit 9.75"
 - ☒ Flush Hearth
 - ☒ Raise fireplace unit 9.75"
 - ☒ Raised Hearth
 - ☒ Raise fireplace unit 9.75"
 - ☒ Crown Mantle
 - ☒ Other BOX MANTLE



KITCHEN END WALL AND BEAM DETAIL
1/4"=1'-0"



SECOND FLOOR PLAN
1/4"=1'-0"



11333 N. Cedarburg Road
Mequon, WI 53092-1930
Phone: 262-242-3100
Fax: 262-242-9655

www.ci.mequon.wi.us

Office of Architectural Board

TO: Architectural Board
FROM: Karen Heil, Administrative Assistant
DATE: July 8, 2024
SUBJECT: Jamie & Demetrios Georgacopoulos - New Single-Family Residence at 3535 W. Torrey Drive

Attachments:

Letter of Intent (PDF)

Site Plan (PDF)

Plans (PDF)

The Victory Companies, Inc.

June 13, 2024

To whom it may concern:

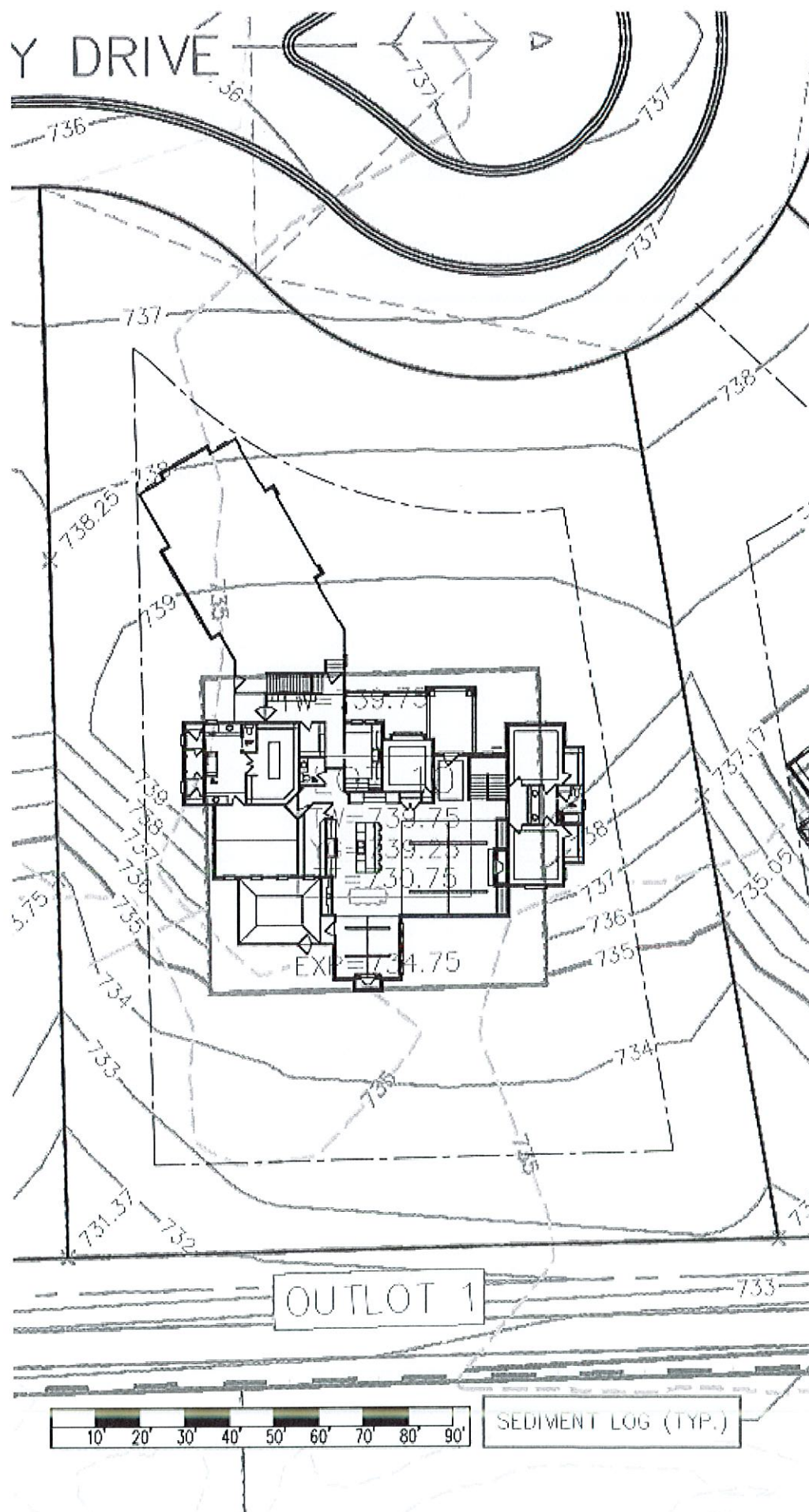
It is Victory Homes of Wisconsin's intent to build a new single-family home at property description being: lot 10 Torrey Drive Estates, being a part of the northeast $\frac{1}{4}$ of the southwest $\frac{1}{4}$, of section 25, Township 9 North, Range 21 East, in the City of Mequon, Ozaukee County, Wisconsin

Thank you,

Rebecca Kirst

Rebecca Kirst
Permitting Coordinator
Victory Companies
N118W18531 Bunsen Drive
Germantown, WI 53022
262-252-7100

Attachment: Letter of Intent (9500 : Jamie & Demetrios Georgacopoulos)



ROOF TRUSS HEEL HEIGHTS			
4 / 12 PITCH	-	6 1/2" HEEL	- 14" OWHG
8 / 12 PITCH	-	9 3/4" HEEL	- 12" OWHG
10 / 12 PITCH	-	11 3/4" HEEL	- 12" OWHG
12 / 12 PITCH	-	13 3/4" HEEL	- 12" OWHG
SECOND FLOOR			
10 / 12 PITCH	-	8 1/2" HEEL	- 12" OWHG
12 / 12 PITCH	-	10 1/2" HEEL	- 12" OWHG

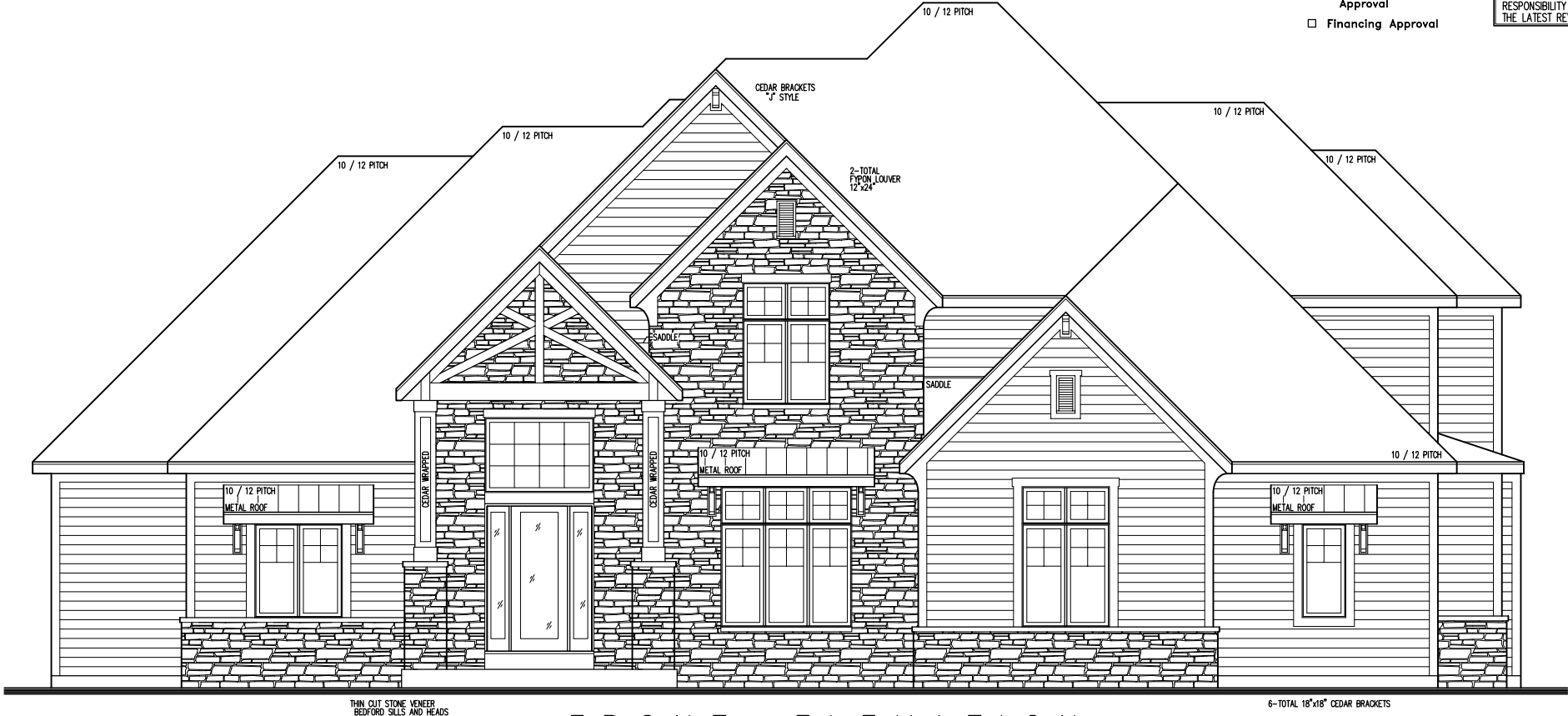
- GREEN PLAN CHECK LIST
- ☐ ACC / Survey Approval
 ☐ Plan / Exterior Selections Approval
 ☐ Financing Approval

This plan is not for construction, if you do not have a green plan stamped final; please contact our office for the latest revisions date to commence with construction using this plan. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM THE LATEST REVISION DATE.

JOB #

Wisconsin Focus on Energy Home

PRELIMINARY PLANS



FRONT ELEVATION

1/4"=1'-0"



LEFT ELEVATION

3/16"=1'-0"

REVISIONS			
DATE	BY	DESCRIPTION	
6/4/24	BA	REQUESTED REVISIONS	
6/12/24	BA	REQUESTED REVISIONS	

GEORGACPOULOS RES. GREENWOOD MODEL			
TITLE	DATE	SQ. FEET	
ELEVATIONS	5/8/24	6,175	
PRINT #	DRAWN BY	SCALE	PAGE #
22405-2	ANDALORO	NOTED	1/5

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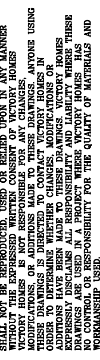
ORY HOMES OF WISCONSIN, INC.
 " Building For The Way You Live "
 1118 W853 BUNSEN DRIVE
 GERMAN TOWN, WISCONSIN 53022
 PH. (262) 252-7100 / FAX (262) 252-7108

Georgacopoulos Residence

Lot 10, Torrey Drive



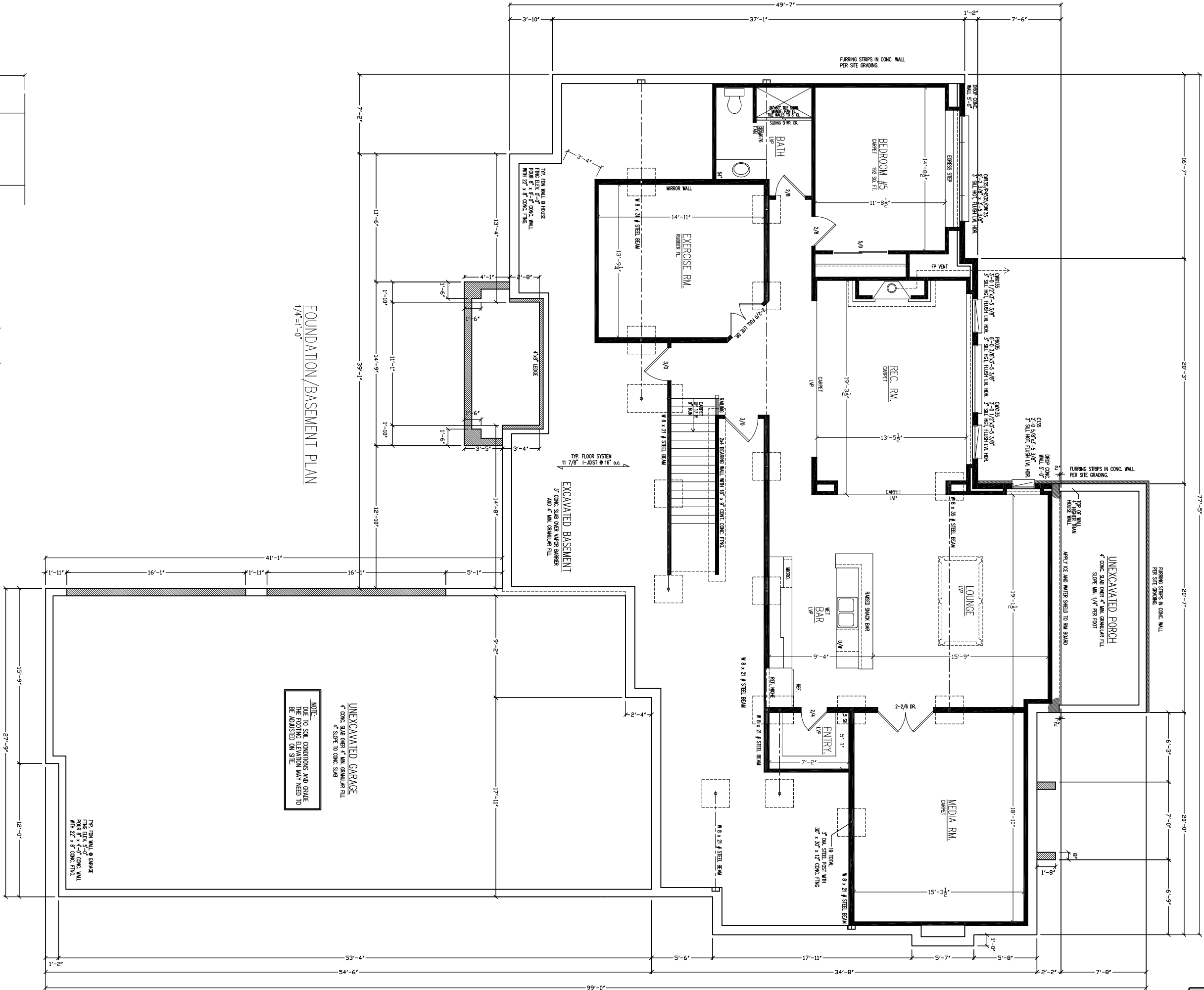
RIGHT ELEVATION
3/16"=1'-0"



R E A R E L E V A T I O N

1/4"=1'-0"

[illegible]



VICTORY HOMES OF WISCONSIN, INC.

Building For The Way You Live

NHS WIS63 BOUNSN DRIVE
GERMANTOWN, WISCONSIN 53022
PH: (262) 252-7100 / FAX: (262) 252-7108

CLIENT: GEORGACPOULOS RES.

TITLE: FDN/BASMT.

DATE: 5/8/24

SQ FEET: 1,730 FIN.

PRINT #: 22405-2

DRAWN BY: ANDALORO

NOTED: 3/5

REVISIONS

DATE	BY	DESCRIPTION

Georgacopoulos Residence

Lot 10, Torrey Drive



- ☒ Heatilator Novus NXT4236 R.O. 42"x34 7/8"x19 5/8"
- ☒ No Hearth
- ☒ Raise fireplace unit 0"
- ☐ Flush Hearth
- ☐ Raise fireplace unit 9.75"
- ☐ Raised Hearth
- ☐ Raise fireplace unit 10"
- ☐ Crown Mantle
- ☐ Other See detail

- ☒ Heatilator Novus NXT4236
R.O. 42"x34 7/8"x19 5/8"
- ☐ Flush Hearth
Raise fireplace unit 1.5"
- ☐ Flush Hearth
Raise fireplace unit 9.75"
- ☒ Raised Hearth
Raise fireplace unit 10"
- ☐ Crown Mantle
- ☐ Other See detail

Georgacopoulos Residence
Lot 10, Torrey Drive

Georgacopoulos Residence

Building For The Way You Live
N18 W18531 BUNSEN DRIVE
GERMANTOWN, WISCONSIN 53022

PH. (262) 252-7100 / FAX (262) 252-7109

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NOTE: EXHAUST FAN KEY

FINISHED DOORS—2 over the door x 0'-11"
 DOUBLE DOORS—2 1/2 over the door x 6'-11"
 SLIDING DOORS—1 over the door x 6'-11"
 POCKET DOOR—2x door + 1 x 7'-0 1/2"
 FRAMING ROUGH OPENINGS: WINDOWS
 DOUBLE SILL PLATES UNDER WINDOWS
 THAT ARE WIDER THAN 48"

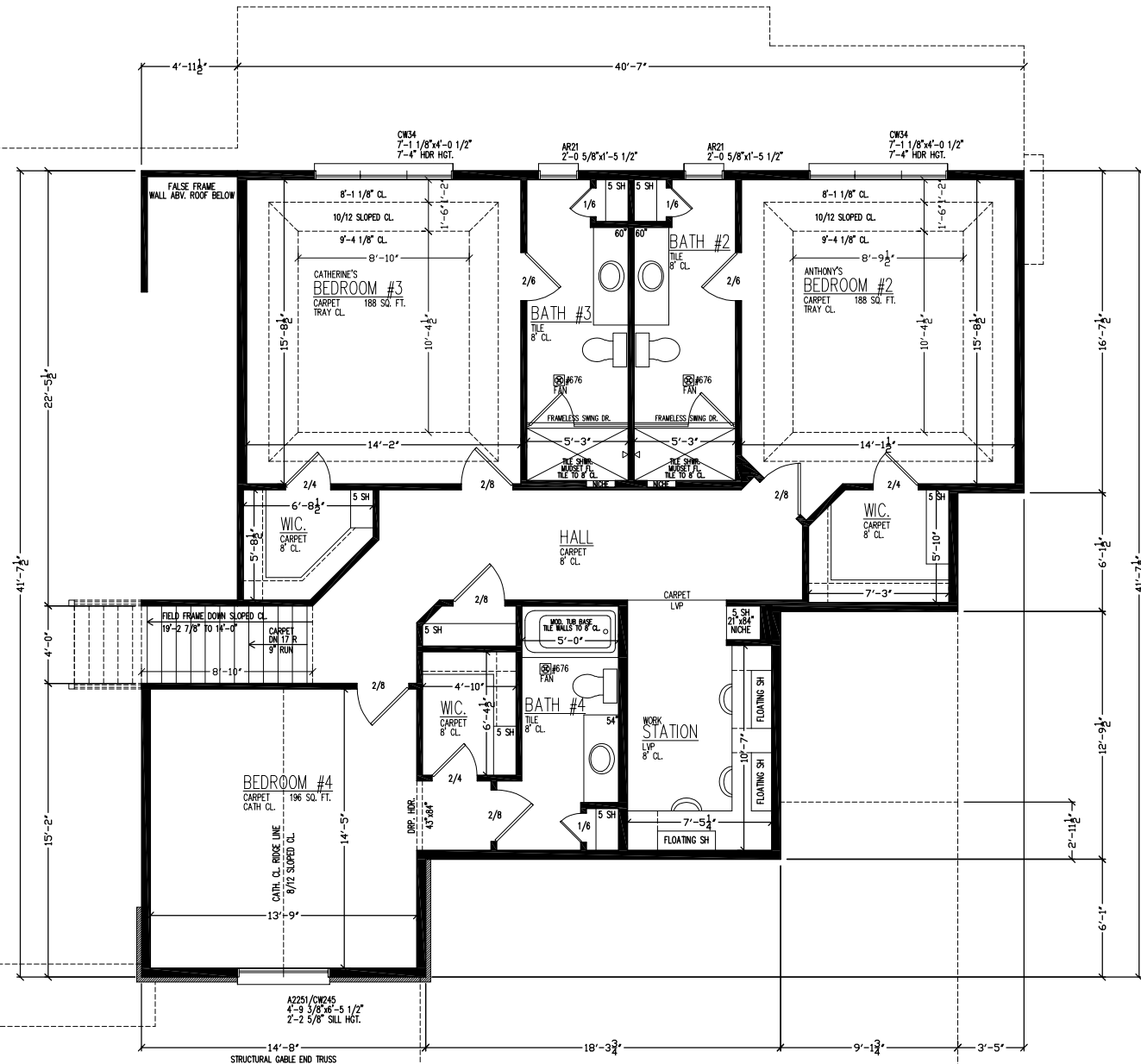
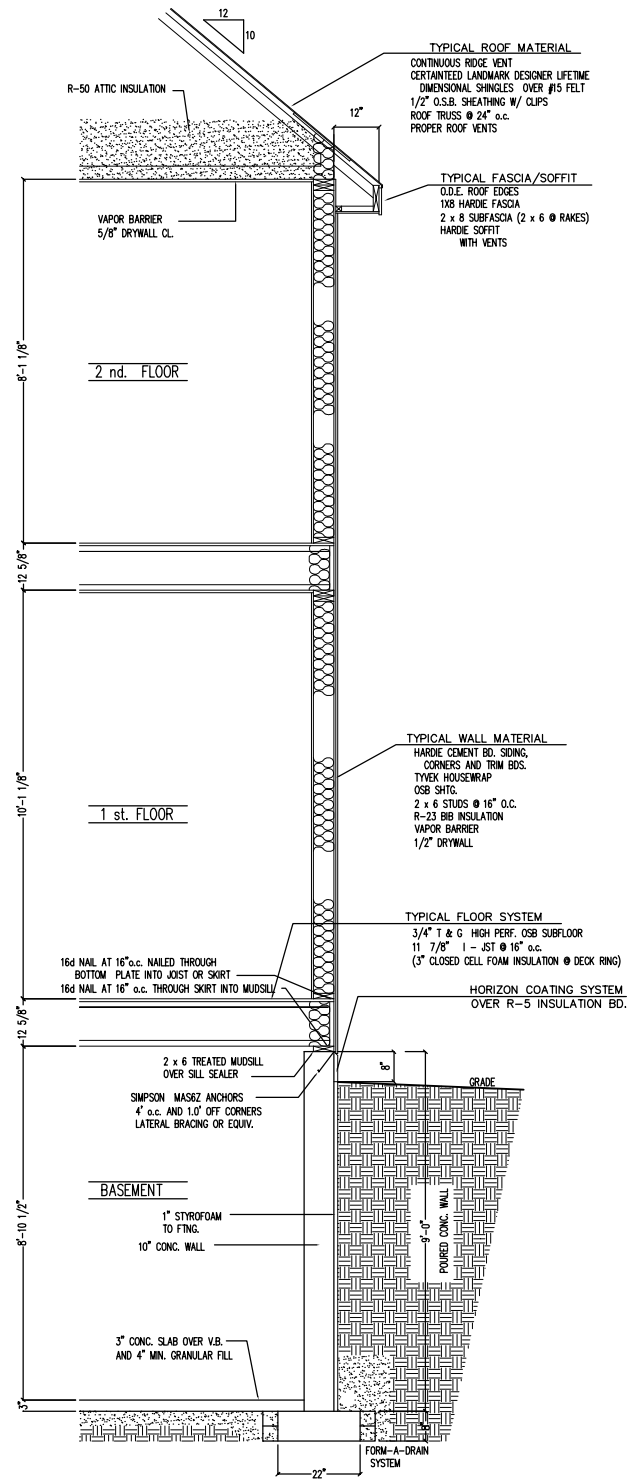
NOTE:

ALL DIMENSIONS ARE FROM STUD TO STUD
UNLESS OTHERWISE NOTED:
ALL EXTERIOR FRAME WALL DIM. 5 1/2"
ALL INTERIOR FRAME WALL DIM. 3 1/2"
ALL HEADERS: (2) 2 x 12s
HEADER HEIGHT @ 6'-11"
FIRST FLOOR WALL ARE 9'-1 1/8" TALL
SECOND FLOOR WALL ARE 8'-1 1/8" TALL

REVISIONS

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" Building For The Way You Live "
1118 WISSI BUNSEN DRIVE
GERMANTOWN, WISCONSIN 53022
PH (262) 252-7100 / FAX (262) 252-7108





11333 N. Cedarburg Road
Mequon, WI 53092-1930
Phone: 262-242-3100
Fax: 262-242-9655

www.ci.mequon.wi.us

Office of Architectural Board

TO: Architectural Board
FROM: Karen Heil, Administrative Assistant
DATE: July 8, 2024
SUBJECT: Brent Hamm & Rachel Miller, New Single-Family Residence at 13771 N. Pine View Court

Attachments:

Statement of Intent (PDF)

Site Plan (PDF)

Plans (PDF)



585 Ryan St. Pewaukee, WI 53072

262.746.9999

www.AndersonHomesOfWI.com

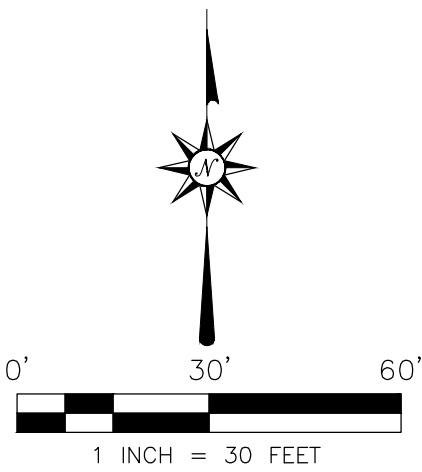
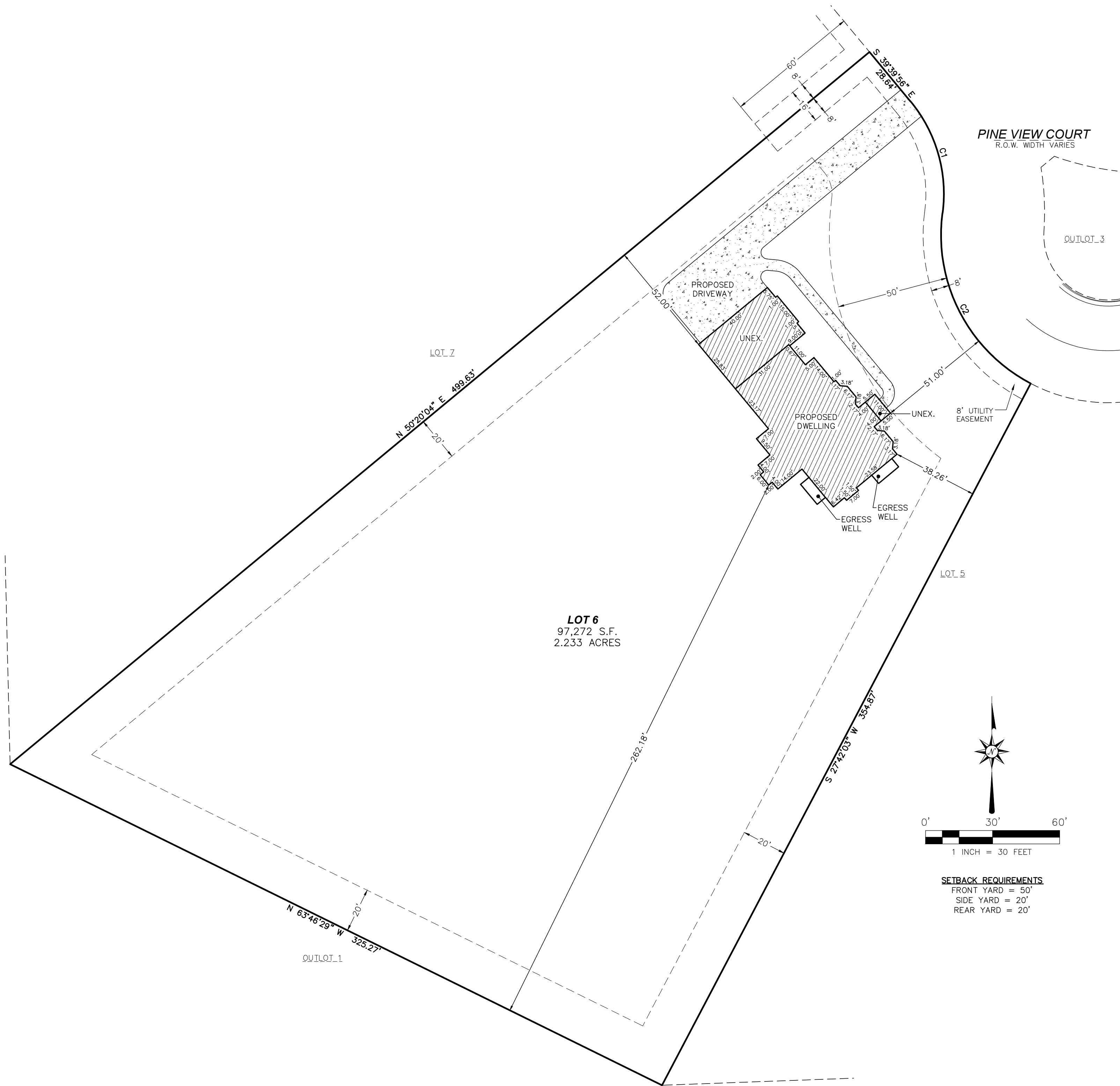
It is our intent to build a single-family residence on Lot #6 in the Riverland Estates Subdivision that consists of a 2-story plan with a partially finished basement. Designed into the plan is a covered patio. The plan is designed for the lot with (2) egress wells.

Attachment: Statement of Intent (9501 : Brent Hamm & Rachel Miller)

PRELIMINARY SURVEY

LOT 6 OF RIVERLAND ESTATES SUBDIVISION BEING ALL OF PARCEL 1, CERTIFIED SURVEY MAP 3498 BEING PART OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 AND SOUTHEAST 1/4 OF THE SOUTHWEST 1/4, OF SECTION 1, TOWNSHIP 9 NORTH, RANGE 21 EAST, CITY OF MEQUON, OZAUKEE COUNTY, WISCONSIN.

*** THIS MAP IS TO BE USED FOR PRELIMINARY ***
PLANNING PURPOSES ONLY



SETBACK REQUIREMENTS
FRONT YARD = 50'
SIDE YARD = 20'
REAR YARD = 20'

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	65.00'	53.63'	52.12'	S 16°01'54" E	47°16'18"
C2	75.00'	91.42'	85.87'	S 27°20'55" E	69°50'31"

SHEET 1 OF 1	JOB NO. 24018	DATE 06/14/2024	CLIENT ANDERSON HOMES	LOCATION 13771 N. PINE VIEW CT. MEQUON, OZAUKEE COUNTY, WISCONSIN	DRAWN BY JBK	CHECKED BY MTO	REV.	 LAND SURVEYING • LAND PLANNING 111 W. 2ND STREET OCCONOMOWOC, WI 53066 WWW.LANDTECHWI.COM (262) 367-7599
			PROJECT LOT 6 RIVERLAND ESTATES				REV.	
			LAYOUT PRELIMINARY LAYOUT				REV.	
			DRAWING 24018_SURVEY.DWG				REV.	



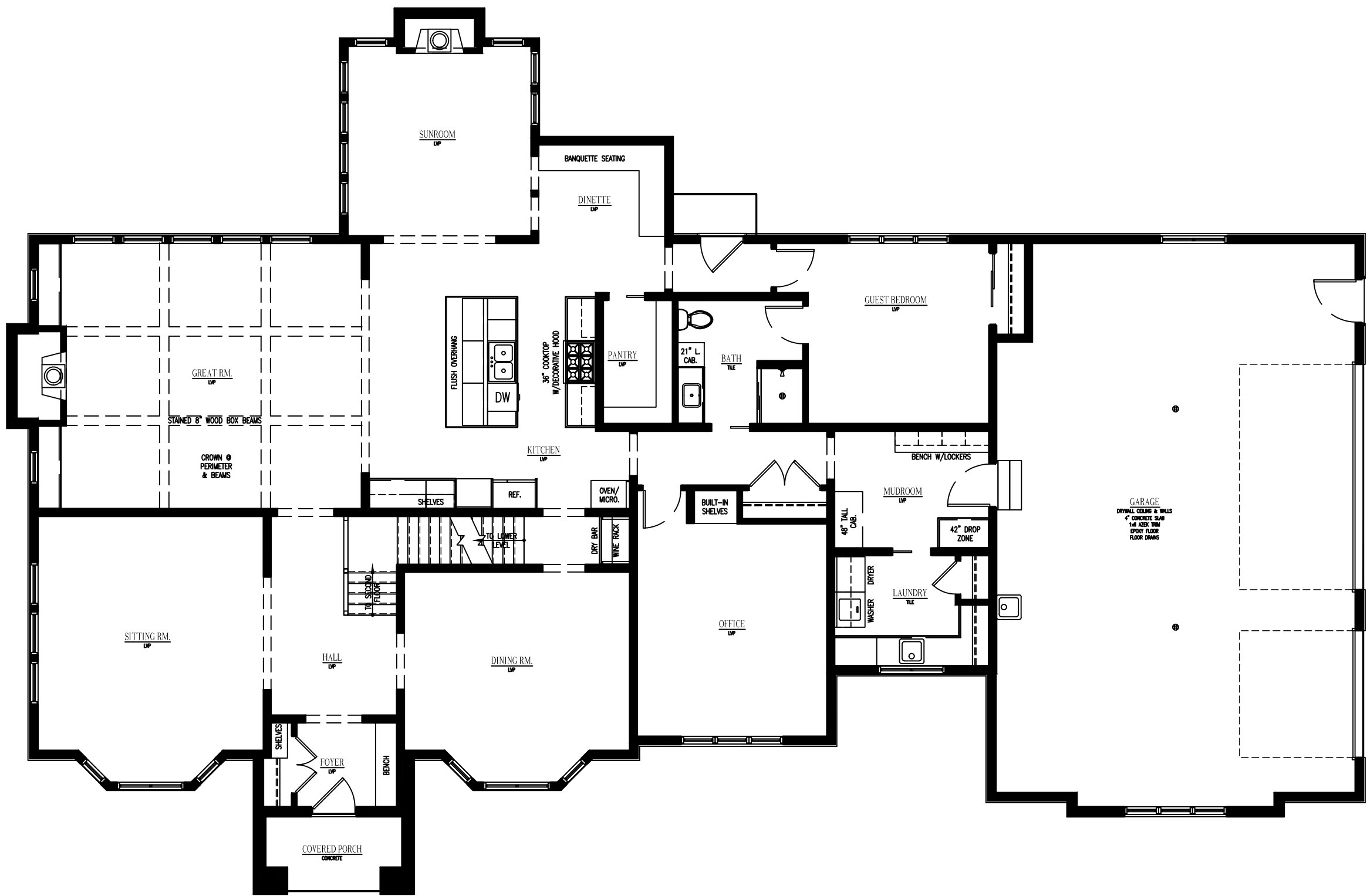
H A M M - M I L L E R R E S I D E N C E

GENERAL NOTES

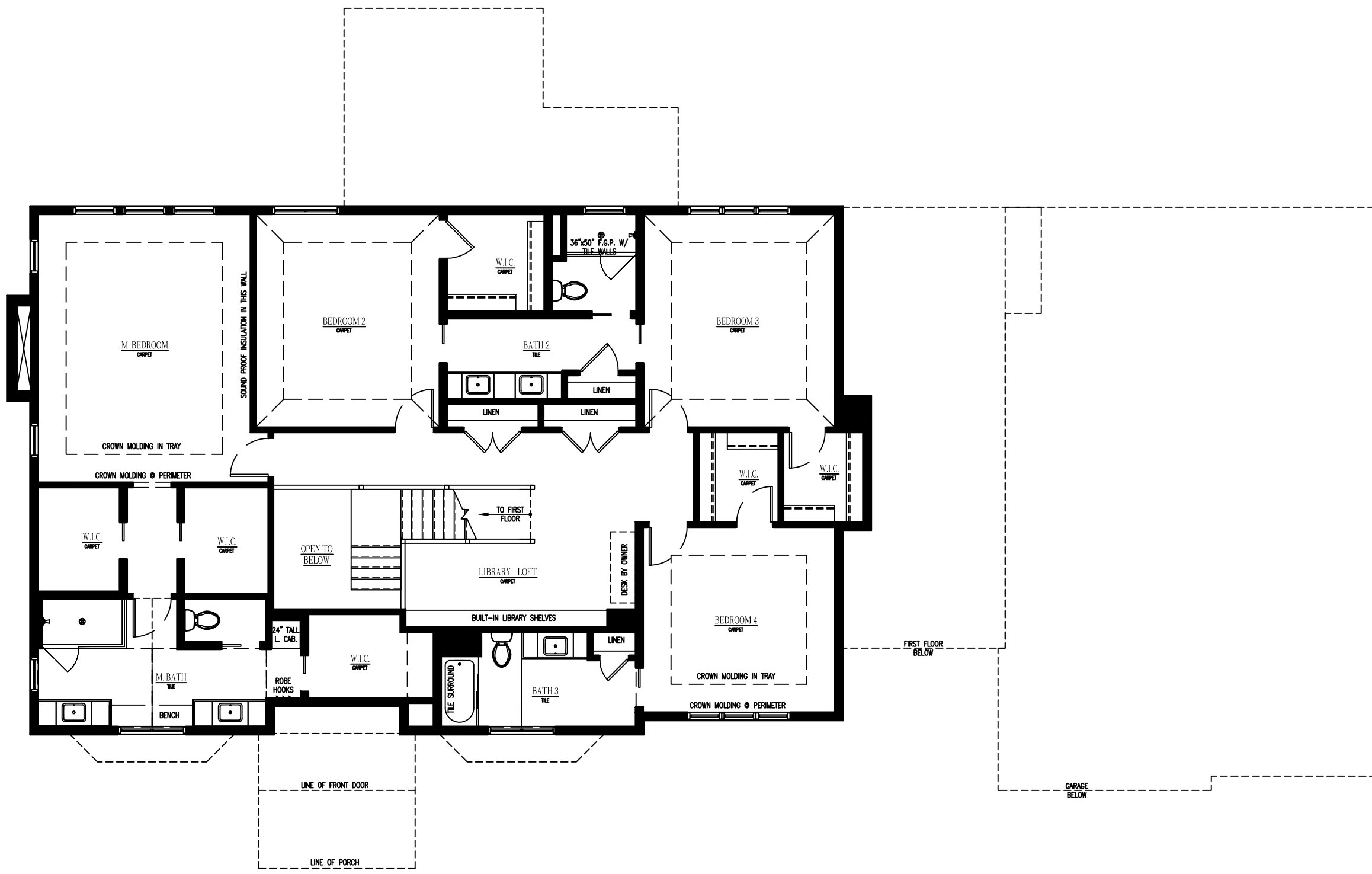
- ALL CONTRACTORS ARE RESPONSIBLE FOR CLEANING THEIR OWN DEBRIS TO THE DUMPSTER AND ARE TO BE BROOM CLEAN BUILDING UPON COMPLETION OF THEIR WORK EACH DAY.
- ALL CONTRACTORS ARE COMPLETELY RESPONSIBLE FOR THE QUALITY & INTEGRITY OF ANY AND ALL MATERIALS, AND/OR LABOR THEY SUPPLY, AND ARE RESPONSIBLE FOR ALL FEDERAL, STATE, & LOCAL CODE COMPLIANCE OR FOLLOWING MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION AND ARE TO PROVIDE A ONE YEAR WARRANTY FROM THE DAY OF COMPLETION OR OCCUPANCY, WHICHEVER COMES FIRST.
- ALL CONTRACTORS AND/OR SUPPLIERS ARE TO INCLUDE ANY AND ALL TAXES, DELIVERY, HANDLING CHARGES, AND OVERHEAD COSTS IN ANY PROPOSAL SUBMITTED TO THE BUILDER. A CERTIFICATE OF LIABILITY AND WORKMANS COMPENSATION COVERAGES ARE REQUIRED, ALONG WITH LIEN WAIVERS FOR ALL WORK PERFORMED AND/OR MATERIALS SUPPLIED, AT THE TIME OF INVOICING AND PAYMENT.
- DOUBLE EVERY JOIST UNDER CERAMIC TILE AREAS WHEN NOT USING AN I-JOIST TYPE PRODUCT.
- ALL SUBCONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL ROUGH AND FINISH OPENINGS FOR WINDOWS, DOORS, FIREPLACE, STAIRS, AND STAIRWELL. MAKING SURE THEY MEET OR EXCEED CODE COMPLIANCE.
- CARPENTER IS RESPONSIBLE FOR CRANE COSTS IF REQUIRED.
- HVAC CONTRACTOR IS TO PROVIDE ALL HEAT CALCULATIONS.
- DRYWALL CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF ALL DRYWALL DEBRIS FROM SITE.
- TRUSS SUPPLIER TO PROVIDE ALL DRAWINGS, LAYOUTS, AND STRUCTURAL SPECIFICATIONS FOR TRUSSES THEY SUPPLY AND ARE RESPONSIBLE FOR THE STRUCTURAL ACCURACY FOR THIS PLAN.
- MASON CONTRACTOR IS RESPONSIBLE FOR ALL FOUNDATION INSPECTION CALLS, BRACING OF THE BASEMENT WALLS PRIOR TO BACKFILL, HAYING OF FOOTINGS FOR FROST PROTECTION AS REQUIRED.
- 1" DOW POLYSOCYCYANURATE FOAM BOARD FOR "WIND WASH" PANEL ON ATTIC SIDE OF STUD WALLS FOR CEILING HEIGHT CHANGES.
- OWNER & CONTRACTOR ARE RESPONSIBLE FOR CHECKING CONTRACT DOCUMENTS, FIELD CONDITIONS, & EXISTING DIMENSIONS FOR ACCURACY. CONTRACTOR IS REQ'D TO OBTAIN CLARIFICATION FROM THE OWNER BEFORE PROCEEDING WITH ANY WORK IN QUESTION. THESE PLANS WERE DESIGNED & DRAFTED TO MEET AVERAGE CONDITIONS & CODES. BECAUSE CODES & REQUIREMENTS CAN CHANGE & MAY VARY FROM JURISDICTION THERE IS NO GUARANTEE OF COMPLIANCE WITH ANY SPECIFIC CODE OR REGULATION. CONSULT YOUR LOCAL BUILDING PROFESSIONAL TO DETERMINE THE SUITABILITY OF THESE PLANS FOR SPECIFIC SITE & APPLICATION.
- IT IS THE SOLE RESPONSIBILITY OF THE PURCHASER AND/OR BUILDER OF THIS PLAN TO SEE THAT THE STRUCTURE IS BUILT IN STRICT COMPLIANCE WITH ALL GOVERNING MUNICIPAL CODES (CITY, COUNTY, STATE, & FEDERAL) & THE DESIGNER SHALL HAVE NO LIABILITY FOR FAILURE OF COMPLIANCE.
- IF ANY UNFORESEEN AESTHETIC OR STRUCTURAL ISSUES ARISE FOR THE OWNER DURING THE CONSTRUCTION OF THE CUSTOM PLAN DESIGN DESCRIBED IN THIS CONTRACT WILL BE THE OWNER'S RESPONSIBILITY FOR ANY SUCH REMEDIES AS THEY SEE FIT.

STANDARD NOTES:

- SMOKE DETECTORS TO BE WIRED INTO HOUSE CURRENT WITH BATTERY BACK-UP & INTERCONNECT SO IF ONE SOUNDS, THEY ALL SOUND. TYPICAL AT EVERY FLOOR AND EACH BEDROOM.
- VENT ALL BATH EXHAUST FANS TO OUTSIDE, TYP.
- VENT ALL MICROWAVE OR STOVE HOODS TO OUTSIDE, TYP.
- ALL INTERIOR DIMENSIONS ARE MEASURED STUD TO STUD.
- ALL EXTERIOR DIMENSIONS ARE FROM THE STUD FACE.
- HEADERS OVER 6' LONG SHALL HAVE DOUBLE SHOULDER STUDS AT EACH END. UNDER 6' LONG SHALL HAVE SINGLE SHOULDER UNDER EACH END.
- MULTIPLE PLY SAWN LUMBER HEADERS ARE TO BE NAILED TOGETHER WITH ROWS OF 10D COMMONS AT 16" C/C 4 PER ROW FOR 2"x10" MEMBERS AND LARGER.
- HEADERS HAVE BEEN IDENTIFIED IN ALL BEARING WALLS. HEADERS IN NON-BEARING WALLS SHALL BE A MINIMUM OF (2) 2"x6" MEMBERS.
- THE NUMBER OF SHOULDER STUDS SUPPORTING A GIRDER TRUSS SHALL MATCH THE NUMBER OF PLYS MAKING UP THE GIRDER TRUSS.
- PROVIDE JOIST WEB STIFFENERS AND NAILING PER MANUFACTURER'S RECOMMENDATIONS AT INTERIOR BEARING POINTS.



FIRST FLOOR LAYOUT



SECOND FLOOR LAYOUT

BID SET ONLY - NOT
FOR CONSTRUCTION

REVISION NOTES

REVISION 01 -- BID SET 02_6.13.24

- SUNROOM WINDOWS TO CHANGE TO AR251 OVER CW15 ILO CW16
- DINETTE WINDOWS TO CHANGE TO AR251 OVER CW13 ILO CW14
- REMOVE VAULTED CLG. IN SUNROOM
- ADD CROWN MOLDING (PAINTED ON SITE) TO SUNROOM
- DECREASE STONE ON LAUNDRY RM. EXTERIOR WALL TO STD. BELT HT.
- DECREASE STONE IN SUNROOM PER CLG. CHANGE

PROJECT INFORMATION

HAMM-MILLER CUSTOM

BRENT HAMM & RACHEL MILLER
LOT #6 PINE VIEW CT.
MEQUON, WI 53097

SQUARE FOOTAGES

AREA DEFINITION:

FIRST FLOOR AREA: 2837 SQUARE FEET
SECOND FLOOR AREA: 1988 SQUARE FEET
FINISHED BASEMENT AREA: 380 SQUARE FEET
TOTAL LIVING AREA: 5205 SQUARE FEET

GARAGE AREA: 1060 SQUARE FEET
COVERED PORCH AREA: 61 SQUARE FEET
UNFINISHED BASEMENT AREA: 2246 SQUARE FEET

INDEX OF DRAWINGS

SHEET NUMBER	SHEET TITLE
CS	COVERSHEET
A-1	FRONT & REAR ELEVATIONS
A-2	RIGHT & LEFT ELEVATIONS
A-3	FOUNDATION PLAN
A-4	FIRST FLOOR PLAN
A-5	SECOND FLOOR PLAN
A-6	ROOF PLAN & TYPICAL DETAILS

PROJECT DATE:
2.23.24

REVISIONS:	BY:
3.9.24	KMB
3.14.24	KMB
4.4.24	KMB
BID SET 01_5.7.24	KMB
BID SET 02_6.13.24	KMB
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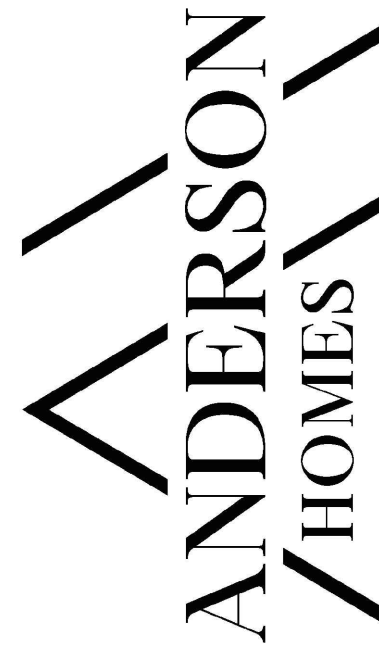
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CS

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262.746.5999
ANDERSONHOMES@WI.COM

HAMM-MILLER CUSTOM

LOT #6 PINE VIEW CT.
MEQUON, WI 53097

Attachment: Plans (9501 - Brent Hamm & Rachel Miller)

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3.9.24	KMB
3.14.24	KMB
4.4.24	KMB
BID SET 01_5.7.24	KMB
BID SET 02_6.13.24	KMB
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SHEET NUMBER:

A-1

NOTES

- ALL FINISH GRADING IS THE RESPONSIBILITY OF THE OWNER AND OWNER'S SUB-CONTRACTORS OR LANDSCAPER AND NOT A PART OF THIS CONTRACT OR PLAN
- ALL WINDOWS & DOORS TO BE FLASHED PER CODE AND SEALED WITH A SELF-ADHERED FLASHING PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. THIS ALSO INCLUDES A SILL FLASHING

THIN SET STONE NOTE

- TWO LAYERS OF WATER RESISTANT BARRIER - (60 MIL) WEEP SCREED - TYPICAL AT BOTTOM OF WALLS
- EFFECTIVE FLASHING AT ALL JOINTS AND PENETRATIONS
- SEE SHT. A-7 FOR THIN SET STONE DETAIL

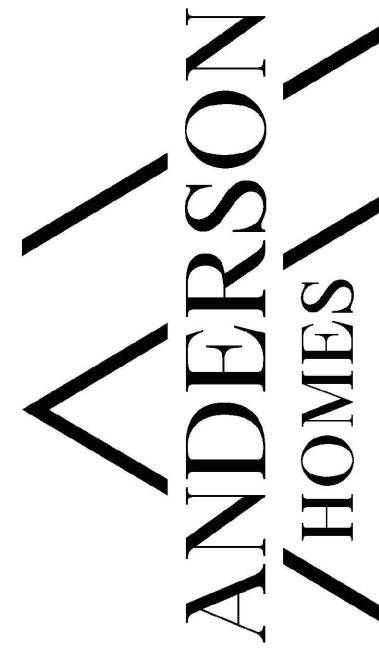


FRONT ELEVATION
SCALE: 1/4"=1'-0"



REAR ELEVATION
SCALE: 1/4"=1'-0"

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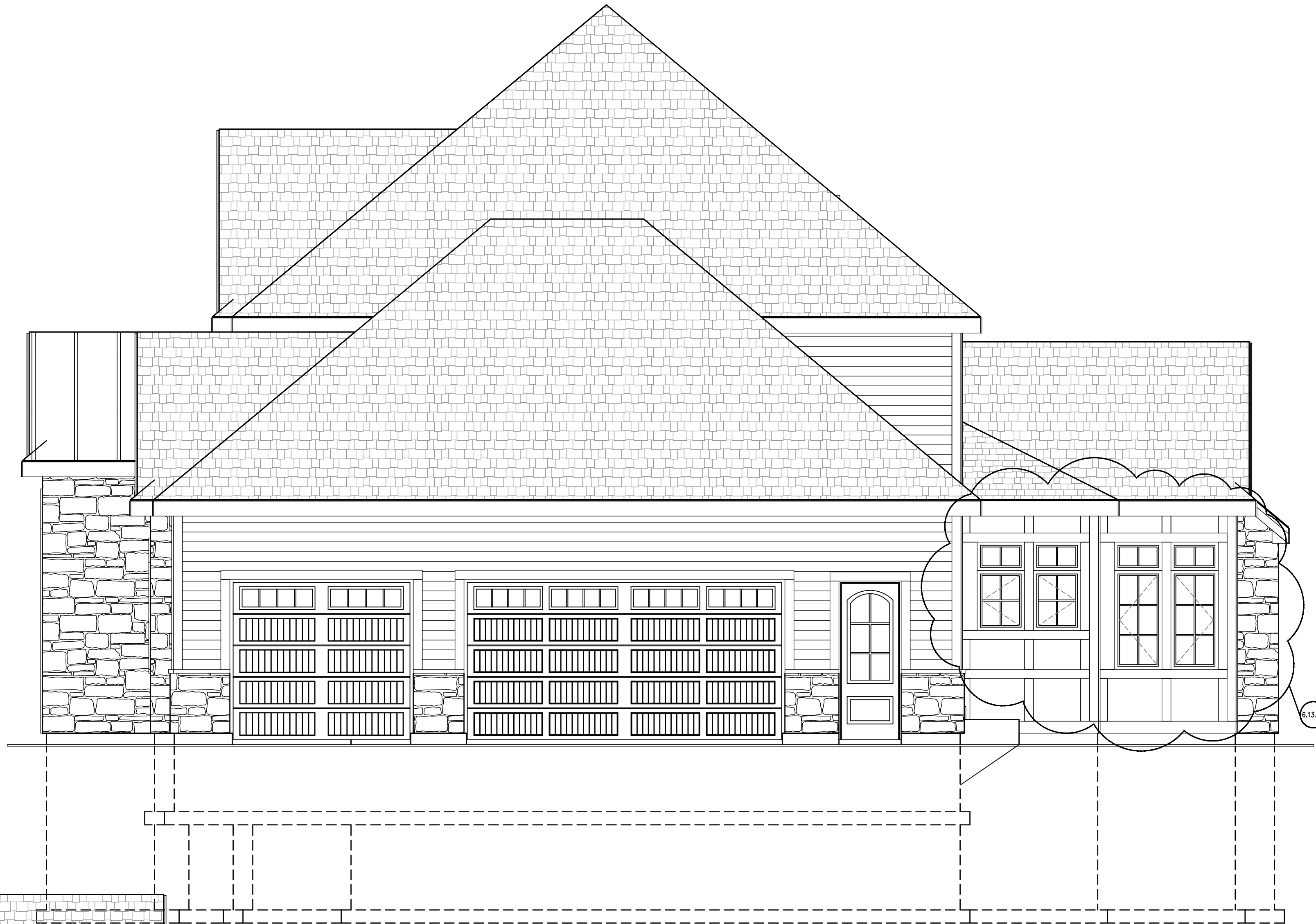
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SHEET NUMBER:
A-2

Attachment: Plans (9501 - Brent Hamm & Rachel Miller)

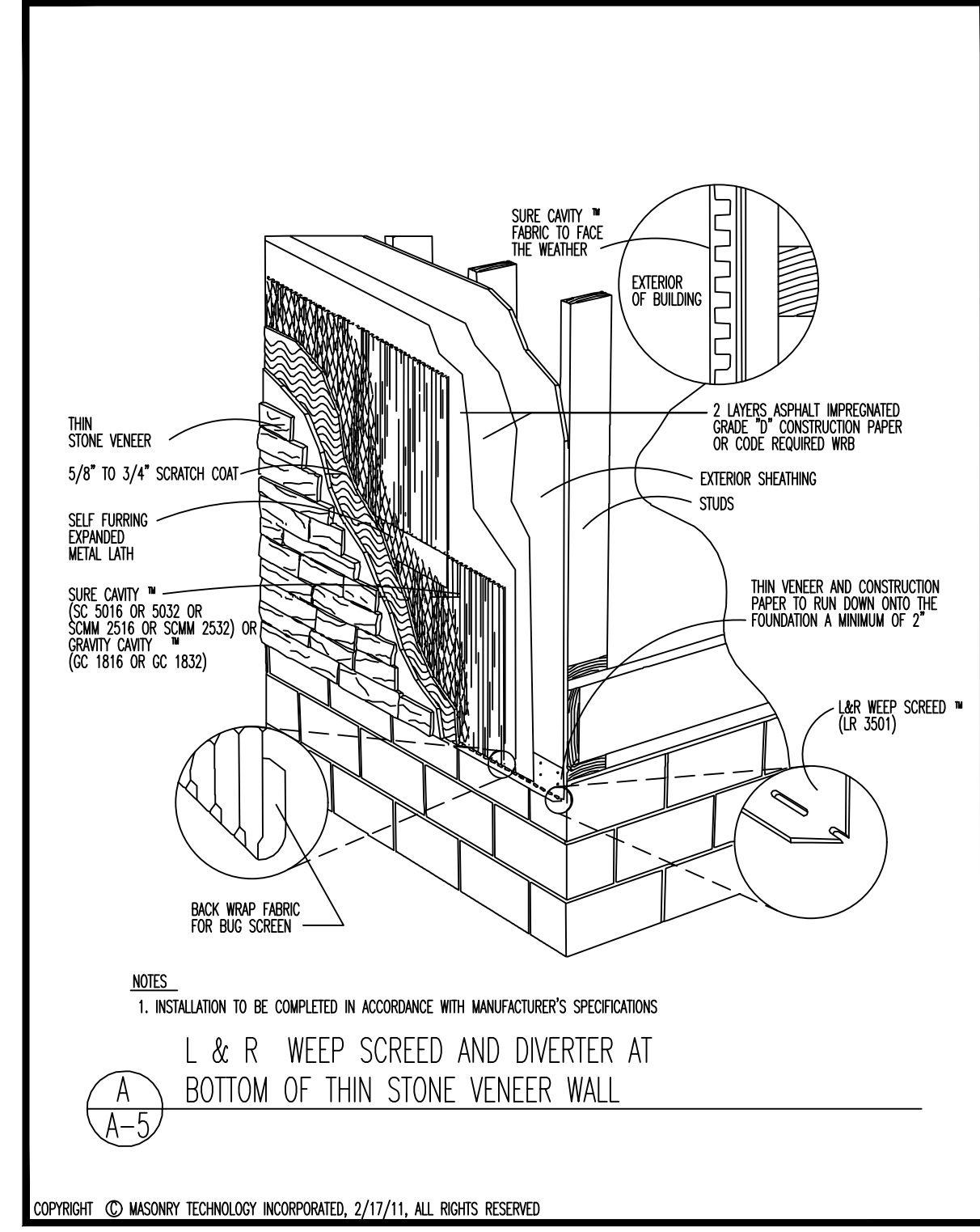


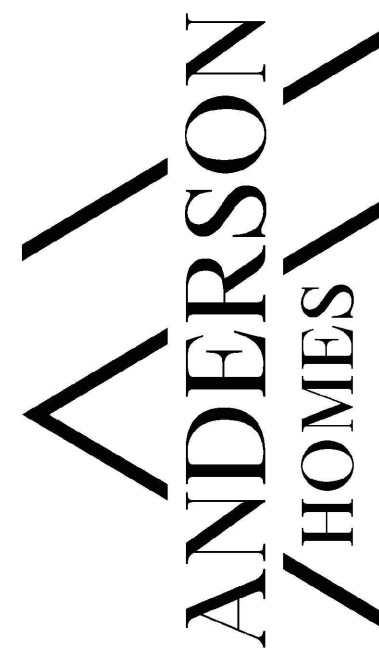
RIGHT ELEVATION
SCALE: 1/4"=1'-0"



LEFT ELEVATION
SCALE: 1/4"=1'-0"

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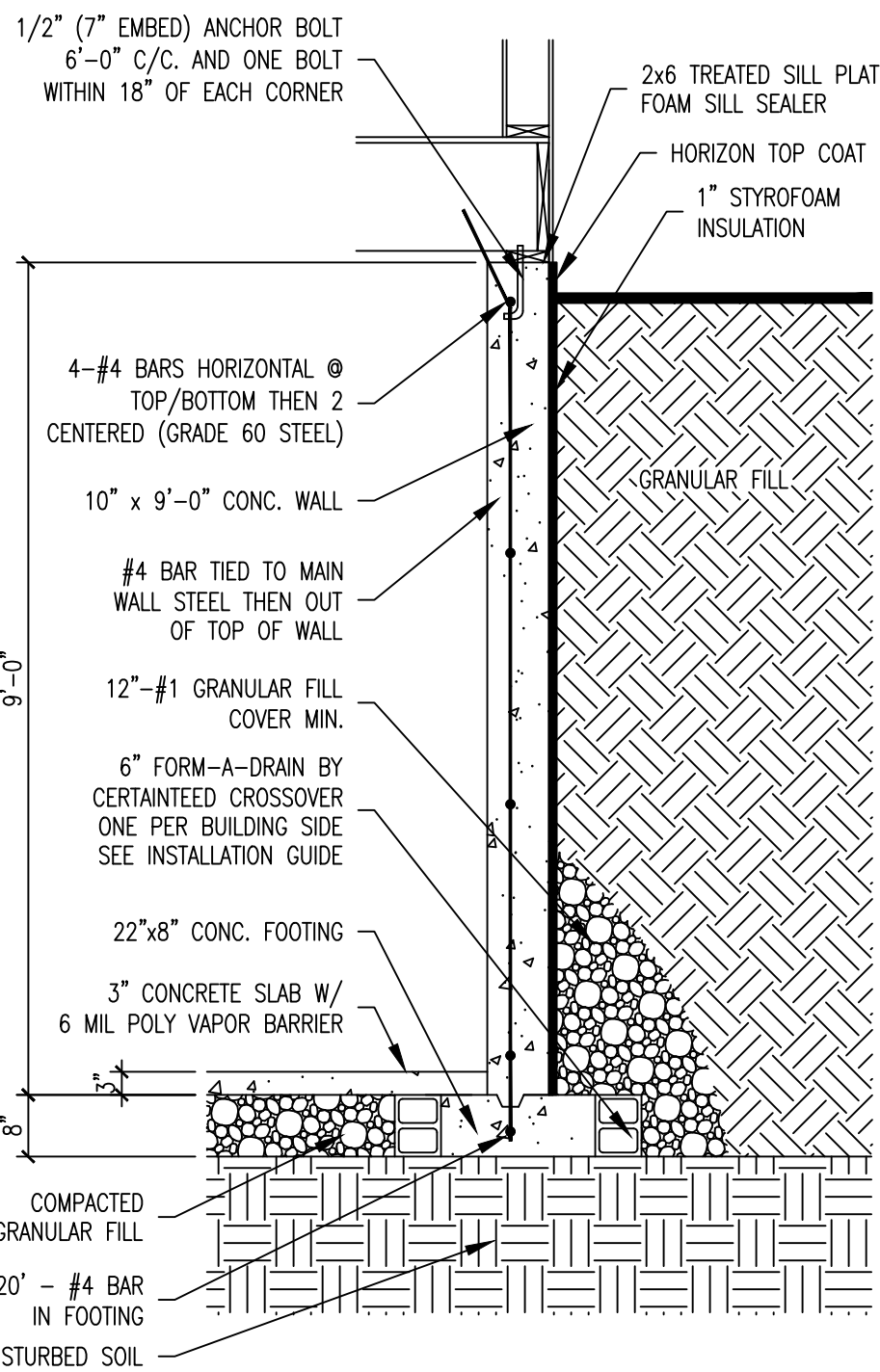
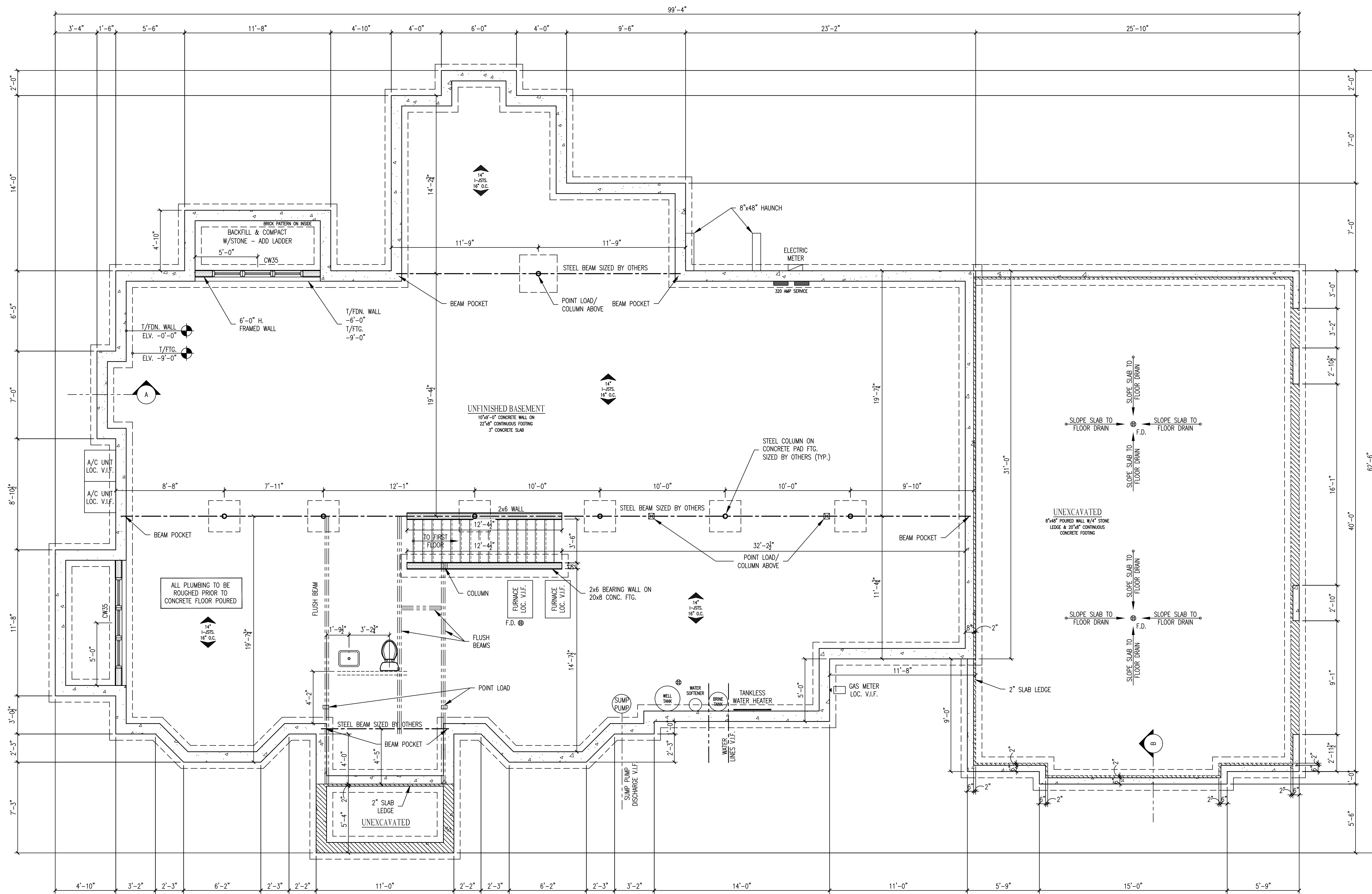
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2.23.24

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BID SET 05.2.24	KMB
BID SET 02.6.13.24	KMB

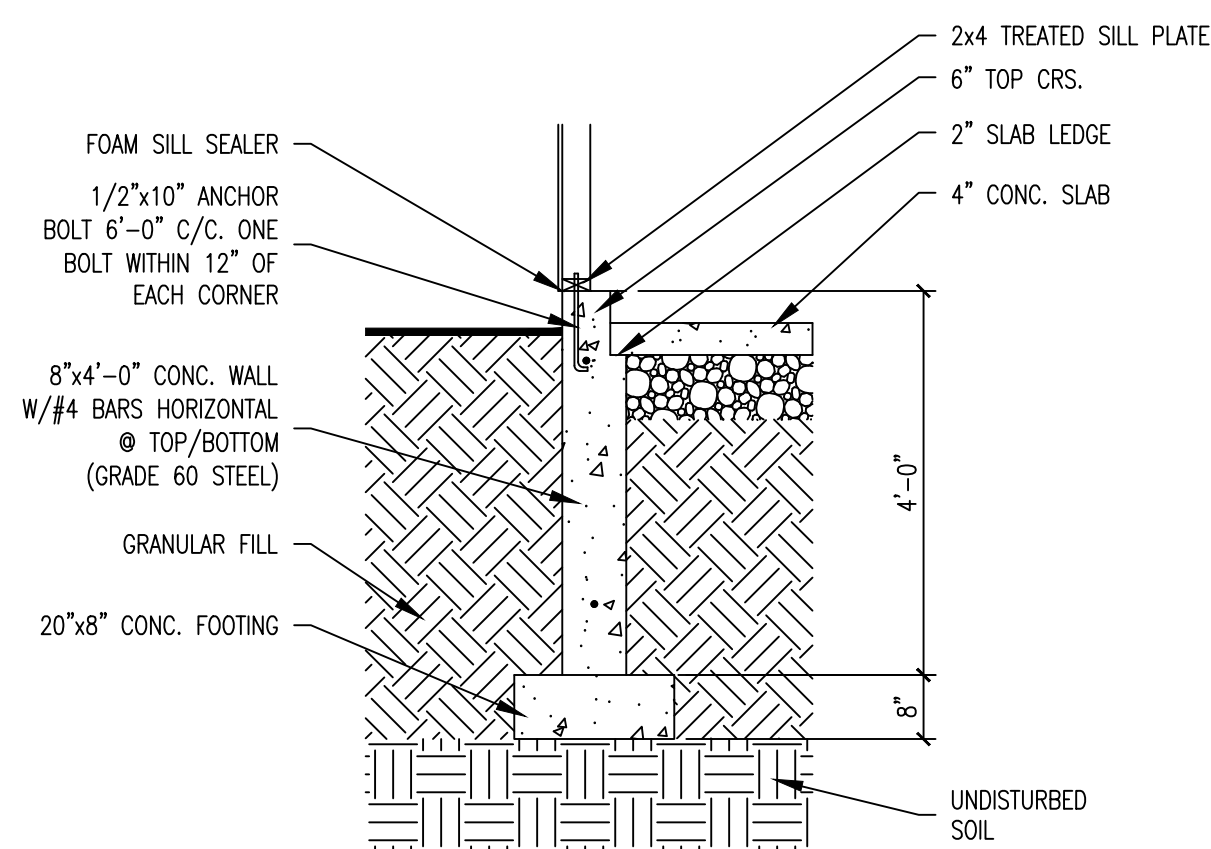
SHEET NUMBER:

A-3



DETAIL SECTION "A"

SCALE: 1/2"=1'-0"



DETAIL SECTION "B"

SCALE: 1/2"=1'-0"

NOTES

- LEVELING MAY BE NEEDED FOR CONCRETE PITCH IN BASEMENT WHEN USING VINYL, LAMINATE, TILE OR HARDWOOD FLOORINGS
- ALL MECHANICAL LOCATIONS WILL BE FIELD VERIFIED BY THEIR RESPECTIVE INSTALLERS
- MECHANICALS MAY NEED TO BE RELOCATED FOR OPTIMAL EFFICIENCY PER SITE
- JOIST LAYOUTS TO BE PROVIDED BY JOIST SUPPLIER
- SUPPLIER TO RE-CALC ALL BEAMS, HEADERS, AND JOISTS
- PLAN LAYOUT SHALL CONFORM TO ALL ARCHITECTURAL DIMENSIONS OF THIS PLAN AND SHALL BE CONSIDERED THE STRUCTURAL PLAN HENCEFORTH FOR BUILDING PURPOSES
- ALL I-JOISTS LAYOUTS SHOULD CONFORM TO EQUAL A PRO-RATING OF 45

FOUNDATION PLAN

SCALE: 1/4"=1'-0"

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HAMM-MILLER CUSTOM

LOT #6 PINE VIEW CT.
MEQUON, WI 53097

Attachment: Plans (9501 - Brent Hamm & Rachel Miller)

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SHEET NUMBER:

A-4

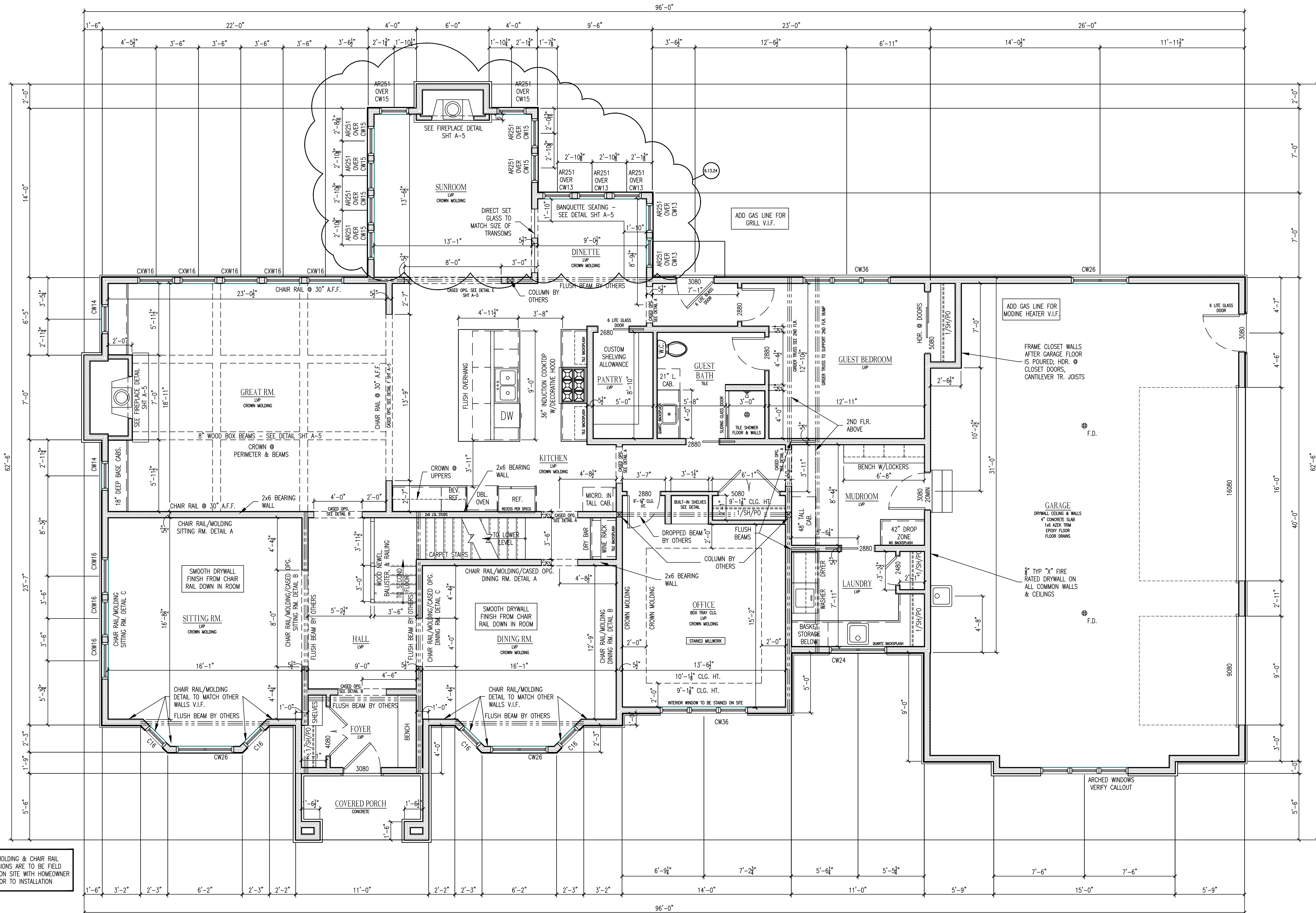
FIRST FLOOR PLAN

SCALE: 1/4"=1'-0"

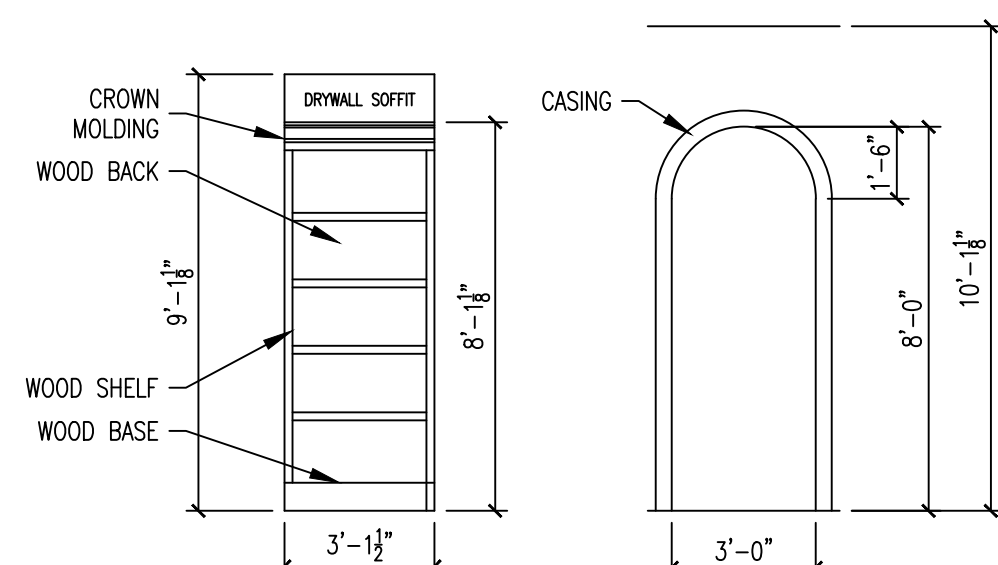
AREA DEFINITION:

FIRST FLOOR AREA:	2837 SQUARE FEET
SECOND FLOOR AREA:	1988 SQUARE FEET
FINISHED BASEMENT AREA:	380 SQUARE FEET
TOTAL LIVING AREA:	5205 SQUARE FEET
GARAGE AREA:	1060 SQUARE FEET
COVERED PORCH AREA:	61 SQUARE FEET
UNFINISHED BASEMENT AREA:	2246 SQUARE FEET

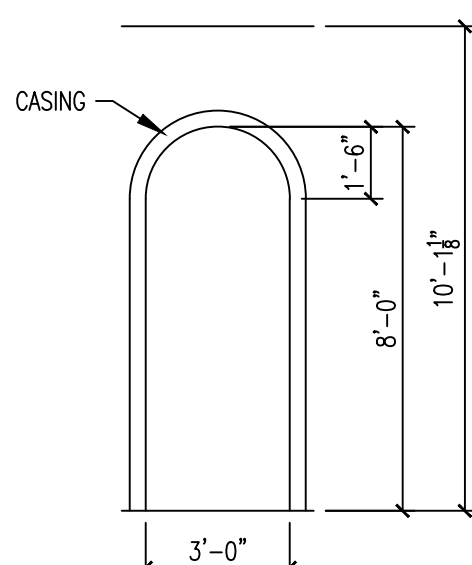
**BID SET ONLY - NOT
FOR CONSTRUCTION**



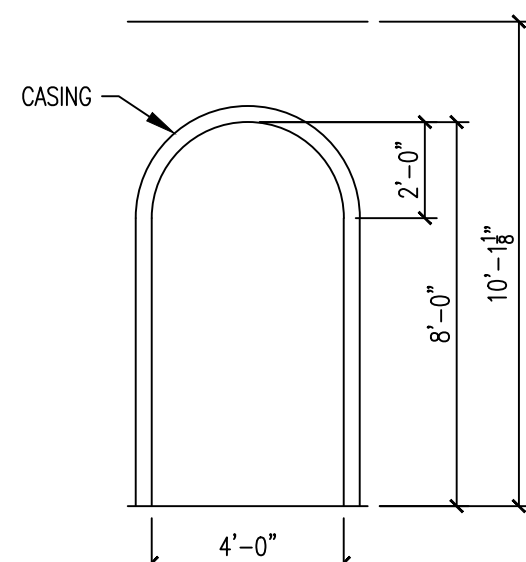
ALL MOLDING & CHAIR RAIL
DIMENSIONS ARE TO BE FIELD
VERIFIED ON SITE WITH HOMEOWNER
PRIOR TO INSTALLATION



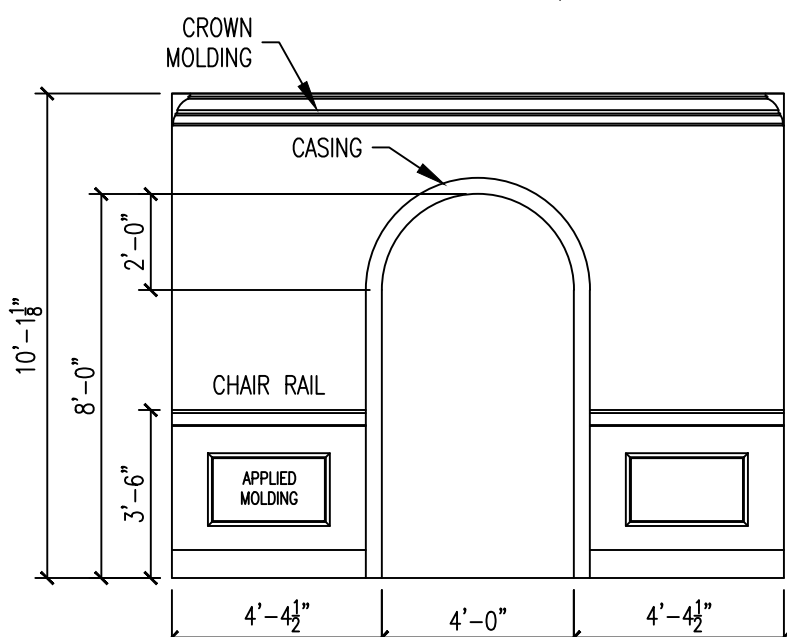
BUILT-IN SHELVES
DETAIL
SCALE: 1/4" = 1'-0"



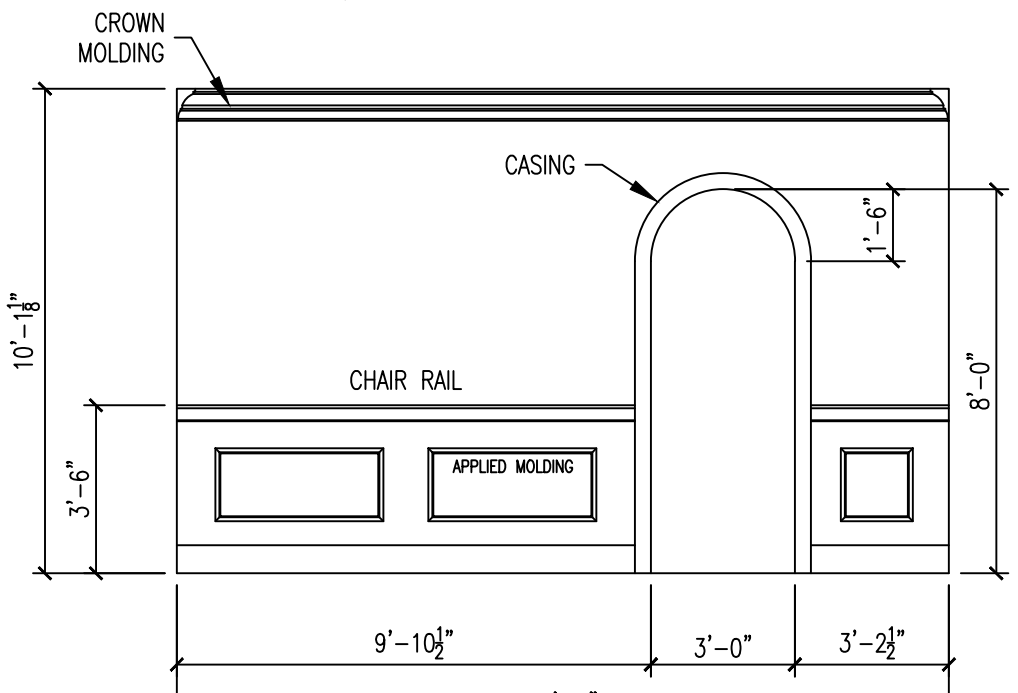
CASED OPG. DETAIL A
SCALE: 1/4" = 1'-0"



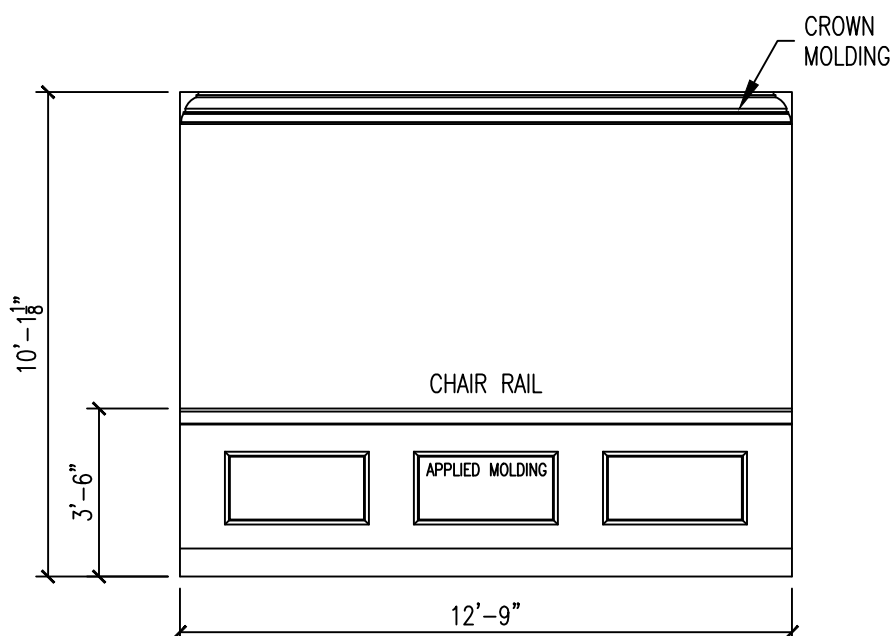
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SCALE: 1/4" = 1'-0"



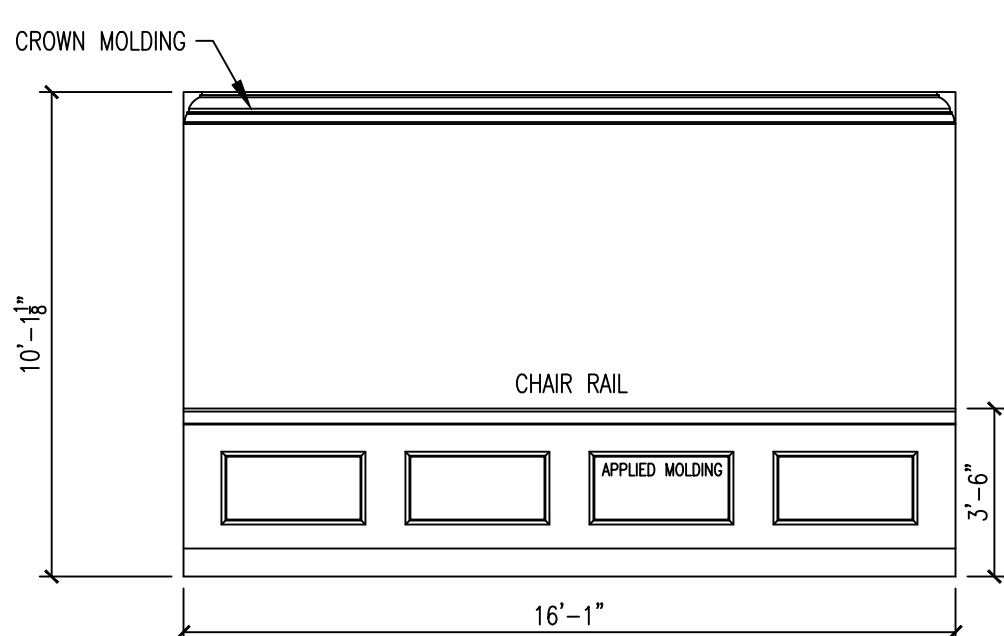
DINING RM. APPLIED MOLDING DETAIL C
SCALE: 1/4" = 1'-0"



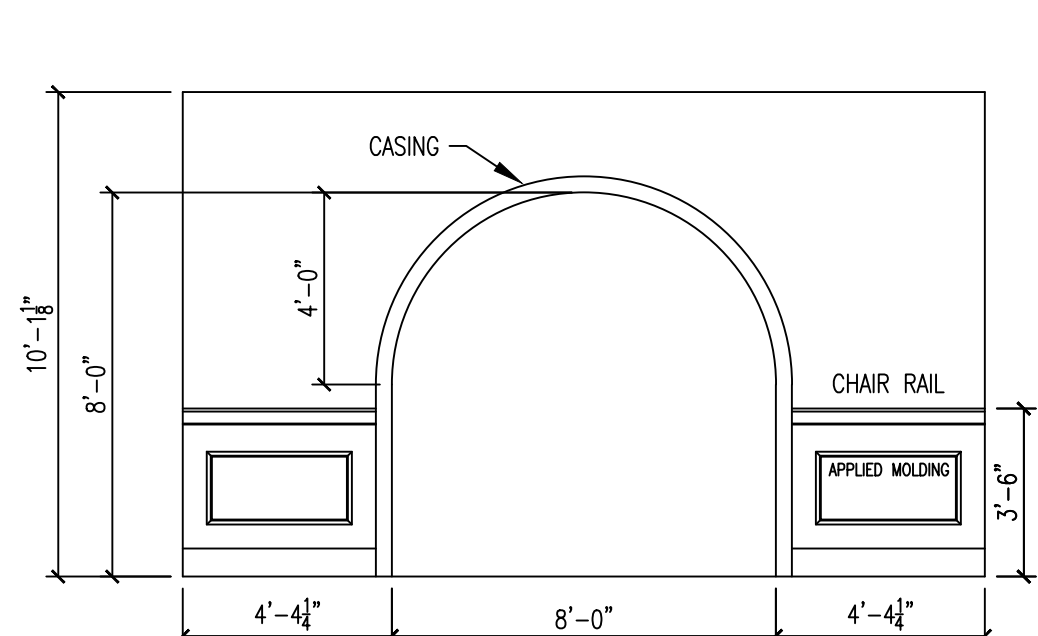
DINING RM. APPLIED MOLDING DETAIL A
SCALE: 1/4" = 1'-0"



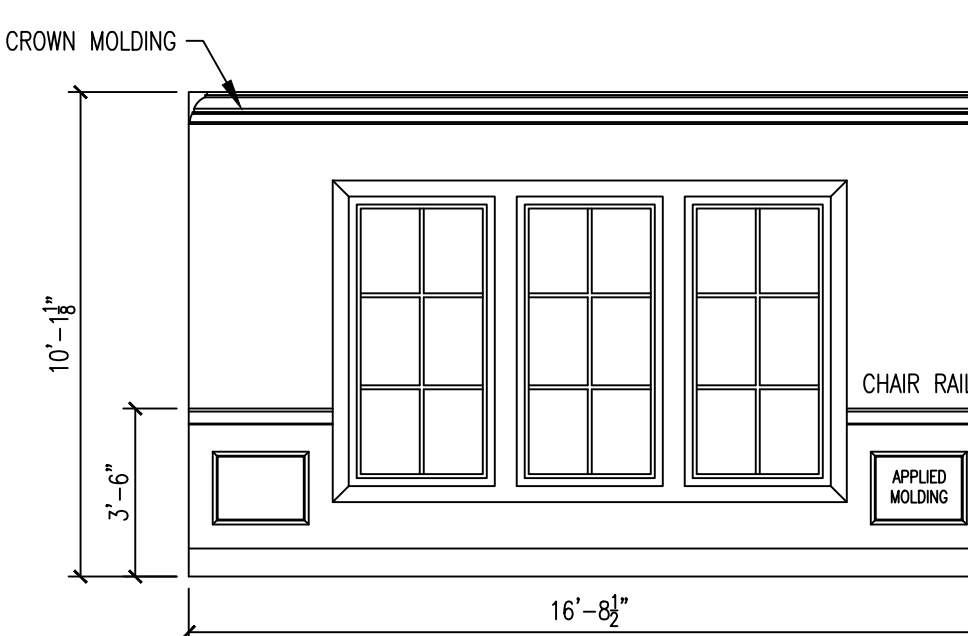
DINING RM. APPLIED MOLDING DETAIL B
SCALE: 1/4" = 1'-0"



SITTING RM. APPLIED MOLDING DETAIL A
SCALE: 1/4" = 1'-0"



SITTING RM. APPLIED MOLDING DETAIL B
SCALE: 1/4" = 1'-0"



SITTING RM. APPLIED MOLDING DETAIL C
SCALE: 1/4" = 1'-0"

ANDERSON HOMES
585 RYAN STREET
PEWAUKEE, WI 53072
262-746-9999
ANDERSONHOMESOFWI.COM

HAMM-MILLER CUSTOM

LOT #6 PINE VIEW CT.
MEQUON, WI 53097

Attachment: Plans (9501 : Brent Hamm & Rachel Miller)

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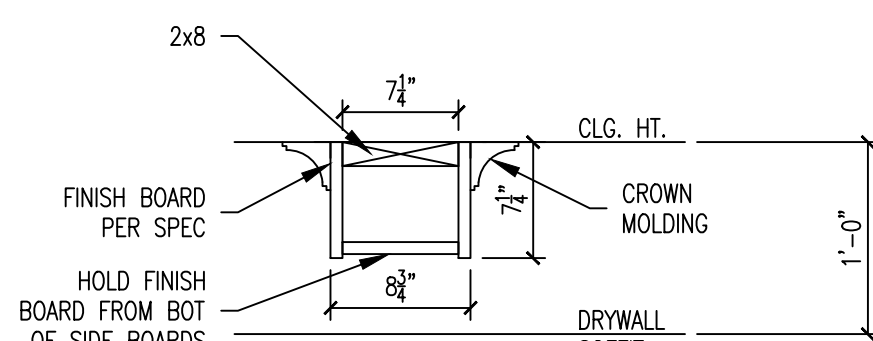
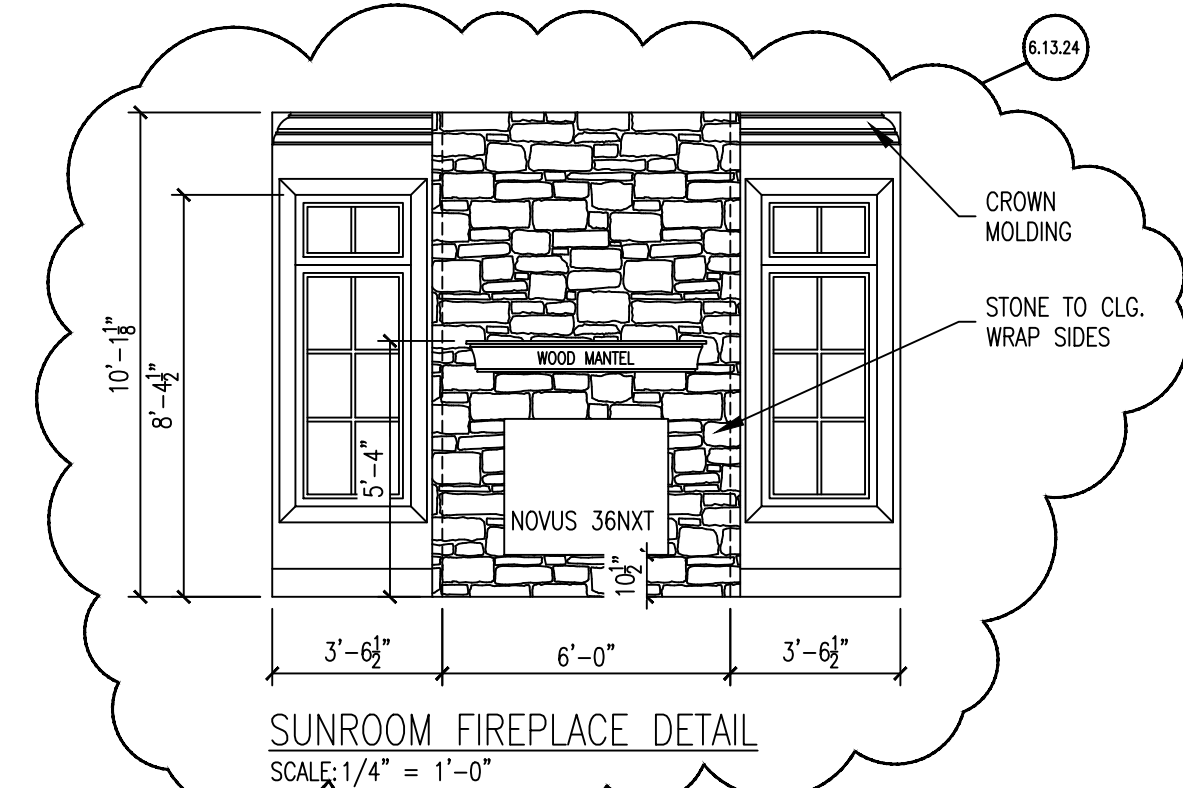
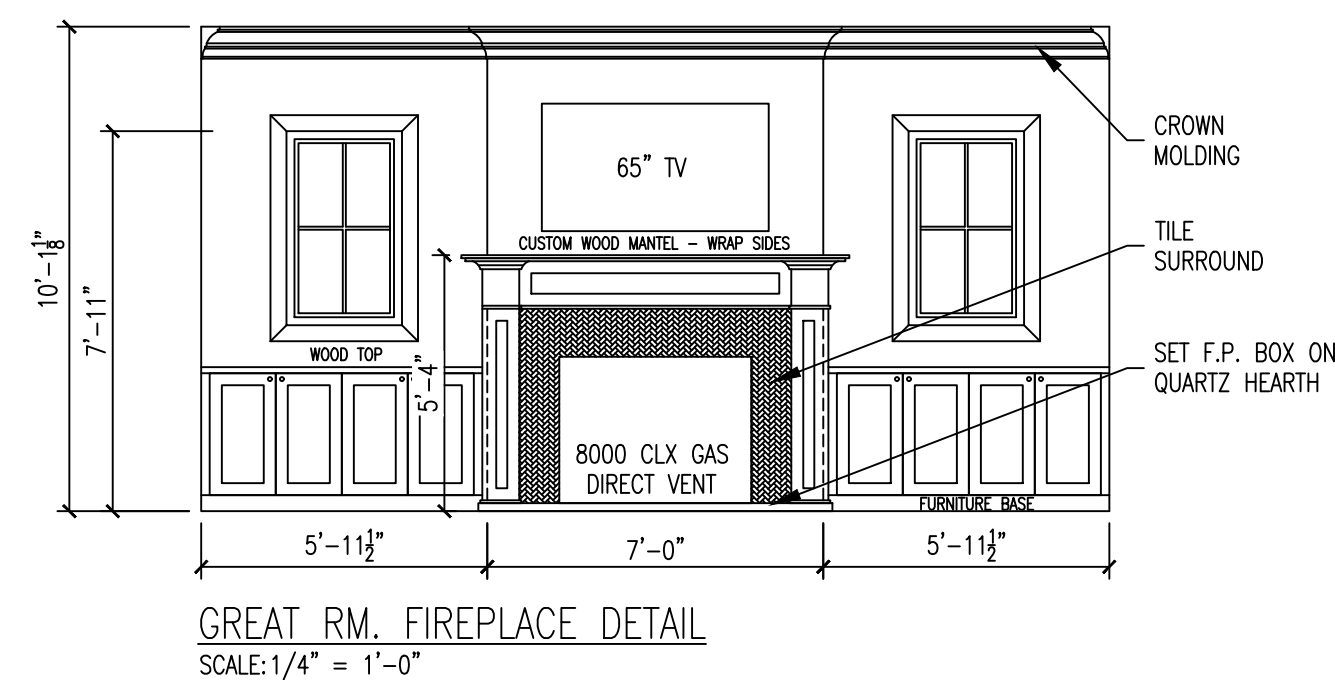
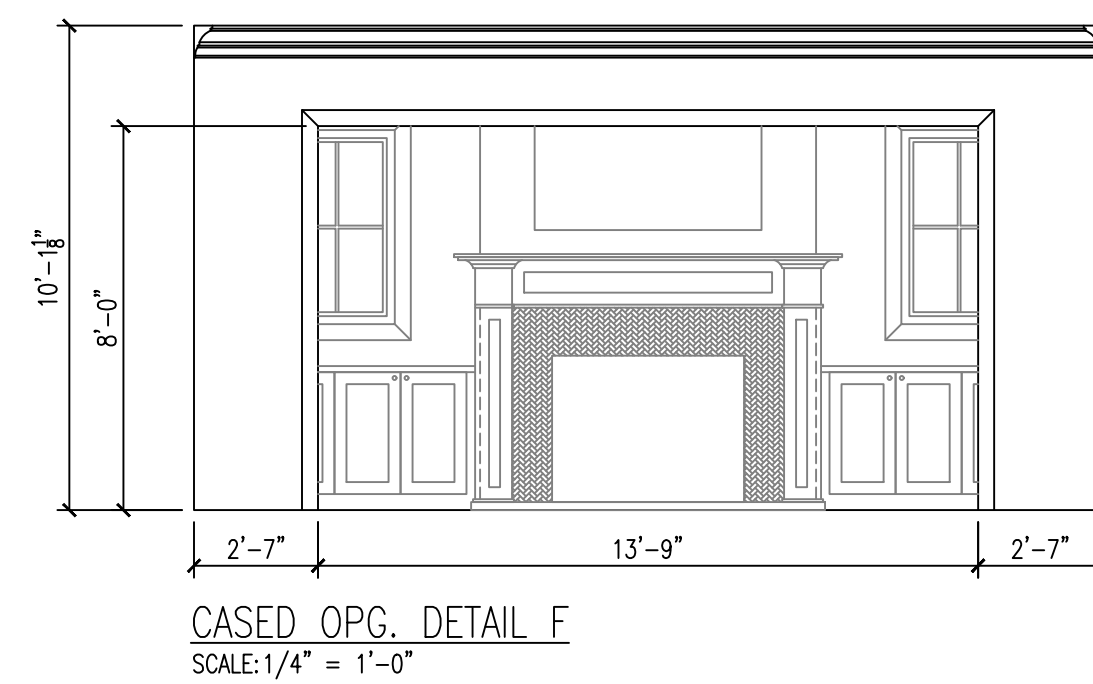
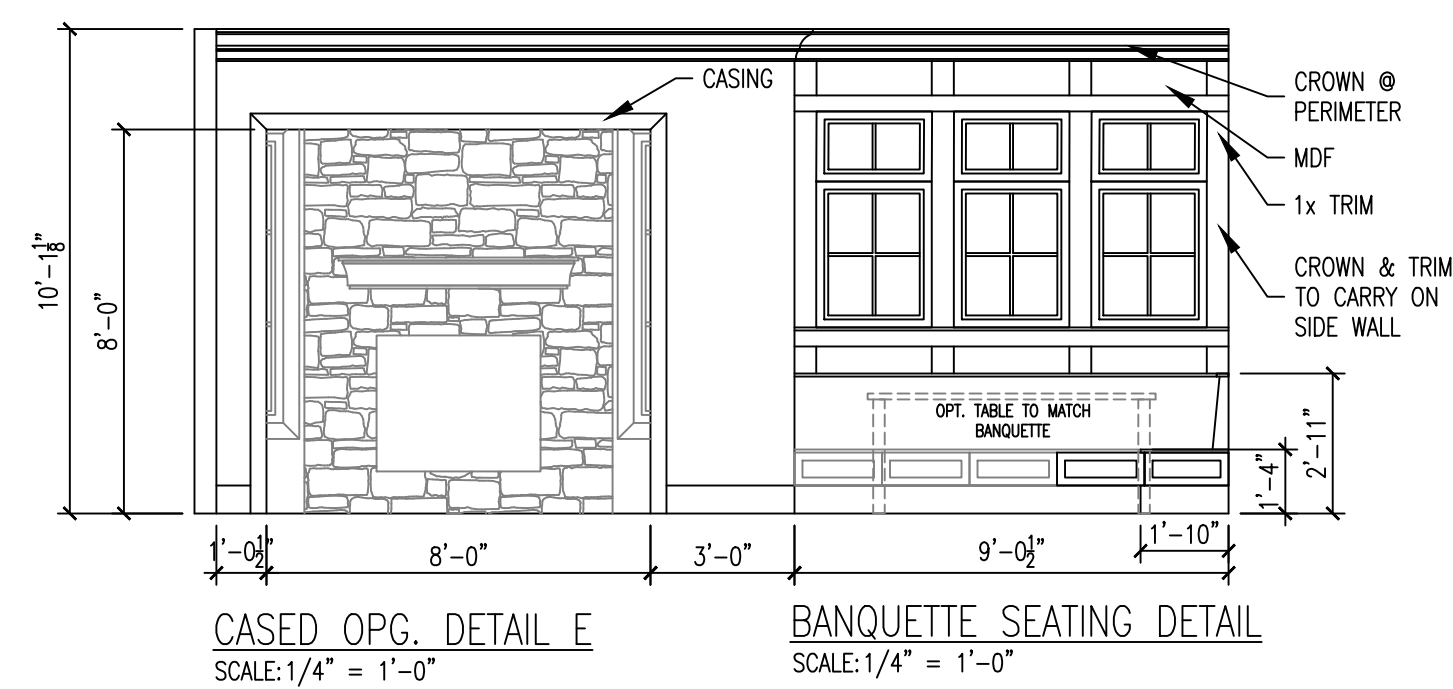
PROJECT DATE:
2.23.24

REVISIONS:	BY:
3.9.24	KMB
3.14.24	KMB
4.4.24	KMB
BID SET 01_5.7.24	KMB
BID SET 02_6.13.24	KMB

SHEET NUMBER:

A-5

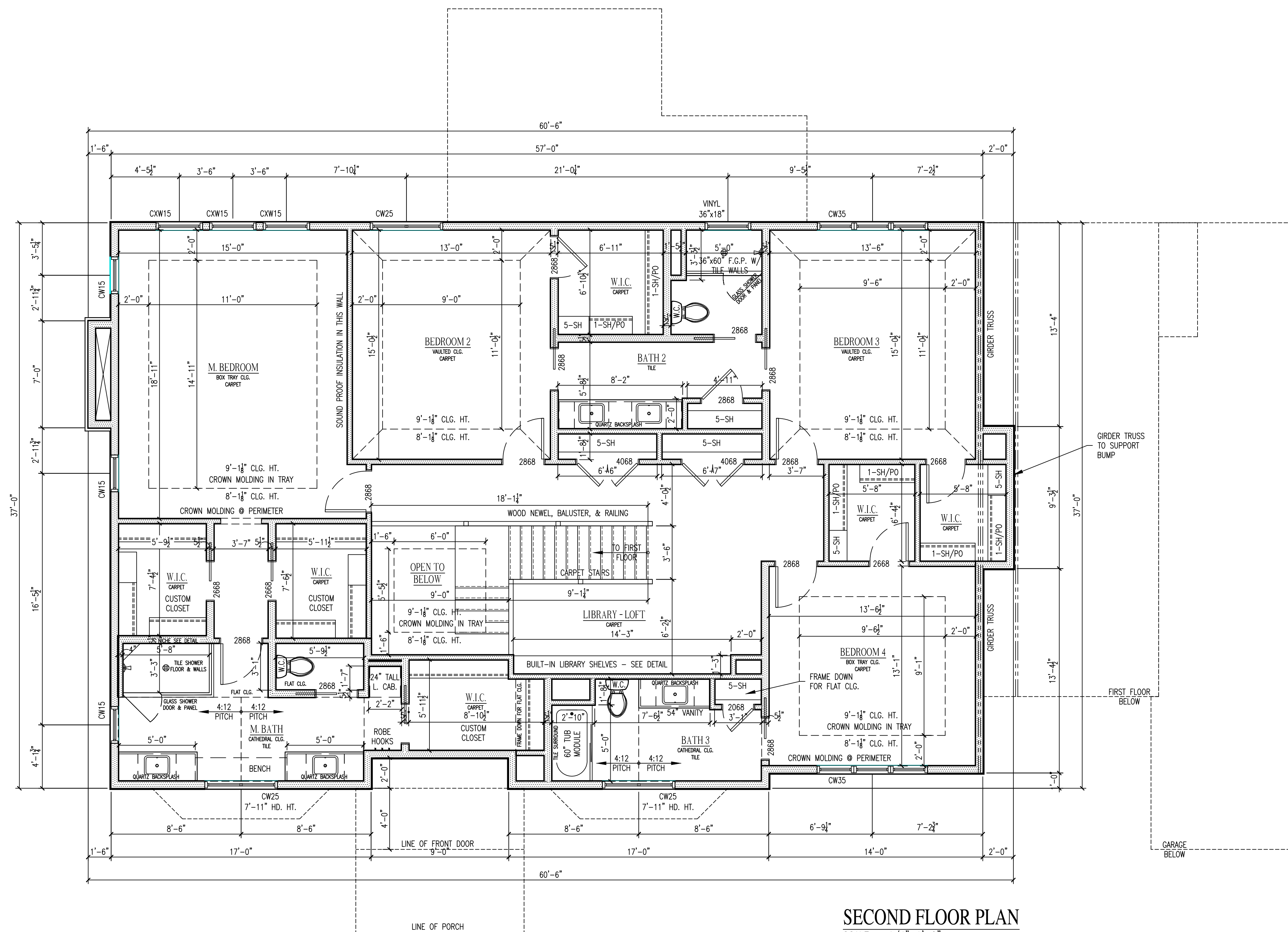
Packet Pg. 32



SECTION OF BEAM DETAIL
SCALE: 1" = 1'-0"

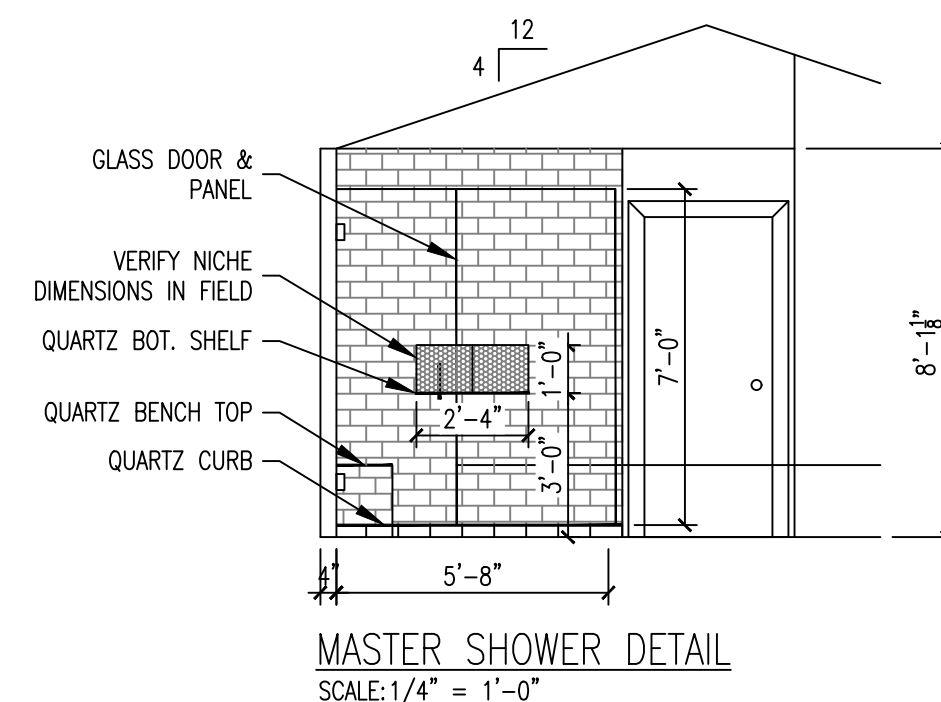
FIRST FLOOR DETAILS

SCALE: $1/4"=1'-0"$

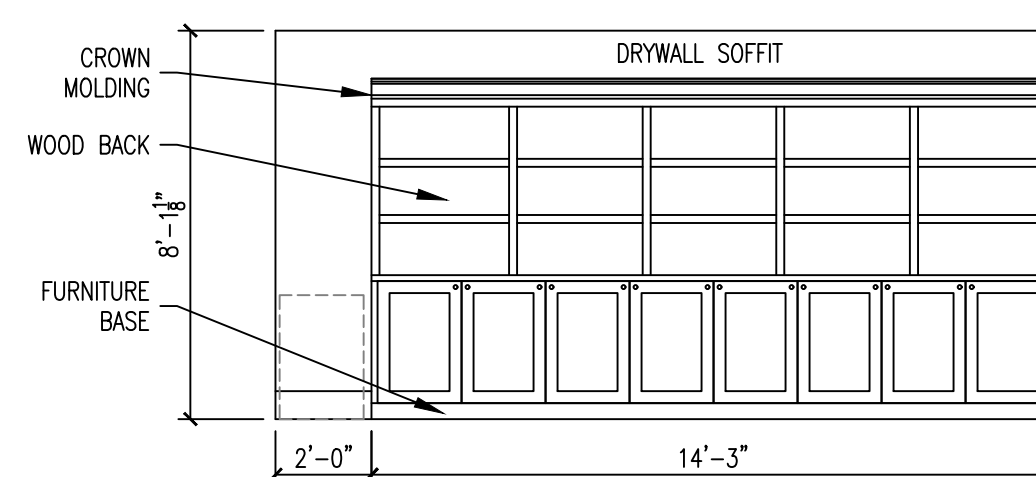


SECOND FLOOR PLAN

SCALE: $1/4"=1'-0"$



MASTER SHOWER DETAIL
SCALE: 1/4" = 1'-0"



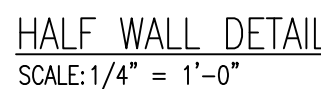
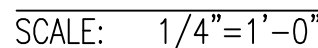
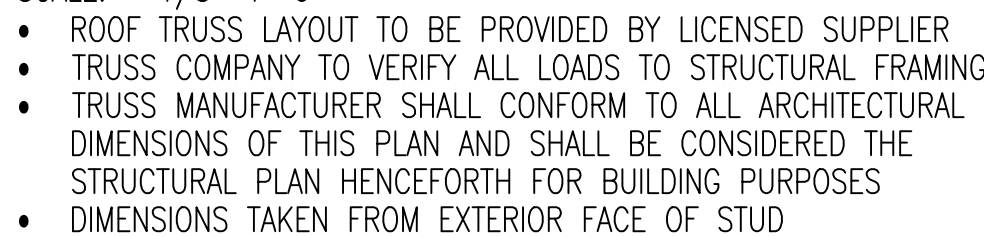
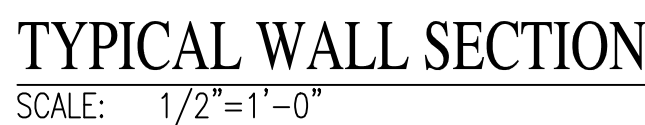
BUILT-IN LIBRARY SHELVES DETAIL
SCALE: 1/4" = 1'-0"

**BID SET ONLY - NOT
FOR CONSTRUCTION**

LOT #6 PINE VIEW CT.
MEQUON, WI 53097

PROJECT DATE: 2.23.24	
REVISIONS:	BY
3.9.24	KMI
3.14.24	KMI
4.4.24	KMI
BID SET 01_5.7.24	KMI
BID SET 02_6.13.24	KMI

A-6



**BID SET ONLY - NOT
FOR CONSTRUCTION**



11333 N. Cedarburg Road
Mequon, WI 53092-1930
Phone: 262-242-3100
Fax: 262-242-9655

www.ci.mequon.wi.us

Office of Architectural Board

TO: Architectural Board
FROM: Karen Heil, Administrative Assistant
DATE:
SUBJECT: William & Joann Pennington - Addition: Attached Garage at 7033 W. Overlook Court

Attachments:

Statement of Intent (PDF)

Survey (PDF)

Pictures (PDF)

Plans (PDF)

Overlook Remodel

Architectural Board Submittal

5.20.2024

Statement of Intent

The project consists of an expansion to the existing garage to better accommodate modern-sized vehicles. The garage doors are reconfigured for a front approach with a circular drive for improved access. Existing drainage patterns are intended to be maintained to shed water to each side of the home. The new dry-set retaining wall at the edge of the drive can be removed in the case that utility easement needs to be accessed.

The addition will seamlessly blend with the existing home using the existing materials. The gable portion in the front of the garage will remain stone to balance the West elevation. The interior of the home is being remodeled with new flooring, kitchen, bathrooms, and redesigned basement. Four new Windows are being added to the North and East elevations and will be similar to the existing windows.

We are asking for approval for an alternate option to replace all windows throughout the home with windows that do not include grids and update the performance because existing windows are nearing end of life.

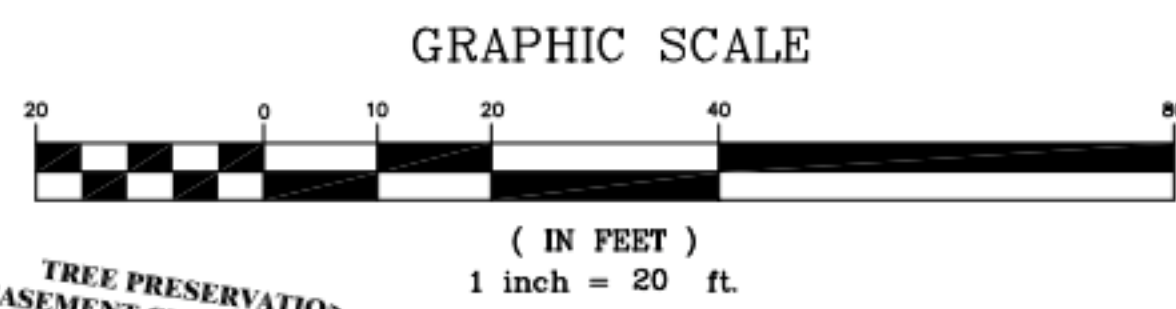
(414) 276.8550
deep-river.com

240 N. Milwaukee Street
Suite 400
Milwaukee, WI 53202



Attachment: Statement of Intent (9502 : William & Joann Pennington)

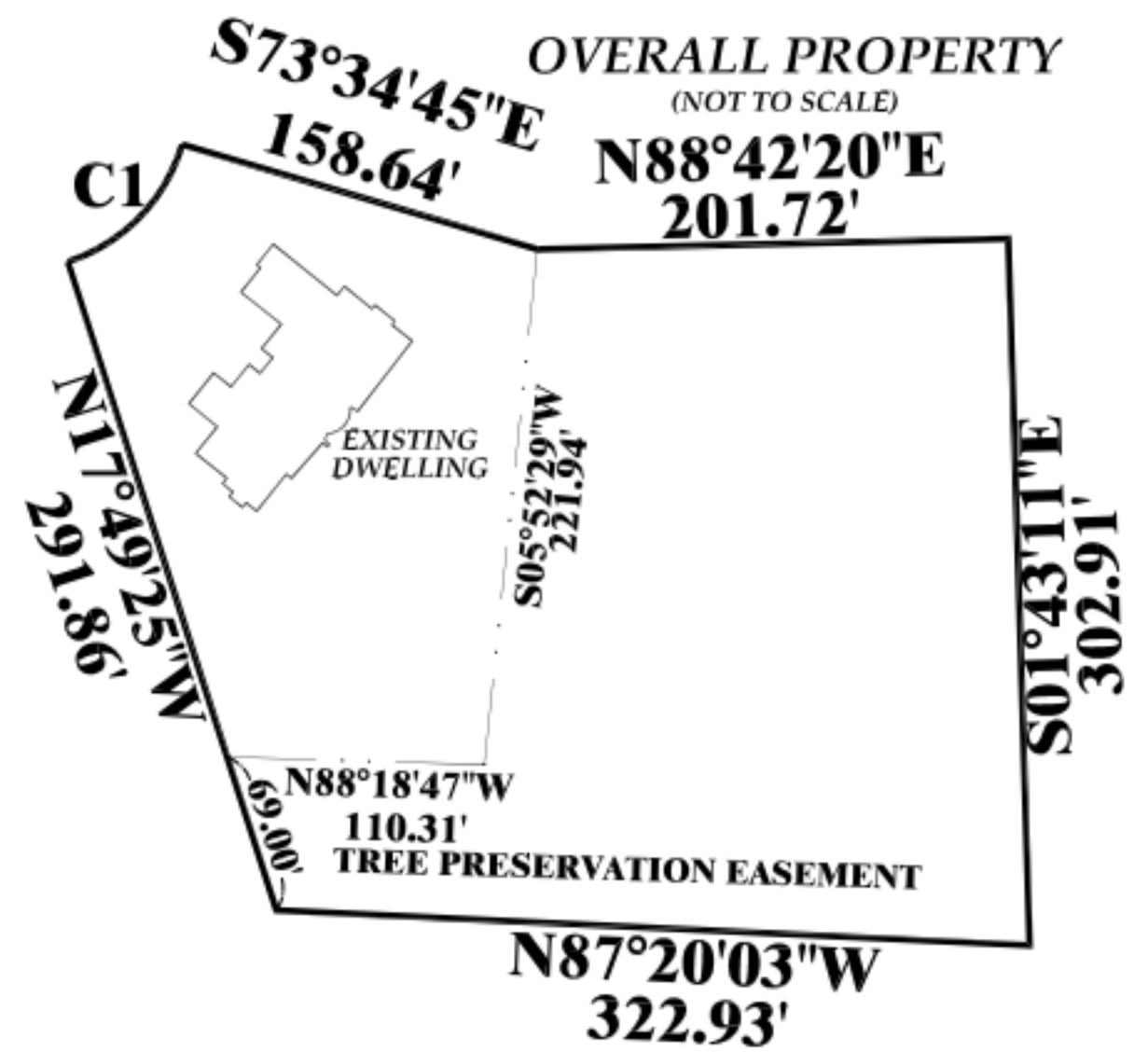
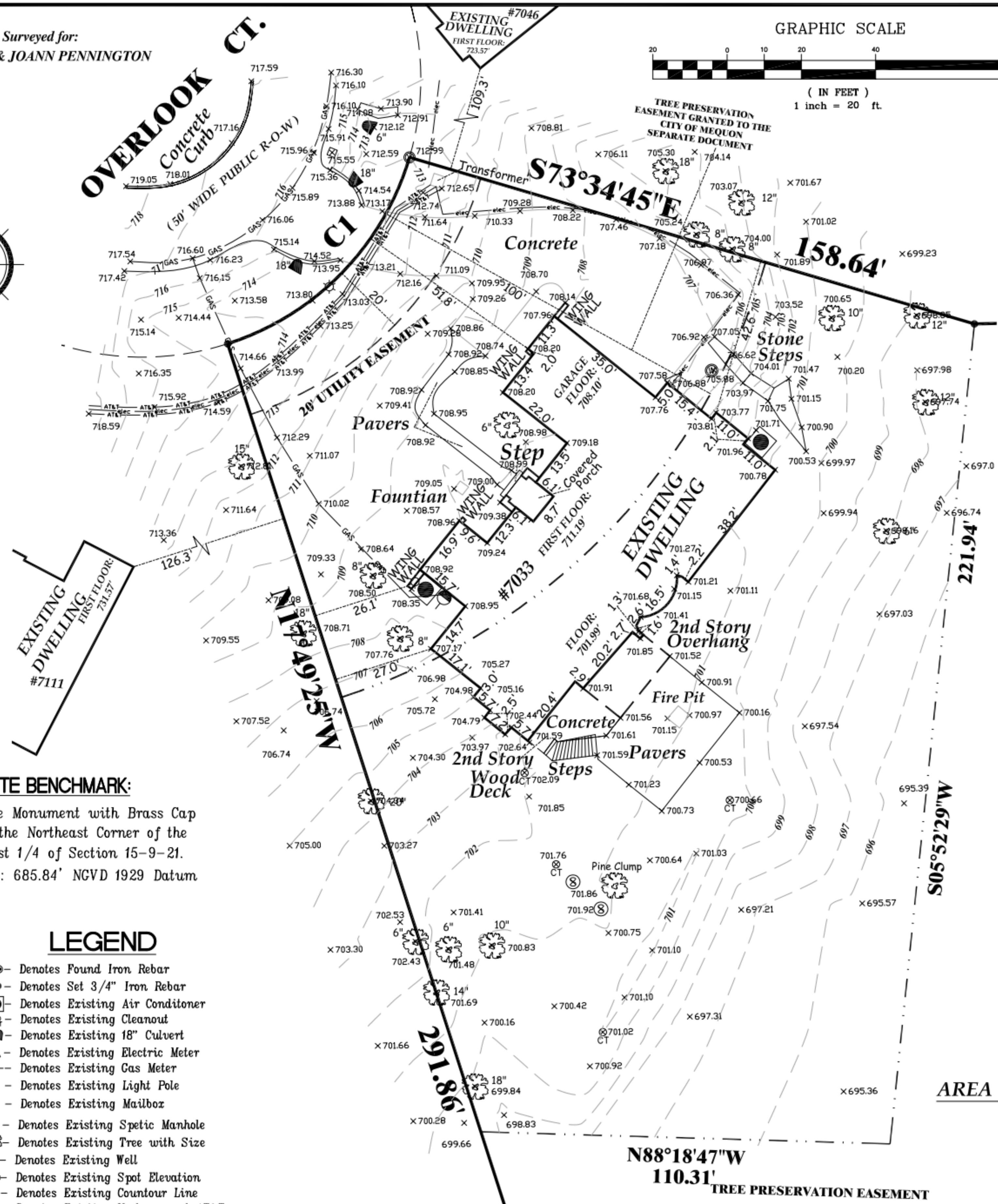
Surveyed for:
WILLIAM & JOANN PENNINGTON



SURVEYING ASSOCIATES, INC.
MEMBER OF WISCONSIN SOCIETY OF LAND SURVEYORS
& NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS

MARC C. PASSARELLI P.L.S.
sai@wi.rr.com
2554 N. 100TH STREET
P.O. BOX 26596
WAUWATOSA, WISCONSIN 53226
(414) 257-2212 FAX: (414) 257-2443

OVERLOOK CT.
Concrete Curb
(50' WIDE PUBLIC R-O-W)



CURVE TABLE					
CURVE	LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH	DELTA
C1	72.98'	75.00'	N44°18'16"E	70.13'	55°45'10"

BOUNDARY / TOPOGRAPHIC SURVEY

7033 W. Overlook Court
Mequon, WI. 53092

Legal Description

Lot 2, in Highland Ridge, part of the Northwest ¼ and Northeast ¼ of the Northwest ¼ of Section 15, in Township 9 North, Range 21 East, in the City of Mequon, County of Ozaukee, State of Wisconsin.

SITE BENCHMARK:

Concrete Monument with Brass Cap
Marking the Northeast Corner of the
Northwest 1/4 of Section 15-9-21.
Elevation : 685.84' NGVD 1929 Datum

LEGEND

- - Denotes Found Iron Rebar
- - Denotes Set 3/4" Iron Rebar
- ⊙ - Denotes Existing Air Conditioner
- - Denotes Existing Cleanout
- ⌒ - Denotes Existing 18" Culvert
- ⚡ - Denotes Existing Electric Meter
- ⊙ - Denotes Existing Gas Meter
- ☆ - Denotes Existing Light Pole
- ✉ - Denotes Existing Mailbox
- ⊙ - Denotes Existing Septic Manhole
- ⊙ - Denotes Existing Tree with Size
- ⊙ - Denotes Existing Well
- 700.00 - Denotes Existing Spot Elevation
- 700 - Denotes Existing Contour Line
- AT&T - Denotes Existing Underground AT&T
- GAS - Denotes Existing Underground Electric Line
- elec - Denotes Existing Underground Gas Line

AREA OF PROPERTY:

109,757 Sq. Ft.
2.519 Acres



Marc C. Passarelli
WISCONSIN REGISTERED LAND SURVEYOR

FIELD WORK BY	DATE	PROJECT NO.
MWW/JE	02/22/2024	36695
DRAWN BY	DATE	SCALE
MWW	02/29/2024	1" = 30'
APPROVED BY	DATE	
REVISED BY		SHEET NO.
		1 of 1



EXISTING WEST ELEVATION



EXISTING NORTH ELEVATION



EXISTING EAST ELEVATION



EXISTING SOUTH ELEVATION



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Project 2401
OVERLOOK REMODEL
7033 W. OVERLOOK CT.
MEQUON, WI. 53092

ISSUE DESCRIPTION	DATE
QUARTER INCH APPROVAL	5.8.2024
ARCH. BOARD SUBMITTAL	5.20.2024

EXISTING PHOTOS

A5.1

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SHEET INDEX	
1	Site Plan
2	Grading Plan
3	Drainage Plan
4	Water Supply Plan
5	Sanitary Sewer Plan
6	Storm Sewer Plan
7	Utility Plan
8	Final Plan

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1 SITE PLAN

3.d

Attachment: Plans (9502 :

Packet Pg. 38

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MEQUON, WI. 53092

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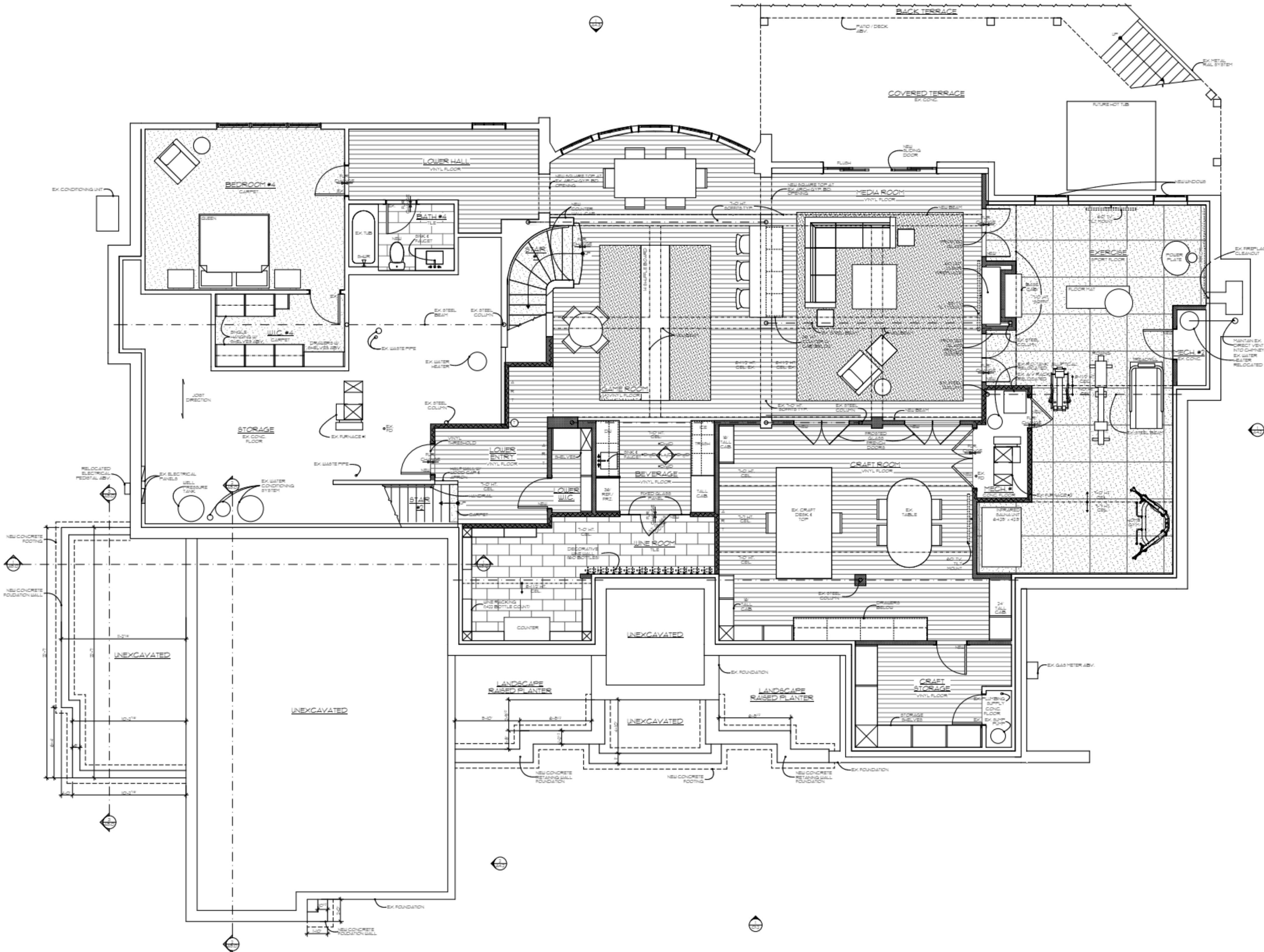
LOWER LEVEL & FOUNDATION
PLAN



NORTH

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1 LOWER LEVEL & FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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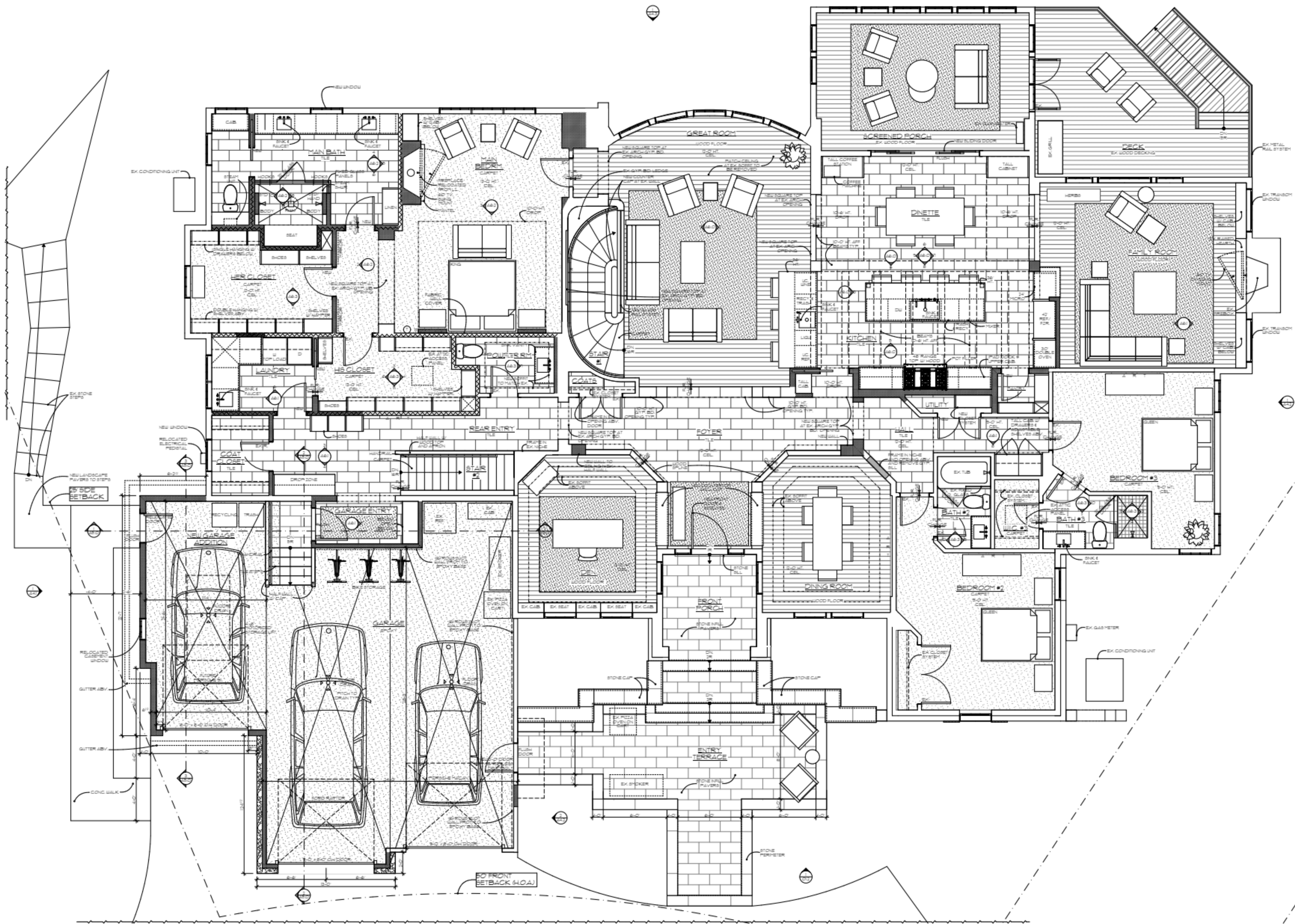
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FIRST FLOOR PLAN

NORTH

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1 FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



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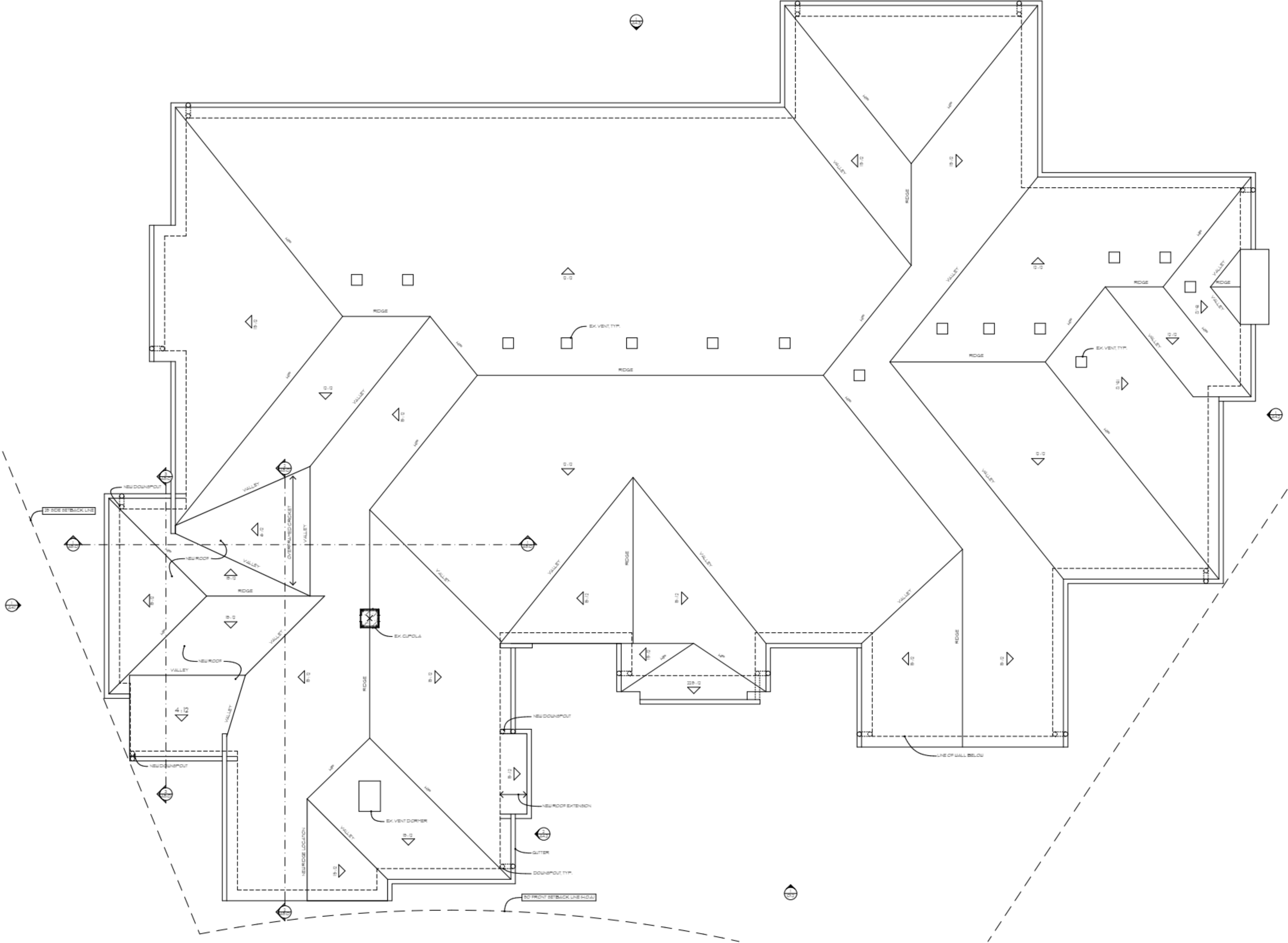
ISSUE DESCRIPTION	DATE
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ROOF PLAN

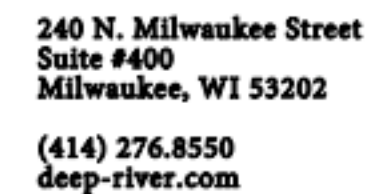


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1 ROOF PLAN
SCALE 1/4" = 1'-0"



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1 NORTH ELEVATION
SCALE 1/4" = 1'-0"

Project 2401
OVERLOOK REMODEL
7033 W. OVERLOOK CT.
MEQUON, WI. 53092

ISSUE DESCRIPTION	DATE
QUARTER INCH APPROVAL	5.8.2024
ARCH. BOARD SUBMITTAL	5.20.2024

EXTERIOR ELEVATIONS

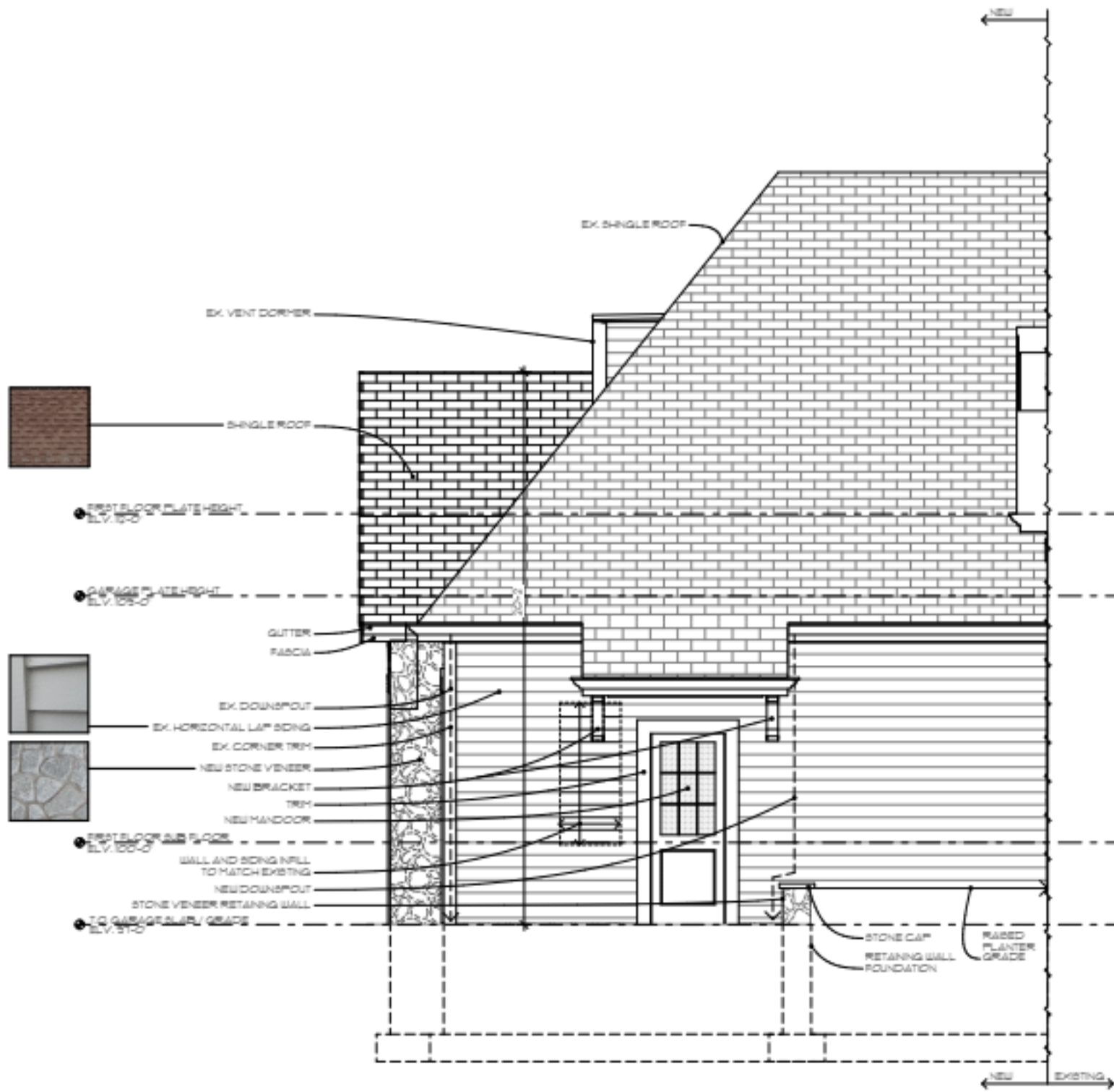
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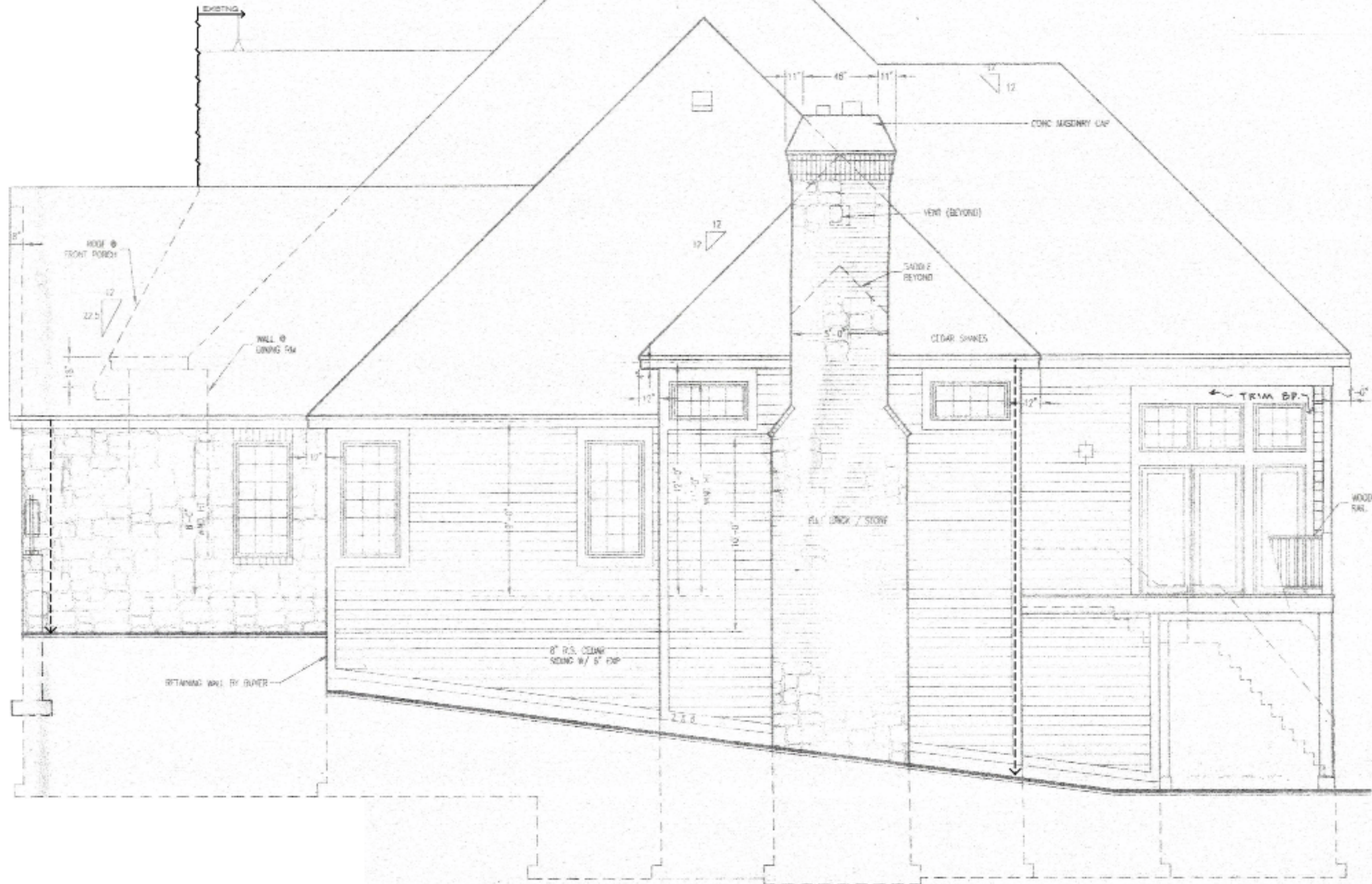
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1 PARTIAL SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

Project 2401
OVERLOOK REMODEL
7033 W. OVERLOOK CT.
MEQUON, WI. 53092

ISSUE DESCRIPTION	DATE
QUARTER INCH APPROVAL	5.8.2024
ARCH. BOARD SUBMITTAL	5.20.2024

EXTERIOR ELEVATIONS

A4.2

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DEEP
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PARTNERS

240 N. Milwaukee Street
Suite #400
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(414) 276.8550
deep-river.com

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1 EAST ELEVATION
SCALE 1/4" = 1'-0"

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OVERLOOK REMODEL
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MEQUON, WI. 53092

ISSUE DESCRIPTION	DATE
QUARTER INCH APPROVAL	5.8.2024
ARCH. BOARD SUBMITTAL	5.20.2024

EXTERIOR ELEVATIONS

A4.3



240 N. Milwaukee Street
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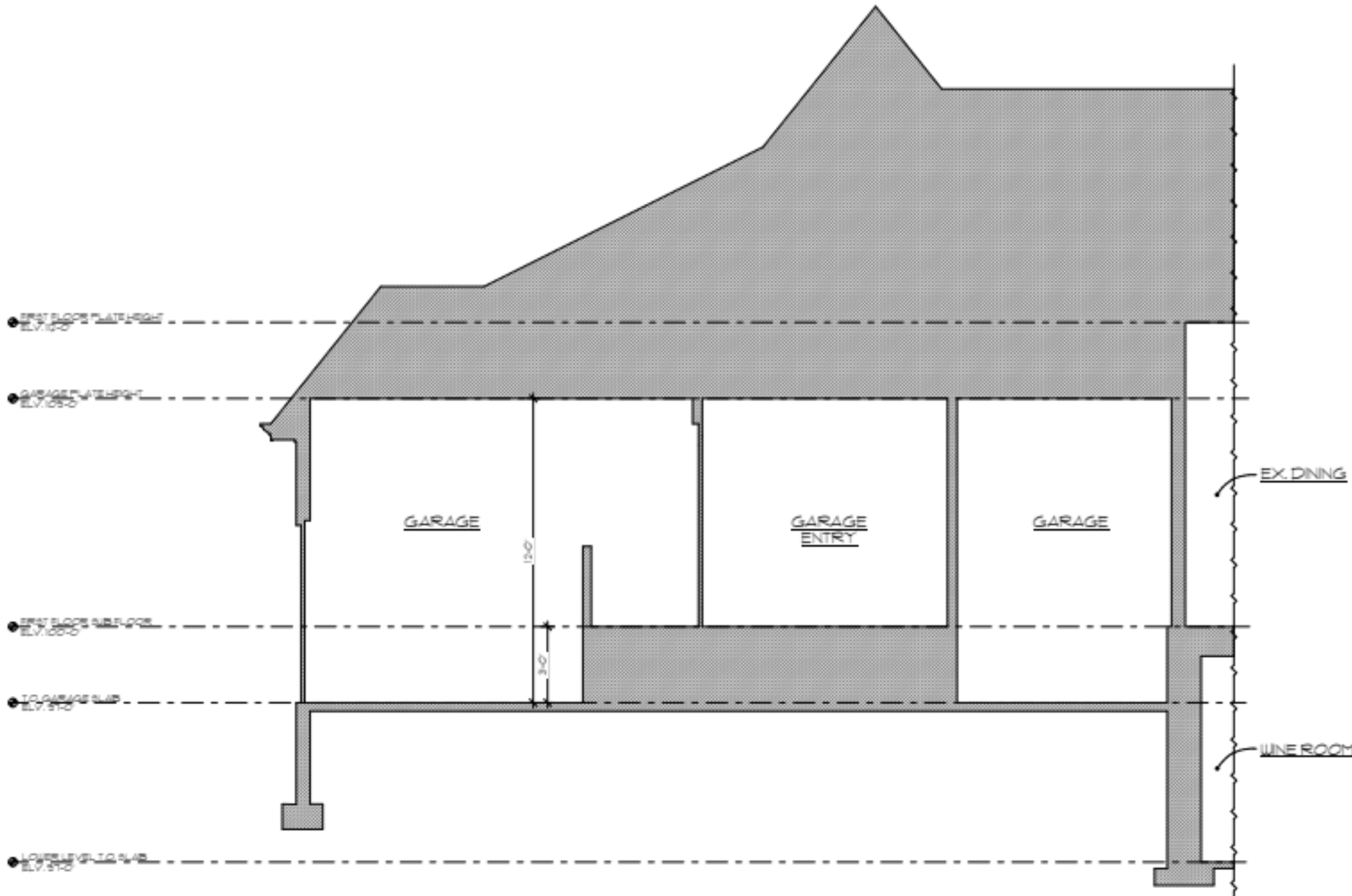
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MEQUON, WI. 53092

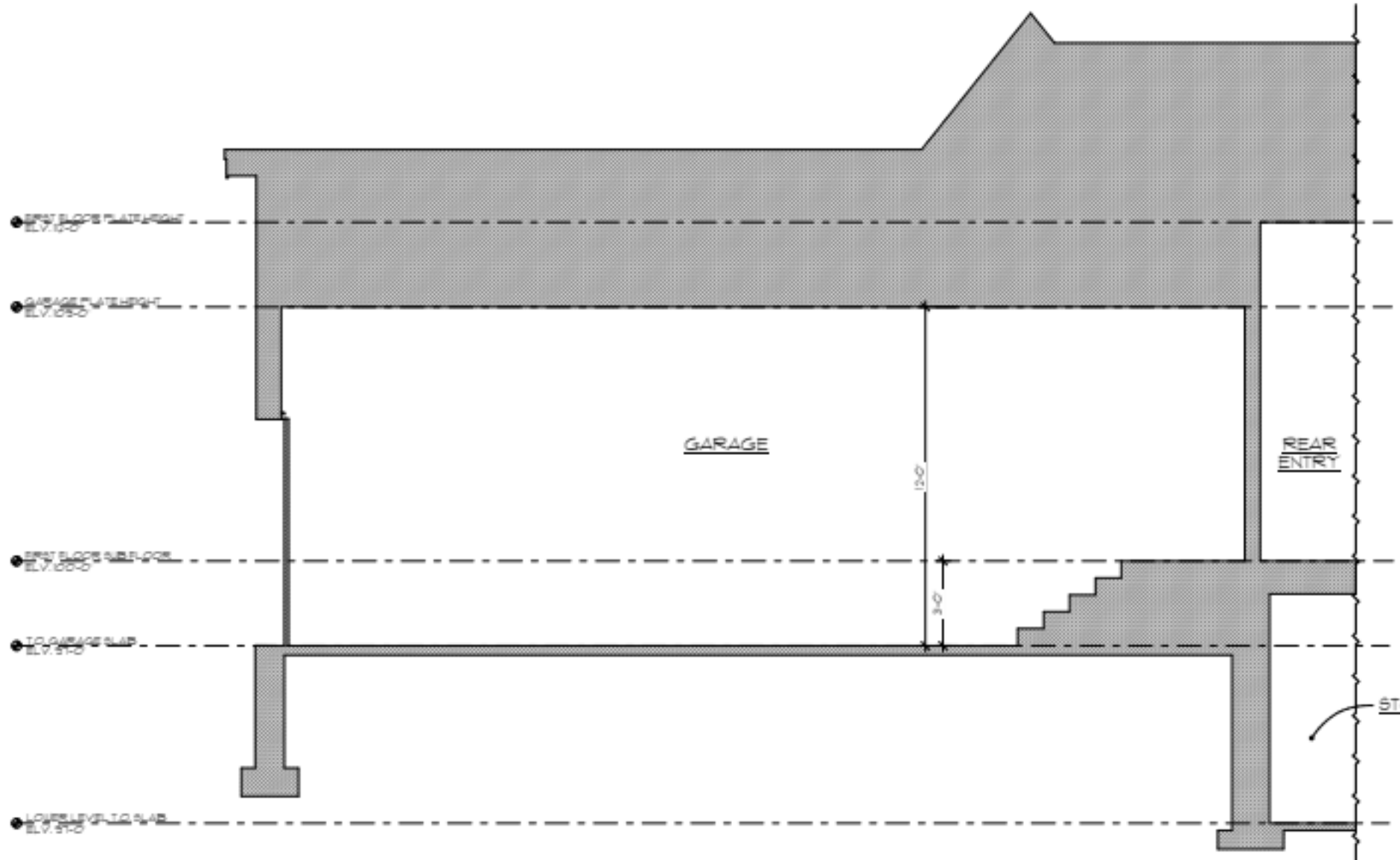
ISSUE DESCRIPTION	DATE
QUARTER INCH APPROVAL	5.8.2024
ARCH. BOARD SUBMITTAL	5.20.2024

BUILDING SECTIONS	
A5.0	

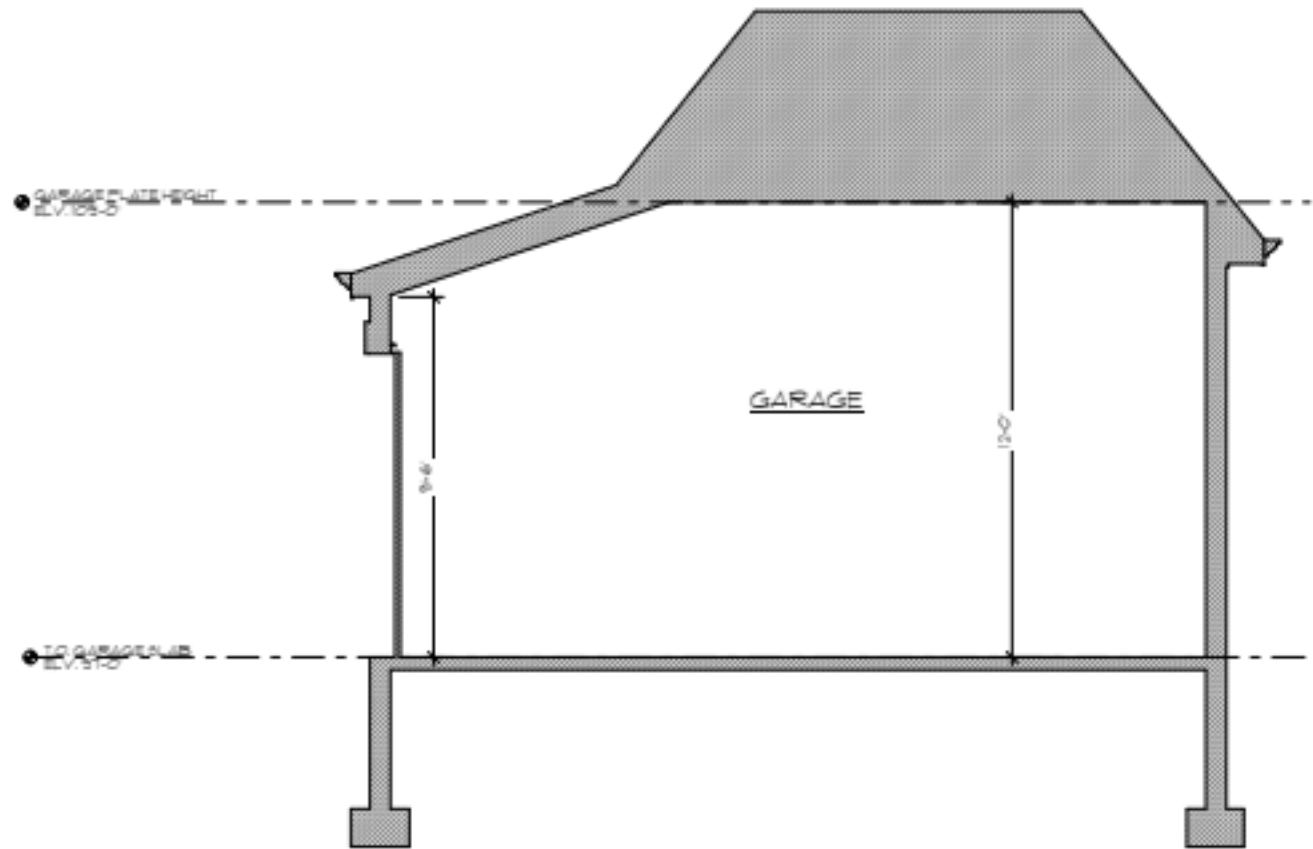
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1 BUILDING SECTION
SCALE 1/4" = 1'-0"



2 BUILDING SECTION
SCALE 1/4" = 1'-0"



3 BUILDING SECTION
SCALE 1/4" = 1'-0"