



11333 N. Cedarburg Road
Mequon, WI 53092-1930
Phone: 262/242-3100

www.cityofmequonwi.gov

BOARD OF APPEALS

Thursday, December 4, 2025 - 6:00 PM
Christine Nuernberg Hall

Agenda

- 1) **Call to Order and Roll Call**
- 2) **Approval of Meeting Minutes**
 - a) Meeting minutes from August 7, 2025
- 3) **Hear Evidence Concerning: Debate, Deliberate and Decide the Request of:**
 - a) **Applicant:** Robert Spector
Owners: Robert & Shaina Spector
Appeal: Opportunity will be given to all interested in being heard concerning the request by Robert Spector to appeal the decision by the Architectural Review Board to build a detached storage structure at 13068 N Fox Hollow Rd.
 - b) Staff Memo
- 4) **Adjourn**

DATED: December 4, 2025

/s/ Kathleen Massey, Chair

Notice is hereby given that a quorum of other governmental bodies may be present at this meeting to present, discuss and/or gather information about a subject over which they have decision-making responsibility, although they will not take formal action thereto at this meeting. Persons with disabilities requiring accommodation for attendance at this meeting should contact the City Clerk's Office at 262-236-2914, twenty-four (24) hours in advance of the meeting.

Any questions regarding this agenda may be directed to the City Clerk's Office at 262-236-2914, Monday through Friday, 8:00 AM – 4:30 PM.



11333 N. Cedarburg Road
Mequon, WI 53092
Phone: 262-236-2914
Fax: 262-242-9655

www.cityofmequonwi.gov

Office of the City Clerk

BOARD OF APPEALS
Thursday, August 7, 2025
6:00 PM
Tolzman Community Room
Frank L. Weyenberg Library
11345 N. Cedarburg Road

Minutes

1) Call to Order

Present:

- Vice Chair James Wawrzyn
- Board Member Steve Helfer
- Board Member Ramona Larson
- Board Member Scott Reigle
- Board Member Allison Korger
- Chair Kathleen Massey -- **Excused**

2) Approve meeting minutes of June 5, 2025

Motion to approve the meeting minutes of June 5, 2025

RESULT: **Approved [Unanimous]**

MOVED BY: Board Member Helfer

SECONDED BY: Vice Chair Wawrzyn

AYES: Wawrzyn, Helfer, Larson, Reigle, Korger

Vice-Chair Wawrzyn explained the guidelines for the Board of Appeals as well as the process for the meeting. All parties planning to appear before the Board of Appeals were sworn.

- Thomas Essman 11444 N. Buntrock Ave.
- Karen Davis 11452 N. Buntrock Ave.
- Daniela Solomon 11440 N. Buntrock Ave.
- Julia Garcia 3887 E. High St. Oak Creek, WI
- Chuck Gabert 10027 Camelot Dr., Mount Pleasant, WI
- Greg Golden 11333 N. Cedarburg Rd.

3) Hear evidence concerning; debate, deliberate and decide the request of:

- a) Applicant:** Thomas Essman
- b) Owners:** Thomas & Kaitlyn Essman
- c) Appeal:** Opportunity will be given to all interested in being heard concerning the request for variances to Mequon Code Sec 58-249 (side yard offset of 15 feet and 15% maximum lot coverage) to build an attached garage with second floor living space at 11444 N. Buntrock Ave.

Building Inspections Supervisor Greg Golden spoke on behalf of the City of Mequon. He explained that the applicant is requesting two separate variances: side yard offset of less than 15 feet and maximum coverage of 15%. The property owner is requesting an offset of 10 feet 4 inches and a maximum of 19.8% lot coverage.

The appellant cited three nearby properties he believes violate offset requirements. Supervisor Golden reviewed these properties and found that 11440 N Buntrock meets the offsets, 11430 N Buntrock was granted variance in 1947 when it was built, and 6408 N Division was granted a variance in 1985. Applicant believes the narrowness of the lot creates hardship; however, the City already allows for a reduced side yard offset to account for that lot size.

Staff recommends denial of the side yard variance due to lack of hardship. Another option would be for the applicant to reach an agreement with the homeowner of 11452 N Buntrock to reduce the offset of the adjoining property with a deed restriction.

In regards to the second variance related to the maximum lot size variance, Staff recommends granting the variance provided the applicant submits a revised application that complies with the offsets.

Mr. Essman began his testimony by stating that they have an older home and a growing family. The garage is in disrepair, and the proposed location would provide the best access into a new garage entrance due to the layout of the driveway.

Members of the public were invited to provide their comments. Karen Davis is a neighbor to the north of the Essmans, and she expressed her concerns that the addition would block natural sunlight. She has worked to improve the landscaping of her own yard and is opposed to the addition as she feels it will negatively affect her property.

Daniela Solomon said she is not opposed to a new structure, but she is concerned about the potential for added noise from the garage. She hopes the new space is just for parking their vehicles and not other loud activities.

Vice Chair Wawrzyn asked if there were any issues with the grading around the Essman property that would be a factor in their requested variance. Supervisor Golden said this property did not have any such issues. The City created offsets and setbacks long ago to provide boundaries and fire separation between buildings. They can also help prevent safety issues and promote green spaces. The maximum lot coverage was created to ensure houses have more of a suburban setting rather than an urban setting.

Board Member Helfer asked if the project was located to the south, could the Essmans make a turn into the garage from the driveway. Mr. Essman said they had to do a few drawings and tried to find the best option. It would have take a lot of maneuvering of a vehicle to get it into the garage from that angle. The Essmans also tried to decrease the side of the garage/addition but modern vehicles need more space to fit into a garage.

Vice Chair Wawrzyn asked if they did consider the options proposed by the City to reduce the overall size. The Essmans felt it was too challenging to go from a 26-foot-deep garage to a 19-foot. They had not discussed a deed restriction with their neighbor as they were pursuing this variance option first.

Chuck Gabert just wanted to note that the sun goes east to west; therefore, the proposed addition should not impact the lighting in the neighbor's yard.

Hearing no objection, Vice Chair Wawrzyn closed the public portion of the hearing. The Board discussed the need to vote on each requested variance separately. The first request is for a variance to the side yard offset of 15 feet.

Motion to deny the variance requested for a 10 foot 4 inch side yard offset.

RESULT: **Approved by Roll Call Vote [Unanimous]**
MOVED BY: Board Member Helfer
SECONDED BY: Vice Chair Wawrzyn

AYES: Wawrzyn, Helfer, Larson, Reigle, Korger

The second variance relates to the 20% maximum lot coverage percentage (or the percentage of a property covered by buildings and structures). City Staff would support granting the variance for maximum lot coverage provided the Essmans submit a revised application that complies with the required offsets.

Motion to grant the variance for maximum lot coverage.

RESULT: **Approved by Roll Call Vote [Unanimous]**
MOVED BY: Board Member Reigle
SECONDED BY: Board Member Korger

AYES: Wawrzyn, Helfer, Larson, Reigle, Korger

Hear evidence concerning; debate, deliberate and decide the request of:

- a) **Applicant:** Jim Schreiner
- b) **Owners:** Jim & Lauren Schreiner
- c) **Appeal:** Opportunity will be given to all interested in being heard concerning the petition by Jim and Lauren Schreiner for an administrative appeal of a building permit denial for a sunroom located at 2633 W. Lake Isle Dr.

The City of Mequon withdrew its objection of the Schreiner’s building permit. The next step will be for Schreiners to get scheduled and appear before the Architectural Review Board.

4) Adjourn

Motion to adjourn at 6:45 PM.

RESULT: **Approved by Roll Call Vote [Unanimous]**
MOVED BY: Board Member Helfer
SECONDED BY: Board Member Reigle

AYES: Wawrzyn, Helfer, Larson, Reigle, Korger

Respectfully Submitted,
Beth Kong
Deputy Clerk

BOARD OF APPEALS ADMINISTRATIVE APPEAL
APPLICATION

CITY OF MEQUON, WISCONSIN

Applicant: Robert Spector Address: 13068 N. Fox Hollow Road
City/zip: Mequon, 53097

Owner: Shaina & Robert Spector Address: _____
City/zip: Mequon, 53097

Contact Person/Name: Robert Spector

Phone Number: 414-331-4598 Email: rjspector@gmail.com

TO THE BOARD OF APPEALS:

The above hereby requests an appeal to a decision made by:

Architectural Review Board

(please list the City Department or Board/Commission/Committee whose decision you are appealing)

APPLICANT MUST PROVIDE:

Application form
\$250 filing fee

1 copy each of the following documents

1. Copy of denial letter if any, or a description of the denial
2. Letter explaining the reason for the appeal

| FOR OFFICE USE ONLY | |
|---|--------------------------------|
| Receiving Officer: <u>Caroline Fahn</u> | Received Date: <u>10/20/25</u> |
| Parcel #: _____ | Hearing Date: _____ |
| Zoning District: _____ | Receipt #: <u>004516-0136</u> |
| Alderman & District #: _____ | Published: _____ |

- c: Notice of scheduled hearing to DISTRICT ALDERPERSON, OWNER(S) OF RECORD as listed in the Office of the Assessor and all parcels in the City of Mequon as per state statute and City of Mequon Communication Policy.



11333 N. Cedarburg Road
Mequon, Wisconsin 53092
Phone: (262) 236-2924
Fax: (262) 242-9819

www.cityofmequonwi.gov

INSPECTION DIVISION

October 15, 2025

To Building Permit Applicant:

Enclosed please find the minutes from the recent Architectural Board meeting, noting the action taken on your application by the Architectural Board.

If your item was approved with or without conditions, please note that construction cannot start until a building permit has been issued. To start the building permit process, you must notify Karen Heil in the Inspections Department at 262-236-2924 or at kheil@cityofmequonwi.gov.

Architectural Board approval of your plan is only for the design and style, approval from the Zoning Department is required before a building permit can be issued. From the time of notification, please allow one to two weeks lead-time to process the permit application. Architectural Board approval is good for one year, so the permit must be requested within that time frame.

If your item was not approved, you may request to have it resubmitted to the Architectural Board at a subsequent meeting, with additional information, if appropriate. You also have the right to seek a review of the Architectural Board decision to the Board of Appeals. Appeals must be filed with the City Clerk within 7 days of the Architectural Board meeting. If you wish to appear before the Architectural Board again, or appeal their decision, contact Karen Heil.

Building Inspection Division

Enclosure



11333 N. Cedarburg Road
Mequon, Wisconsin 53092
Phone: (262) 236-2924
Fax: (262) 242-9818

www.cityofmequonwi.gov

INSPECTION DIVISION

ARCHITECTURAL BOARD MINUTES
Monday, October 13, 2025
6:00 PM
Lower-Level Conference Room

Minutes

1. Call to Order, Roll Call:

Present: Chairman Scott Reed

Members at Large: John Mikkelson, Michael Wade, Tom Irvin, Curtis Helm,
Anthony LaGalbo, Ann Scherzinger

Architectural Board Liaison: Greg Golden

2. Meeting Minutes

Minutes from September 8, 2025, meeting were approved by District Representative Tom Irvin and seconded by District Representative Anthony LaGalbo.

Minutes passed unanimously.

| | | | | |
|--|--------------------|------------------------|--|--|
| 4) | Dist. 1 6:20 pm | Detached Garage | Ryan Bialk 7575 W. Highland Ridge Drive Subd: Highland Ridge | Contractor: Owner Architect: Drexel |
| <p>Moved to Approve: <u>Irvin</u></p> <p>Seconded by: <u>Mikkelson</u></p> <p>Approved: <u>Yes</u></p> <p>Vote: <u>Unanimously</u></p> <p>Conditions: Plans approved as submitted.</p> | | | | |

| | | | | |
|--|--------------------|---|---|---|
| 5) | Dist. 1 6:30 pm | Resubmittal: Detached Garage with Living Space (Tabled at 9/8/25 Meeting) | Robert Spector 13068 N. Fox Hollow Road Subd: N/A | Contractor: John Sauermilch, Jr. Architect: Stauss Architect LLC |
| <p>Moved to Deny: <u>Reed</u></p> <p>Seconded by: <u>Helm</u></p> <p>Approved to Deny: <u>4: Reed, LaGalbo, Helm, Irvin</u></p> <p>Approved as is: <u>2: Wade, Mikkelson</u></p> <p>Abstained: <u>1: Scherzinger</u></p> <p>Vote to Deny: <u>4 / 2 / 1</u></p> <p>Conditions: Plans denied as submitted.</p> | | | | |

| | | | | |
|---|--------------------|--|---|---|
| 6) | Dist. 3 6:40 pm | New Single-Family Residence | Veridian Homes LLC 8175 W. Bluebird Court Subd: The Enclave | Contractor: Veridian Homes LLC Architect: Veridian Homes LLC |
| <p>Moved to Approve: <u>Reed</u></p> <p>Seconded by: <u>Irvin</u></p> <p>Approved: <u>Yes</u></p> <p>Vote: <u>Unanimously</u></p> <p>Conditions: Plans approved as submitted.</p> | | | | |

October 20th, 2025

The Spector Residence
13068 N. Fox Hollow Rd.
Mequon, WI

Dear City of Mequon Board of Appeals Members:

We are seeking to build a detached storage structure that can also be described as an outbuilding with garage and living/usable space with a second level loft. We reside on a 5.3 acre parcel in the very northwest corner of Mequon in which we built a new home in 2020 on a vacant lot that was previously utilized as a horse pasture. The placement of the structure will be closer to the street in comparison to the primary residence, and will also be placed over 50 feet away from the primary residence. The structure will be built with premium/high quality materials, including a high quality Board and Batten Cedar siding, a true 4-5" stone veneer base, aluminum clad windows, and a metal roof. The intent of the design concept is to reflect a barn-like aesthetic. Once built, it would look as if this structure was previously existing on the property, as the Cedar siding will gray out, age, and weather over time. We have dedicated many hours working closely with our Architect and Design Firm (Mountain Home Collective, a nationally recognized, critically-acclaimed firm located in Montana) to leave no stone unturned and to ensure that this design would result in a symbiotic, cohesive relationship among the primary residence, the structure, and the private, wooded property. The structure design, certainly, would conform to the beauty of the property, and quite frankly, would enhance the beauty of the property itself, as well as the surrounding area. On the note of the surrounding area, it's important that more context is provided to further substantiate the intent of this design concept.

13068 N. Fox Hollow Road is tucked away in the very northwest corner of Mequon. This unique pocket of the City is a rural, "farmy" part of Mequon. No matter which direction you were coming from, if you were to drive towards our residence, you would pass farms, barns, cornfields, cows, horses, and goats. Simply put, our residence is entrenched and surrounded by "farm-life". Furthermore, we do not reside in a "stereotypical" subdivision. Fox Hollow Road consists of 10 expansive, private, heavily wooded properties, that are all a minimum of 5 acres. Half of these properties have existing detached structures, 3 of which are completely mismatching from the primary residence. This includes our next-door neighbor's property to the north in which they have a large detached structure that mismatches their home. If we resided in a standard, "stereotypical" subdivision, in which perhaps the homes were side by side, and the neighborhood was more open and visible from property to property, it would without a doubt be unorthodox and abnormal to seek to build a barn-like structure in that environment. However, in an environment like Fox Hollow Road that was just described, building a barn-like structure would absolutely not be unorthodox and abnormal. In fact, it would make perfect sense, given the aforementioned description of the street and the geographic region of the City. It would not disrupt the harmony of the neighborhood — an individual operating with common sense, logic, and reason could very easily argue that this type of structure would actually further cultivate the

harmony of the neighborhood. Lastly, this structure, if built, would not be visible to any neighboring properties. As mentioned earlier, the location of the structure is closer to the street in comparison to the primary residence, and the structure will be nestled within a grove of trees. The only visibility to the public would be if you were to drive by (or walk by, although the only individuals walking on the street are those that reside on the street). We live halfway down a dead-end street, and so, needless to say, the traffic passing our property on a daily basis is very low.

We attended the September 9th, 2025 Architectural Board meeting in which they were initially going to table our project; however, the Board recommended in that meeting for us to pursue an Appeal, and thus, recommended that we move forward with the Appeal process. We came to find out shortly thereafter that our project was indeed tabled, as opposed to denied, despite the explicit recommendation of the Board during that meeting. As a result, in order to obtain eligibility for the Appeal process, we needed to resubmit our original plans so that we could attend the October 13th, 2025 Arc Board meeting. Needless to say, our project was denied in the October meeting due to the project "not meeting the guidelines". The Arc Board insists that the exterior design of any detached structure must exactly match that of the primary residence; however, the guidelines do not exactly state this stipulation (we feel the guidelines are largely up to interpretation). We also feel the guidelines are too restrictive in nature and are not drafted to take into account unique circumstances like this particular scenario. Our belief around this was described in the second paragraph of this letter comparing a stereotypical subdivision to the area in which Fox Hollow Road is located. Moreover, despite the project being denied in the October meeting, there were two Board Members that voted Yes to approve the project. The members who approved were Michael Wade and John Mikkelson, both of which happen to be architects/designers/builders. They understood the concept behind the project. This is extremely noteworthy as it exhibits that this project is approve-able — it's able to be approved, perhaps under the right set of circumstances — circumstances that have been described in-depth in this letter. On that note, taking it a step further, during the October meeting, the entire Board explicitly articulated that they felt the design of the structure was aesthetically-pleasing and that it is a high-quality build. The Board explicitly articulated that they would approve the project on Appeal, and that we could relay this message to the Board of Appeals. It goes noted that we have audio recording of the Arch Board stating this.

The purpose of this letter is to provide you with the necessary context and history of our project in order to allow you to make a decision that is founded on reason and logic. We are kindly requesting that you take this information into consideration, and that you kindly grant approval for an Appeal.

Best regards,



Robert & Shaina Spector

Cc: Don Stauss, Stauss Architect

Cc: Mountain Home Collective, Bozeman, MT

Cc: Tyler Kober, John Sauermilch, Jr. - General Contractor



*Spector Residence
Statement of Intent
15.Aug.2025*

We are proposing a detached storage structure. Within the structure we are looking to have additional storage for cars, an exercise room, an office/living space and a bathroom. The intent is to tuck the structure into the woods using natural materials to blend into the landscape. Constructing the structure near the road retains a large natural open space to the east.

Sincerely;

A handwritten signature in black ink that reads "Donal M Stauss". The signature is written in a cursive, flowing style.

Don Stauss

THE
SPECTOR
RESIDENCE

13068 N. FOX HOLLOW RD., MEQUON, WI 53097



Fox Hollow Road – Facing South to Highland Road from End of Property Driveway



Fox Hollow Road – Facing North to Dead End
from End of Property Driveway



Facing West - End of Property
Driveway



Proposed Structure
Location

Facing West - View Across Property,
Towards Back of Proposed Structure



Proposed Structure
Location

Facing West - View from Property,
Towards Back of Proposed Structure



Proposed Structure
Location

Facing South – Back of Proposed
Structure (shown by survey markers)

**Proposed Structure
Location**



Facing East - Proposed
Placement of Structure



Proposed Structure Location

South View from Current
Home to back of Proposed
Structure



**Proposed Structure
Location**

Facing West – From Backyard
to Back of Proposed
Structure



Facing East from Proposed
Structure to Backyard



Facing South from Proposed
Structure Page 24 of 54



Facing North from Proposed
Structure Page 25 of 54



West Facing – from Current
Garage Page 26 of 54



Next Door Neighbors
Detached Structure (gray)

Birdseye View of Next-Door
Neighbors Property – Showing
Mismatched Home
(brown)/Detached Structure (gray)





Next Door Neighbors Detached Structure (gray) – Mismatched with Home (brown)



Neighbors Detached Structure (tan siding/red roof) w/
Home (white oak wood siding/black roof)

**Architectural Board
Review Set**

This note is to prevent contractors from building from design drawings.
This note will be removed prior to state or building permit submittal.

Owner
Robert Spector
13068 N. Fox Hollow Rd.
Mequon, WI 53097
1.414.331.4598

Architect
Stauss Architect LLC
8215 W. Donges Bay Rd.
Mequon, WI 53097
1.262.238.8888



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THE SPECTOR RESIDENCE
 13068 N. FOX HOLLOW RD., MEQUON, WI 53097

Achitectural Board Review Set 12.August.2025

Date: 12.Aug.2025

Sheet Title:
Table of Contents

A1.0

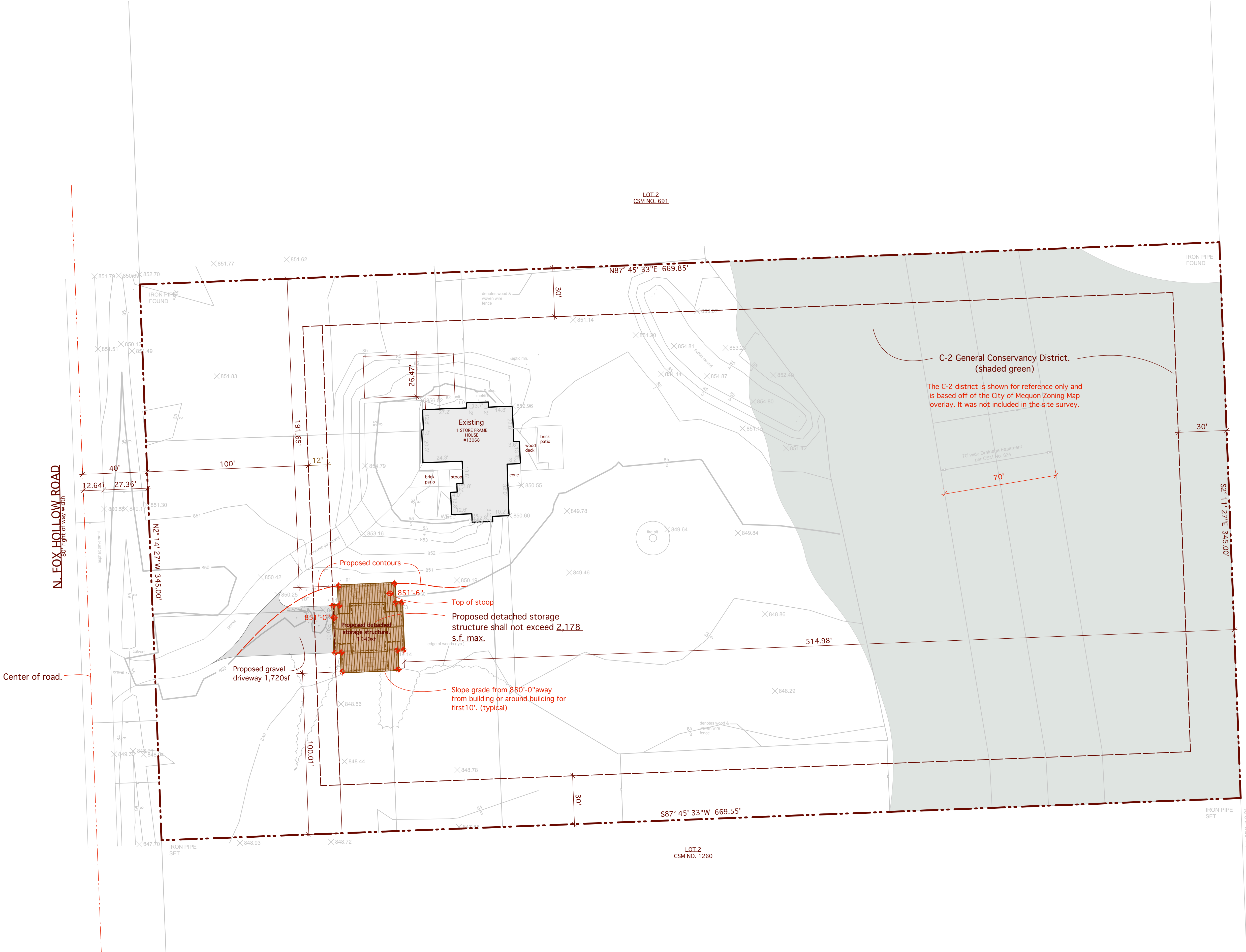
Architectural Board Review Set

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This note will be removed prior to state or building permit submittal.

Owner
Robert Spector
13068 N. Fox Hollow Rd.
Mequon, WI 53097
1.414.231.4598

Architect
Stauss Architect LLC
8215 W. Donges Bay Rd.
Mequon, WI 53097
1.262.238.8888

LOT 2
CSM NO. 691



ZONING REQUIREMENTS - RESIDENTIAL:
ZONING:
R-1/C-2

SETBACKS
General: 30'
Building: 50'
Local Street: 100'

MAXIMUM BUILDING HEIGHT:
Dwelling: 42'
Accessory Structure: 15' (or 25', see code below)

Sec. 58-418. Height regulations. (d) Increase permitted. The maximum height of any structure may be increased up to ten feet if offset and setbacks are increased by 1'-0" for each additional foot of structural height exceeding the standard district requirement.

LOT COVERAGE:
Max. Lot Coverage %: 5%
Lot Area: 231,046 s.f.
Allowable lot coverage: 11,552 s.f.
Existing primary structure lot coverage: 3,087 s.f.
Remaining available lot coverage: **8,465 s.f.**

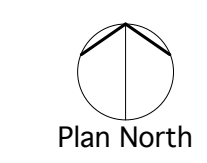
BUILDING INSPECTOR:
Name: Greg Golden
Ph: 262.236.2921
E-mail: ggolden@ci.mequon.wi.us

1 Site Plan
A1.1 1"=30' Note: Not to scale if drawing is printed on 11"x17" paper

THE SPECTOR RESIDENCE
13068 N. FOX HOLLOW RD., MEQUON, WI 53097

Date: 12.Aug.2025

Sheet Title:
Site Plan

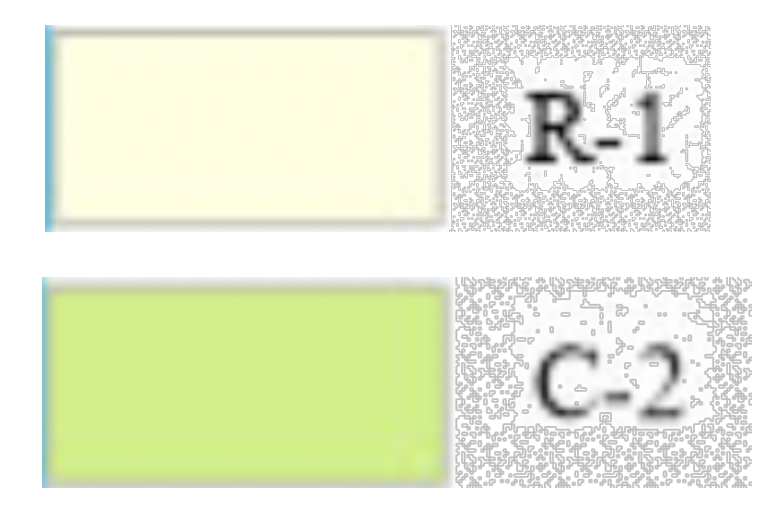
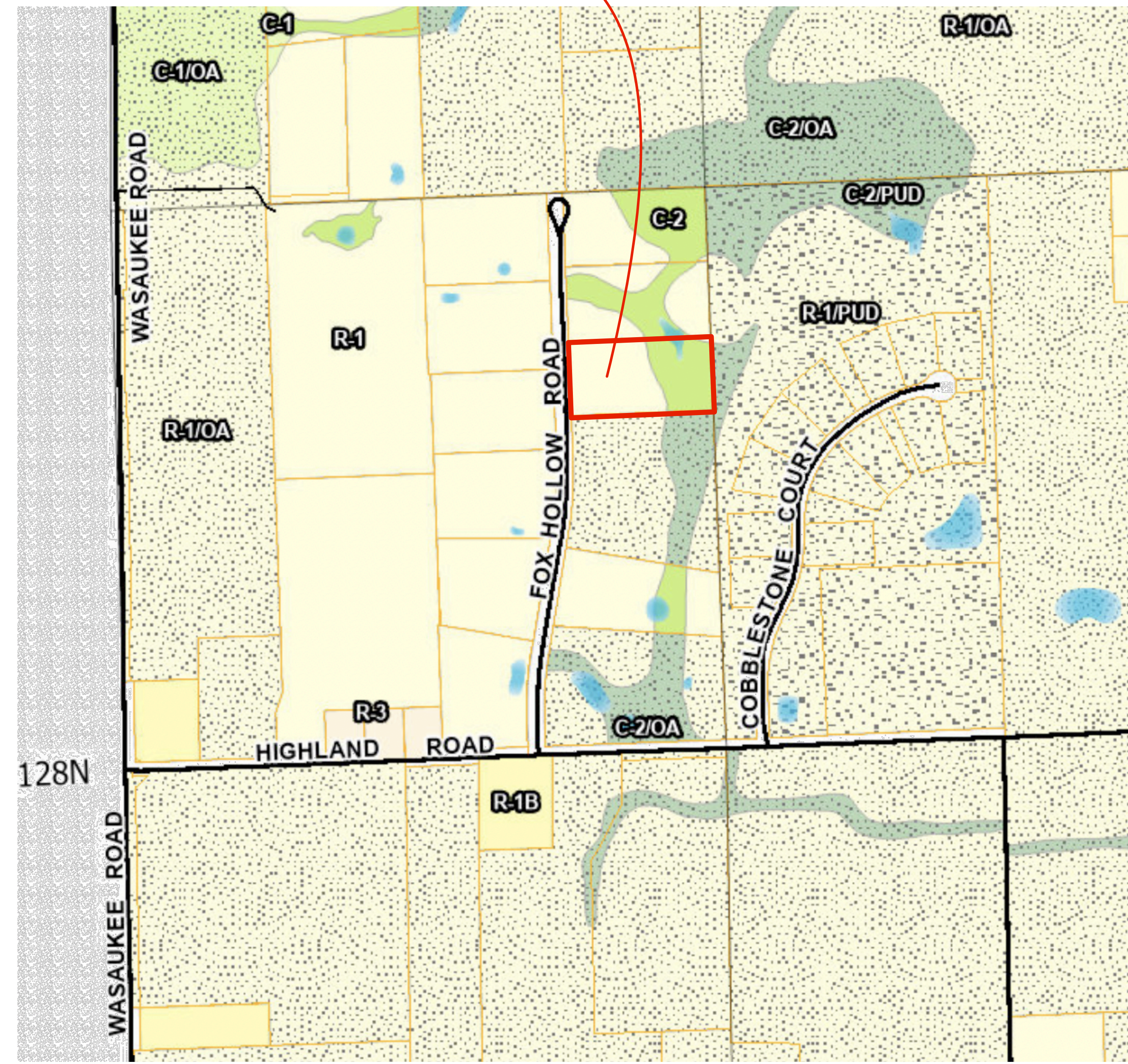


A1.1

Owner
 Robert Spector
 13068 N. Fox Hollow Rd.
 Mequon, WI 53097
 1.414.331.4598

Architect
 Staus Architecture LLC
 8215 W. Donges Bay Rd.
 Mequon, WI 53097
 1.262.238.8888

Project Site
 13068 N. Fox Hollow Rd

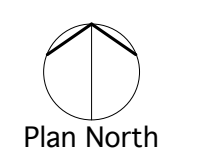


1 Zoning Map
 A1.2 Note: Not to scale.

THE SPECTOR RESIDENCE
 13068 N. FOX HOLLOW RD., MEQUON, WI 53097

Date: 12.Aug.2025

Sheet Title:
Zoning Map



A1.2

**Architectural Board
Review Set**

*This note is to prevent contractors from building from design drawings.
This note will be removed prior to state or building permit submittal.*

Owner
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13068 N. Fox Hollow Rd.
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8215 W. Donges Bay Rd.
Mequon, WI 53097
1.262.238.8888



1 Existing House - West Elevation
A1.3



2 Existing House - South Elevation
A1.3



3 Existing House - East Elevation
A1.3



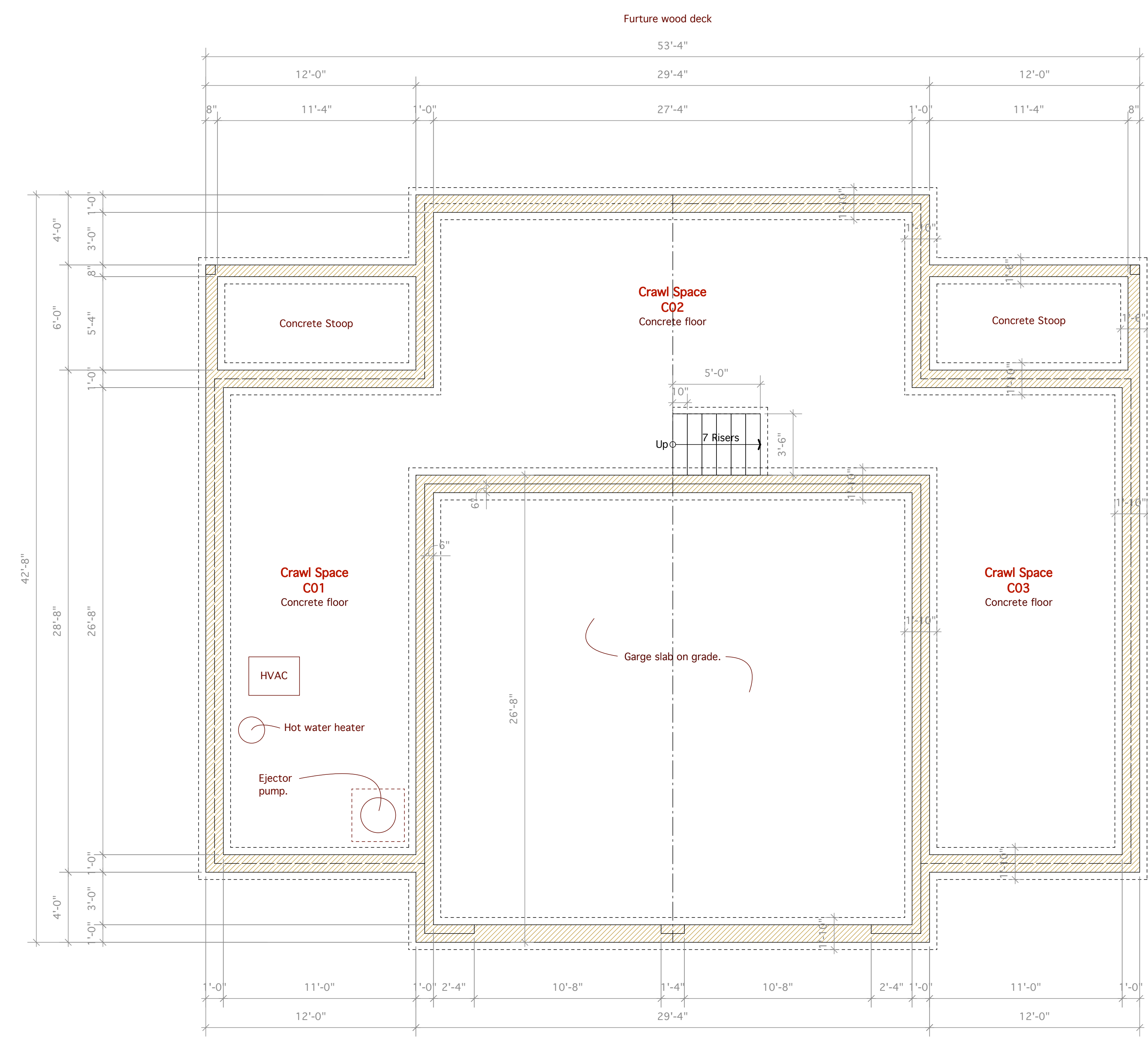
4 Existing House - North Elevation
A1.3

THE SPECTOR RESIDENCE
13068 N. FOX HOLLOW RD., MEQUON, WI 53097

Date: 12.Aug.2025

Sheet Title:
Photo Page

A1.3



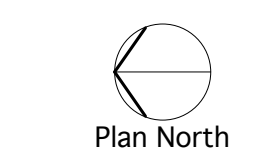
Concrete continuous footing:
 The minimum width of the footing on each side of the foundation wall shall measure at least 4 inches wider than the wall. The footing depth shall be at least 8 inches nominal. Footing placed in unstable soil shall be formed. Lintels may be used in place of continuous footings when there is a change in footing elevation. Per SPS 321.15 (2) (a). (typical)

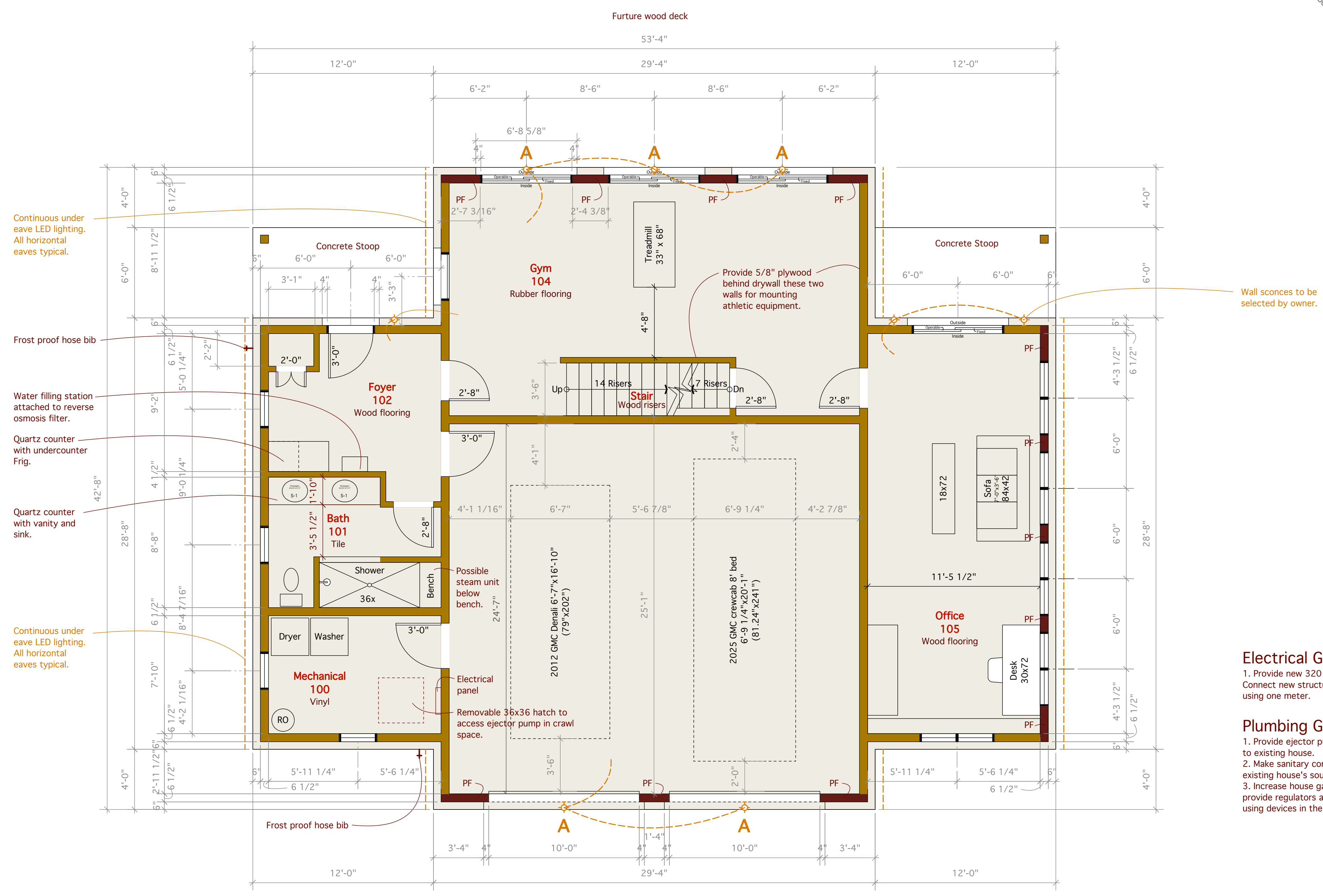
Utilities:
 1. All utilities to be connected to house.
 Discuss options with owner.

1 Foundation Plan
 A2.0 1/4"=1'-0" Note: Not to scale if drawing is printed on 11"x17" paper

- Electrical Symbol Key**
- 4⊕ Quad wall outlet right duplex switched.
 - 4⊕ Quad wall outlet
 - ⊕ Duplex wall outlet
 - ⊕ Duplex wall outlet top outlet switched
 - ⊕ Wall switch
 - ⊕ Surface mounted ceiling light fixture
 - ⊕ Wall mounted light fixture
 - ⊕ Recessed ceiling light fixture
 - ⊕ Recessed ceiling light fixture - directional
 - PO⊕ Porcelain Socket with outlet
 - POP Telephone
 - POP⊕ Porcelain Socket with outlet and pull string
 - ⊕ Surface mounted low voltage
 - ⊕ Recessed Fan
 - ⊕ Ceiling Fan (Use appropriate J-box)

- Wall Legend**
- Existing walls and cabinets to be removed.
 - Existing walls.
 - Proposed walls.
 - PF Portal Frame (see sheet A2.3)
 - Existing masonry walls.
 - Proposed masonry walls.
 - Proposed Concrete walls.



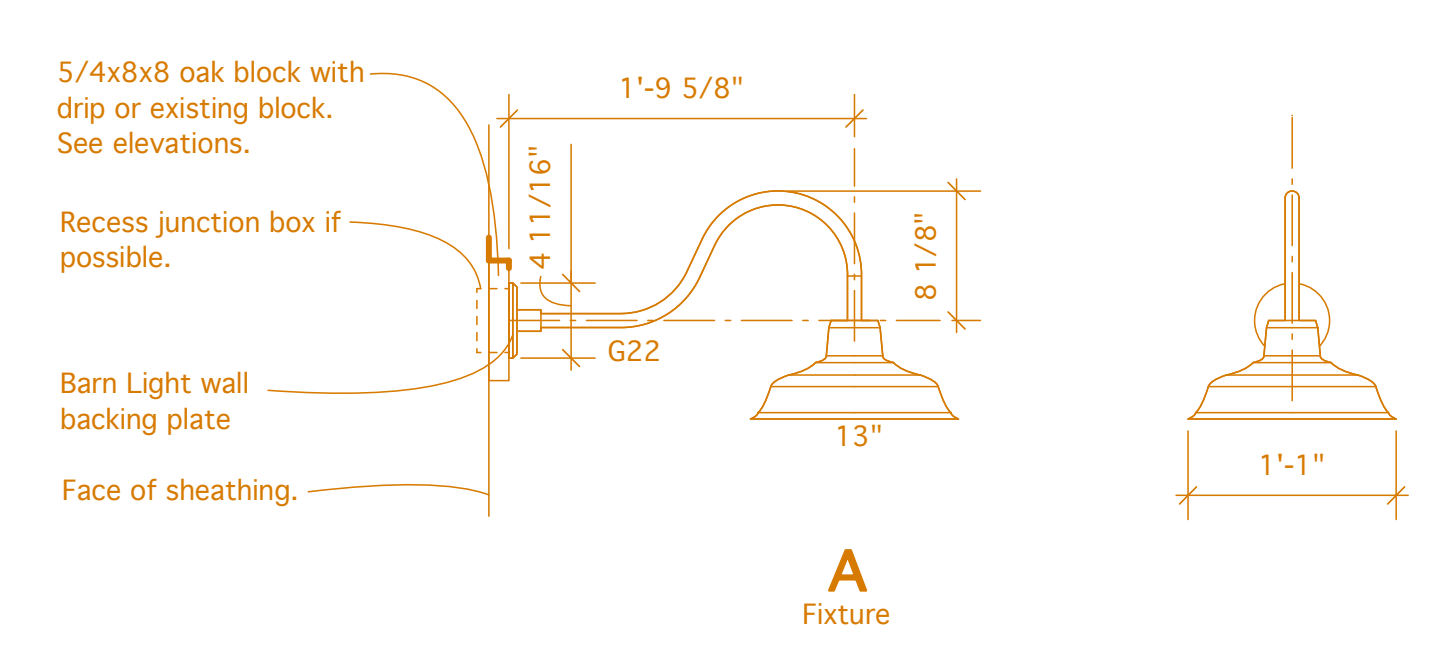


Electrical General notes:
1. Provide new 320 amp electrical service. Connect new structure to existing as required using one meter.

Plumbing General notes:
1. Provide ejector pump to pump sanitary line to existing house.
2. Make sanitary connection below grade at existing house's south elevation as required.
3. Increase house gas pressure to 2lbs and provide regulators as required to existing gas using devices in the house.

1, 940sf Proposed storage structure
Detached storage structure shall not exceed 2,178 s.f. max.

1 First Floor Plan
A2.1 1/4"=1'-0" Note: Not to scale if drawing is printed on 11"x17" paper



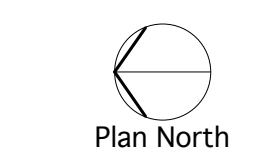
Barn Light Electric Company
Barnlight.com
Style: Bomber Gooseneck Light
Light source: Incandescent
Shade size: 13"
Shade finish: Black
Gooseneck arm: G22
Gooseneck arm finish: Same as shade
Swivel knuckle: None
Shade accessory: None
Mounting accessory: None
Socket type: Standard Incandescent
Lamp: Exterior rated LED 3500K
100W+ equivalent

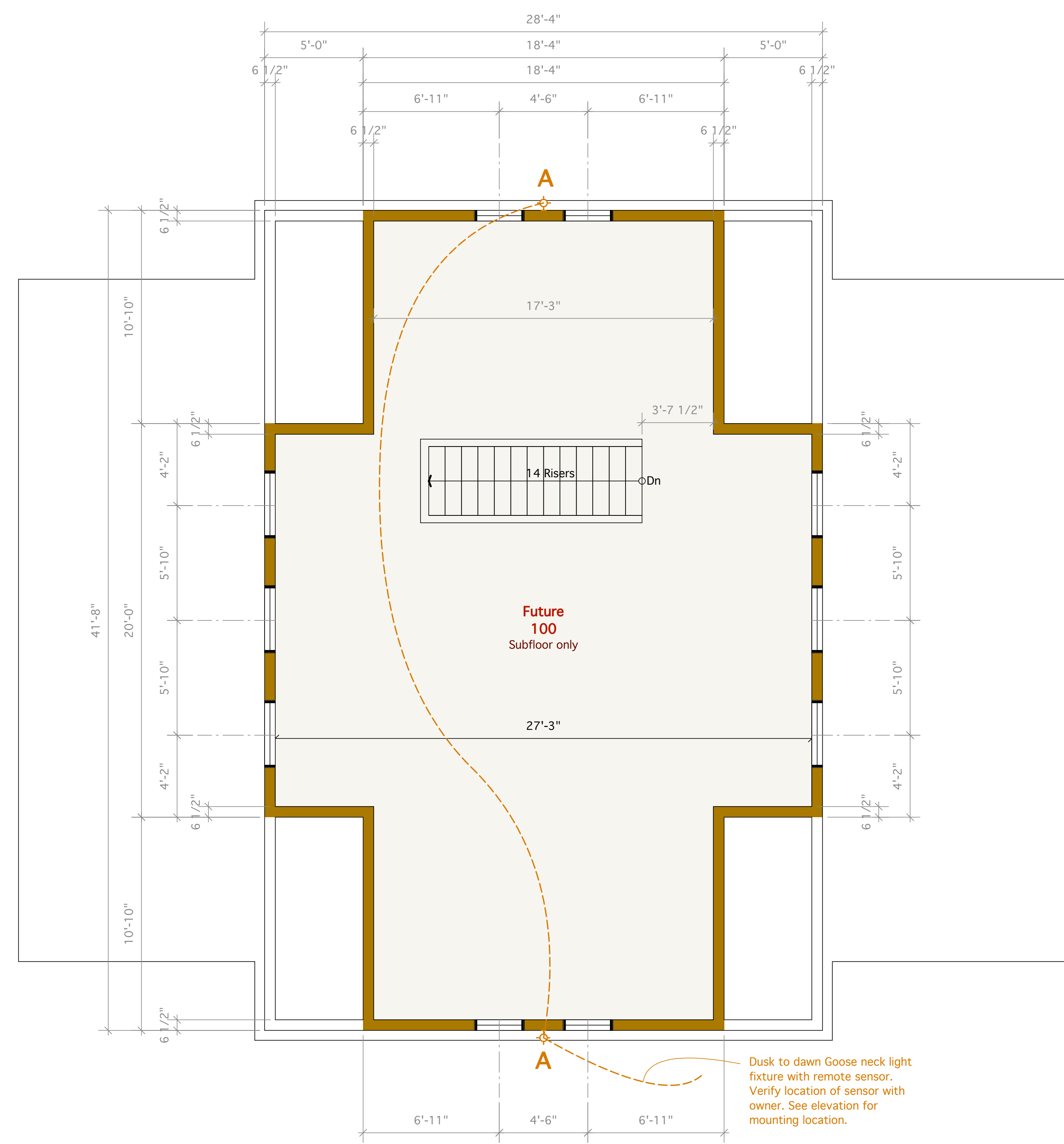
Electrical Symbol Key

- 4⊕ Quad wall outlet right duplex switched.
- 4⊕ Quad wall outlet
- ⊕ Duplex wall outlet
- ⊕ Duplex wall outlet top outlet switched
- ⊕ Wall switch
- ⊕ Surface mounted ceiling light fixture
- ⊕ Wall mounted light fixture
- ⊕ Recessed ceiling light fixture
- ⊕ Recessed ceiling light fixture - directional
- PO-⊕ Porcelain Socket with outlet
- POP-⊕ Porcelain Socket with outlet and pull string
- ⊕ Surface mounted low voltage
- ⊕ Recessed Fan
- ⊕ Ceiling Fan (Use appropriate J-box)

Wall Legend

- Existing walls and cabinets to be removed.
- - - Existing walls.
- ▬ Proposed walls.
- ▬ PF Portal Frame (see sheet A2.3)
- ▬ Existing masonry walls.
- ▬ Proposed masonry walls.
- ▬ Proposed Concrete walls.



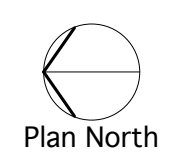


890sf Proposed second floor

1 First Floor Plan
 A2.1 1/4"=1'-0" Note: Not to scale if drawing is printed on 11"x17" paper

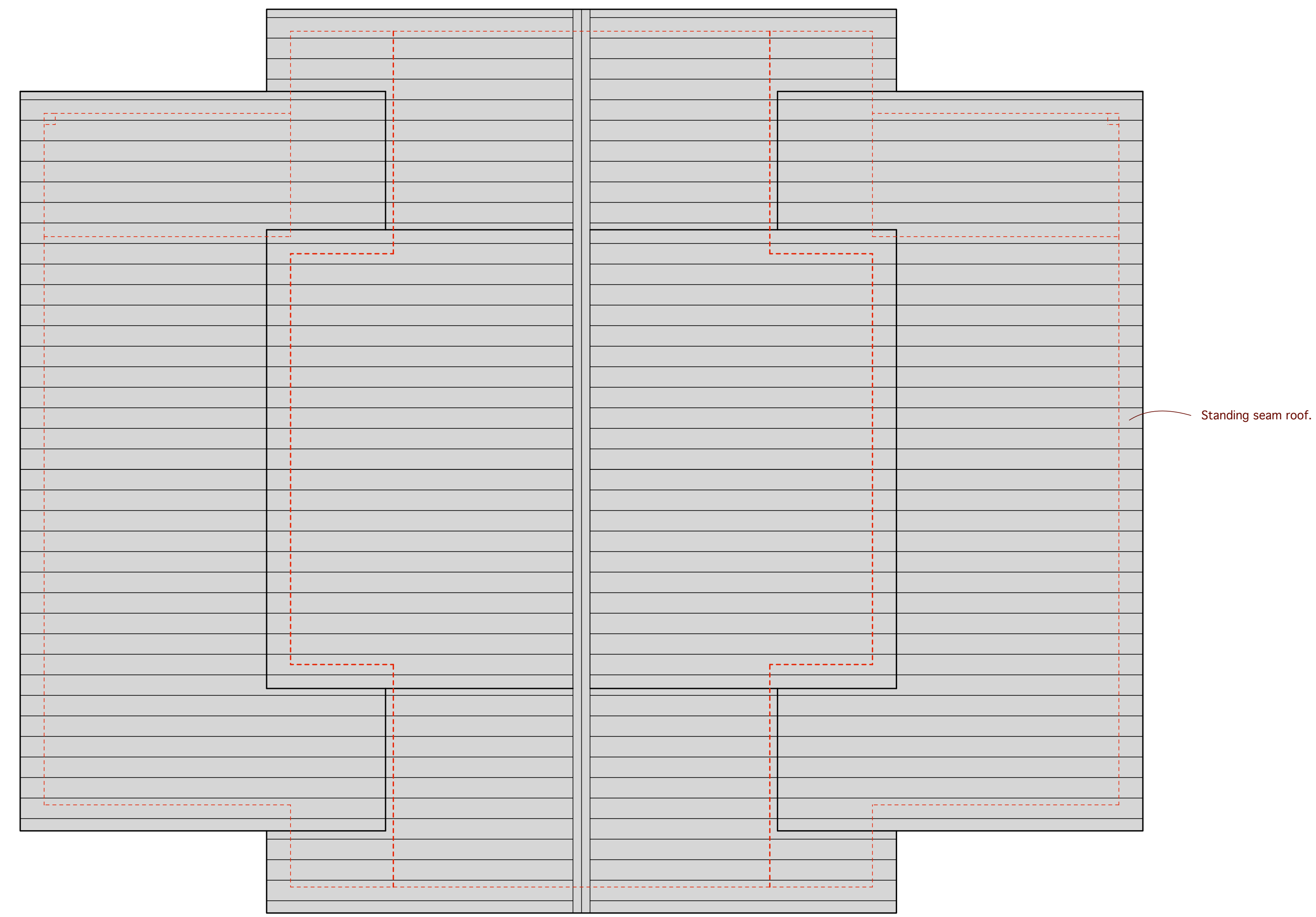
- Electrical Symbol Key**
- 4⊕ Quad wall outlet right duplex switched.
 - 4⊕ Quad wall outlet
 - ⊕ Duplex wall outlet
 - ⊕ Duplex wall outlet top outlet switched
 - ⚡ Wall switch
 - ⊕ Surface mounted ceiling light fixture
 - ⊕ Wall mounted light fixture
 - ⊕ Recessed ceiling light fixture
 - ⊕ Recessed ceiling light fixture - directional
 - PO⊕ Porcelain Socket with outlet
 - ☎ Telephone
 - POP⊕ Porcelain Socket with outlet and pull string
 - ⊕ Surface mounted low voltage
 - ⊕ Recessed Fan
 - ⊕ Ceiling Fan (Use appropriate J-box)

- Wall Legend**
- Existing walls and cabinets to be removed.
 - Existing walls.
 - Proposed walls.
 - Existing masonry walls.
 - Proposed masonry walls.
 - ▨ Proposed Concrete walls.



Owner
Robert Spector
13068 N. Fox Hollow Rd.
Mequon, WI 53097
1.414.331.4598

Architect
Stauss Architect LLC
8215 W. Donges Bay Rd.
Mequon, WI 53097
1.262.238.8888

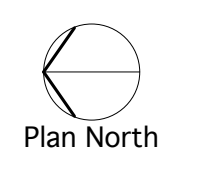


1 Roof Plan
A2.3 1/4"=1'-0" Note: Not to scale if drawing is printed on 11"x17" paper

THE SPECTOR RESIDENCE
13068 N. FOX HOLLOW RD., MEQUON, WI 53097

Date: 12.Aug.2025

Sheet Title:
Roof Plan



A2.3

Architectural Board Review Set
 This note is to prevent contractors from building from design drawings. This note will be removed prior to state or building permits submittal.

General Exterior Finish Notes:

1. finishes noted (typical) apply to all elevations.

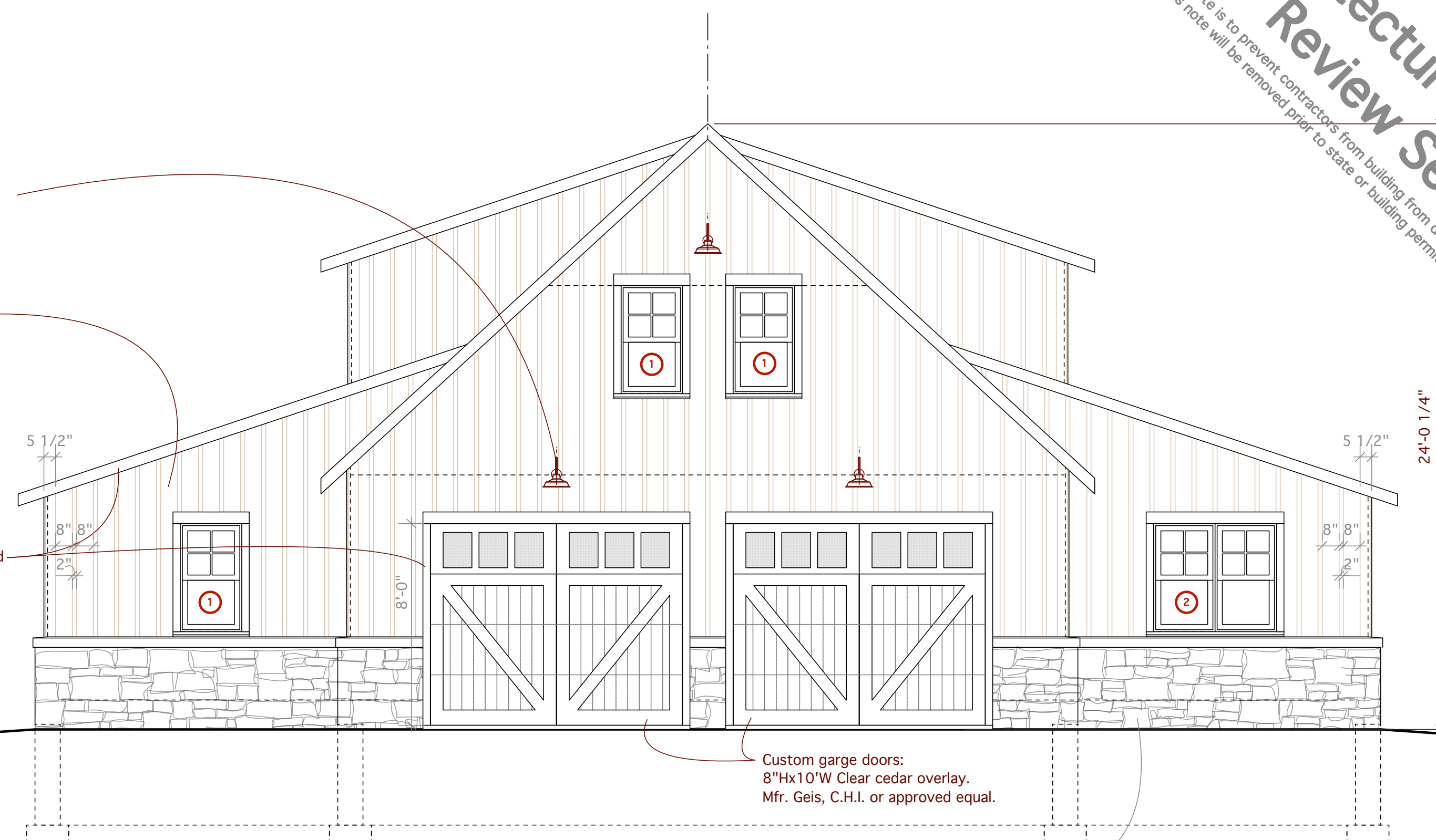
Standing seam roof with matching ridge and fascias.
 Pans: 12"
 Color: prefinished black.
 (typical)

See first floor plan sheet 2.1 for gooseneck and shade finishes.
 (typical)

Board and batten:
 3/4 x 9.25" board
 3/4 x 2" batten
 Rough sawn patio grade red cedar with tight knots. Left to weather naturally.
 (typical)

Window and door trims and corner boards:
 4/4 x 5.5" heads
 3/4 x 2" casings
 3/4 x 5.5" corner boards
 3/4 x fascias
 Rough sawn patio grade red cedar with tight knots. Left to weather naturally.
 (typical)

See window specifications on sheet for 8.1 for window and door finishes.
 (typical)



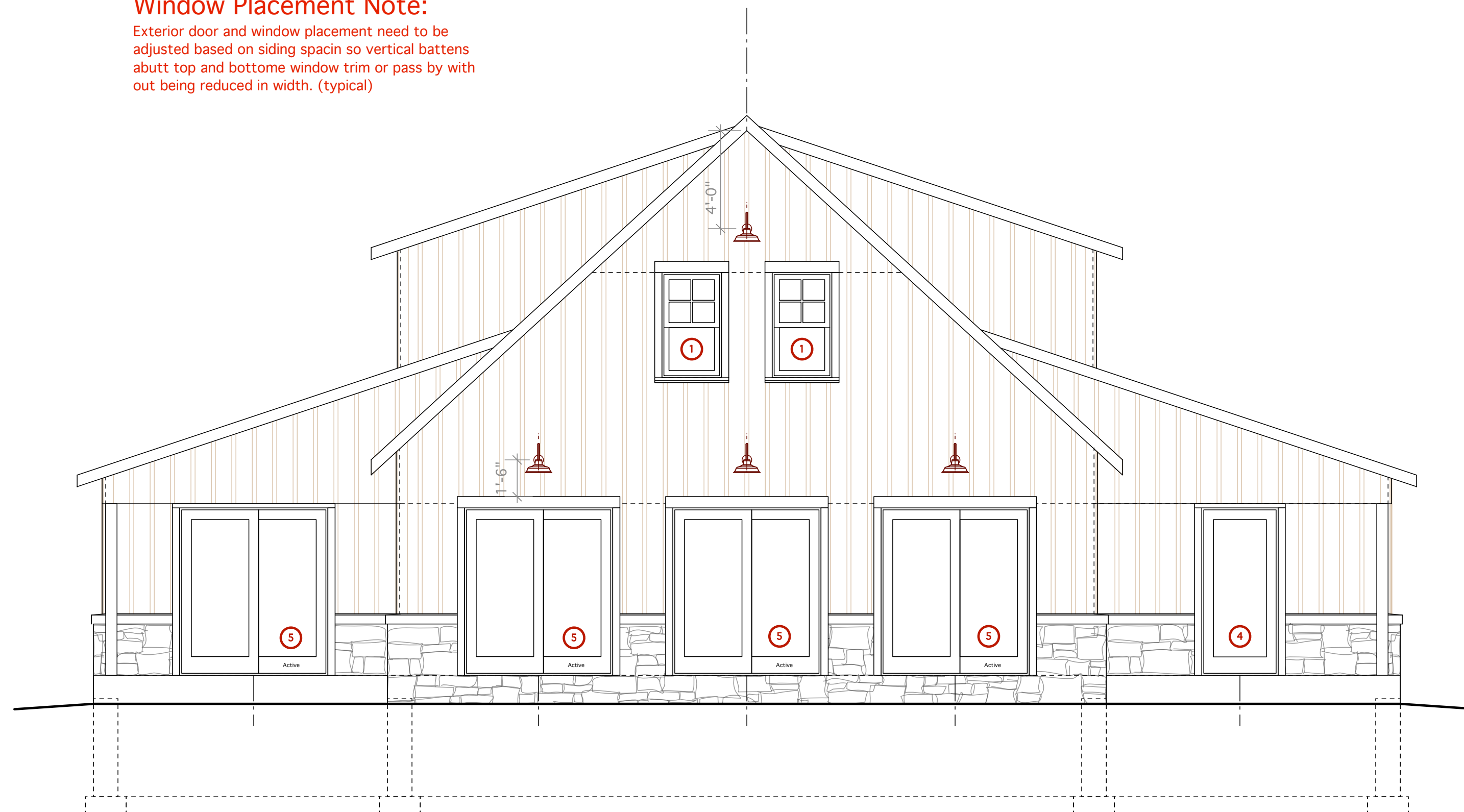
2 West Elevation
 A3.1 1/4"=1'-0" Note: Scale is 1/8"=1'-0" if drawing is printed on 11"x17" paper

Montana Rockworks Inc.
<http://montanarockworks.com>
 Color: McGregor Lake
 Ledge 3-5"

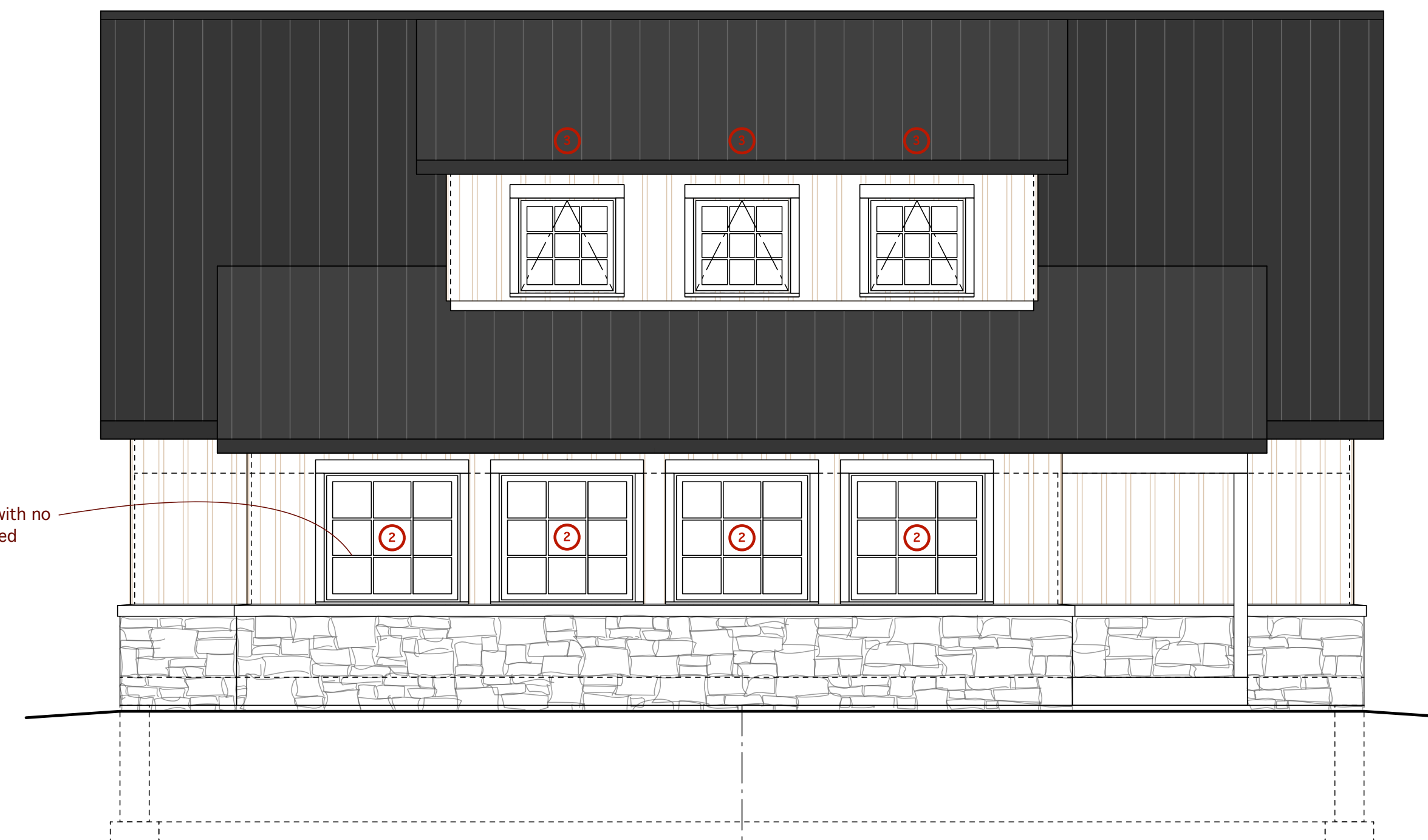


1 North Elevation
 A3.1 1/4"=1'-0" Note: Scale is 1/8"=1'-0" if drawing is printed on 11"x17" paper

Window Placement Note:
 Exterior door and window placement need to be adjusted based on siding spacings so vertical battens abut top and bottom window trim or pass by with out being reduced in width. (typical)



3 East Elevation
 A3.1 1/4"=1'-0" Note: Scale is 1/8"=1'-0" if drawing is printed on 11"x17" paper



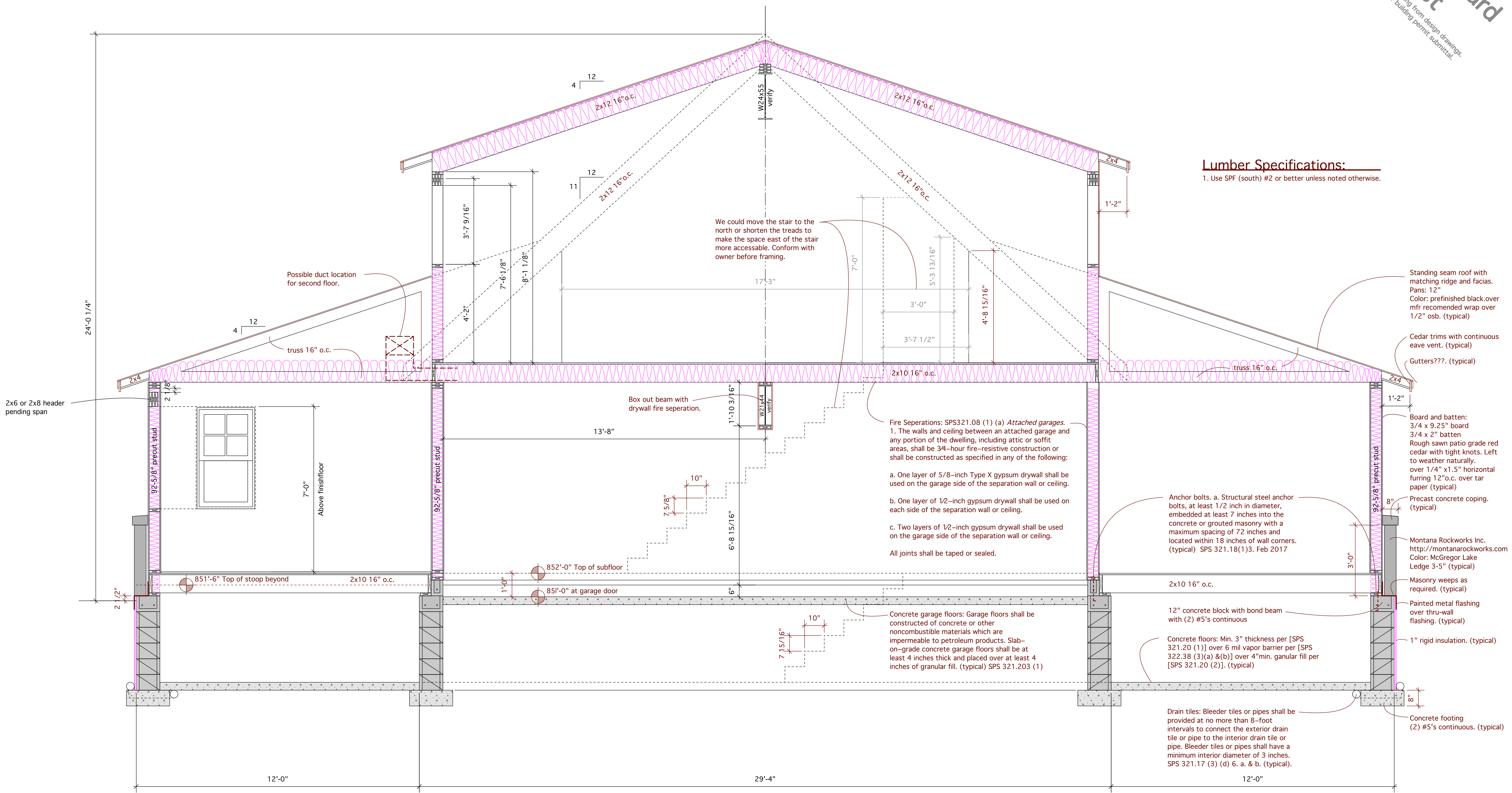
4 South Elevation
 A3.1 1/4"=1'-0" Note: Scale is 1/8"=1'-0" if drawing is printed on 11"x17" paper

Important Roof Sheathing Note:
 Provide 1/8" gap between sheets of plywood that are nailed side-by-side over a shared top chord of a roof truss or a rafter. If this requirement is ignored and the sheathing is butted tight, the wood has nowhere to go when the moisture makes it swell, except to curl up along the shared seam.

Architectural Board
Review Set
 This note is to prevent contractors from building from design drawings. This note will be removed prior to state or building permit submittal.

Owner
 Robert Spector
 13068 N. Fox Hollow Rd.
 Mequon, WI 53097
 1.414.331.4598

Architect
 Stauss Architect LLC
 8215 W. Donges Bay Rd.
 Mequon, WI 53097
 1.262.238.8888



Lumber Specifications:
 1. Use SPF (south) #2 or better unless noted otherwise.

Fire Separations: SPS321.08 (1) (a) Attached garages.
 1. The walls and ceiling between an attached garage and any portion of the dwelling, including attic or soffit areas, shall be 34-hour fire-resistive construction or shall be constructed as specified in any of the following:

- One layer of 5/8-inch Type X gypsum drywall shall be used on the garage side of the separation wall or ceiling.
- One layer of 1/2-inch gypsum drywall shall be used on each side of the separation wall or ceiling.
- Two layers of 1/2-inch gypsum drywall shall be used on the garage side of the separation wall or ceiling.

All joints shall be taped or sealed.

Concrete garage floors: Garage floors shall be constructed of concrete or other noncombustible materials which are impermeable to petroleum products. Slab-on-grade concrete garage floors shall be at least 4 inches thick and placed over at least 4 inches of granular fill. (typical) SPS 321.203 (1)

Concrete floors: Min. 3" thickness per [SPS 321.20 (1)] over 6 mil vapor barrier per [SPS 322.38 (3)(a) & (b)] over 4" min. granular fill per [SPS 321.20 (2)]. (typical)

Drain tiles: Bleeder tiles or pipes shall be provided at no more than 8-foot intervals to connect the exterior drain tile or pipe to the interior drain tile or pipe. Bleeder tiles or pipes shall have a minimum interior diameter of 3 inches. SPS 321.17 (3) (d) 6. a. & b. (typical).

Standing seam roof with matching ridge and fascias.
 Pans: 12"
 Color: prefinished black over mfr recommended wrap over 1/2" osb. (typical)

Cedar trims with continuous eave vent. (typical)
 Gutters???. (typical)

Board and batten:
 3/4 x 9.25" board
 3/4 x 2" batten
 Rough sawn patio grade red cedar with tight knots. Left to weather naturally, over 1/4" x 1.5" horizontal furring 12" o.c. over tar paper (typical)

Precast concrete coping. (typical)

Montana Rockworks Inc.
<http://montanarockworks.com>
 Color: McGregor Lake Ledge 3-5" (typical)

Masonry weeps as required. (typical)
 Painted metal flashing over thru-wall flashing. (typical)

1" rigid insulation. (typical)

Concrete footing (2) #5's continuous. (typical)

1 Section
 A4.1 1/2"=1'-0" Note: Not to scale if drawing is printed on 11"x17" paper

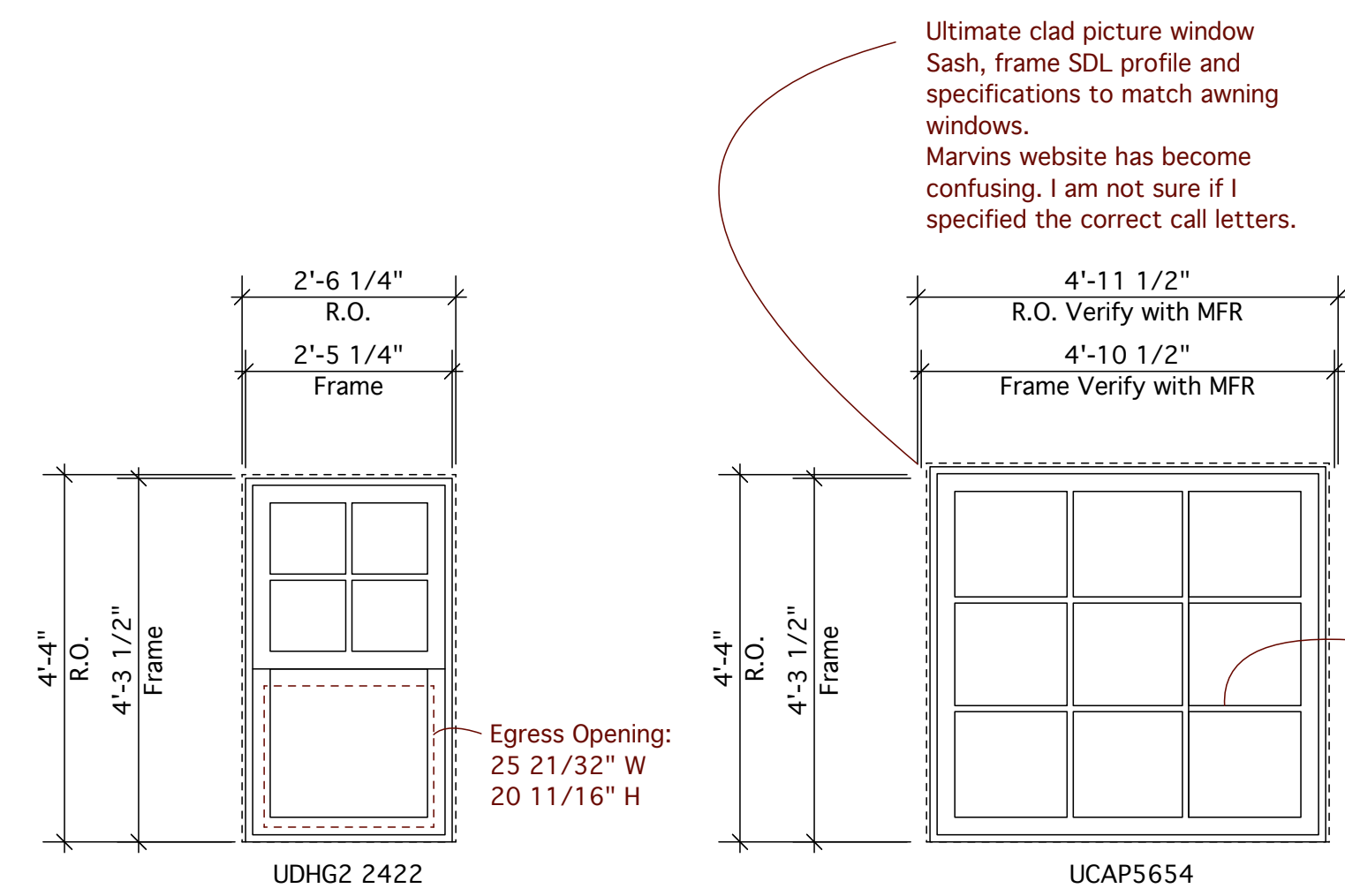
Date: 12.Aug.2025

Sheet Title:
Section

A4.1

Window Specifications: Double Hung

Manufacturer: Marvin
Style: Clad Ultimate Double Hung G2
Exterior Aluminum Clad Color: Ebony
Interior wood Finish: Preprimed
Glazing Profile: Standard Ogee
Glass: 7/8" insulated glass with Low E with argon
Mullions: 7/8" Simulated divided light with internal spacer bar. Custom layout as shown.
Screen: Half screen charcoal fiberglass
Hardware finish: Standard sash lift. Dark bronze? (Confirm with owner)
Nailing fin: Include



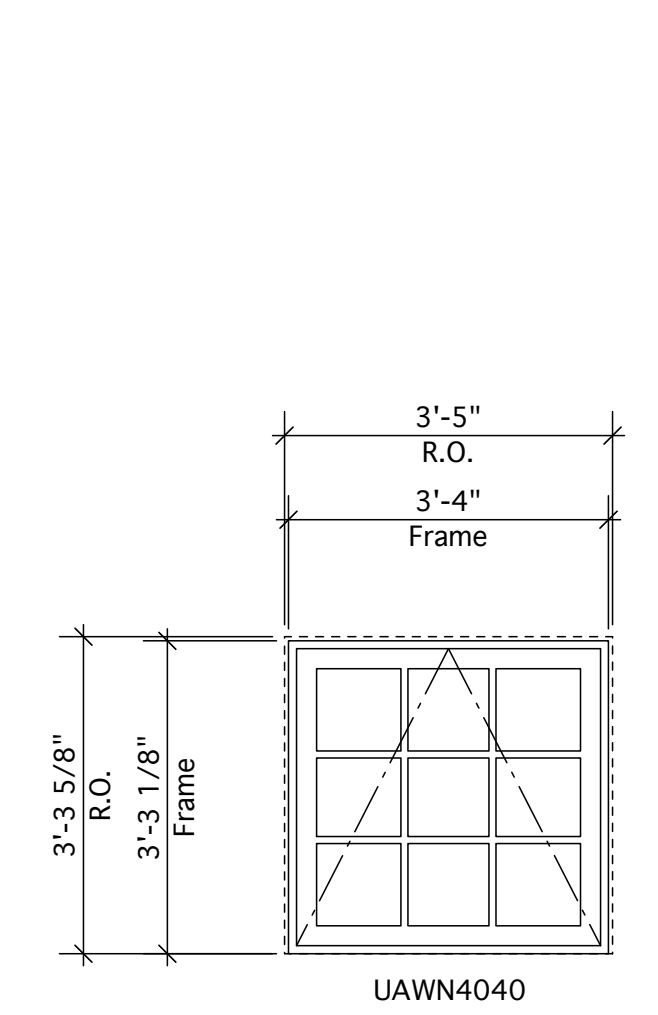
①

②

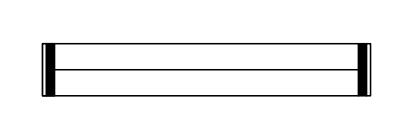


Window Specifications: Awning

Manufacturer: Marvin
Style: Clad Ultimate Awning
Exterior Aluminum Clad Color: Ebony
Interior wood Finish: Preprimed
Glazing Profile: Standard Ogee
Glass: 3/4" insulated glass with Low E with argon
Mullions: 4/8" Simulated divided light with internal spacer bar. Custom layout as shown.
Screen: Charcoal fiberglass
Hardware finish: Dark bronze? (Confirm with owner)
Nailing fin: Include

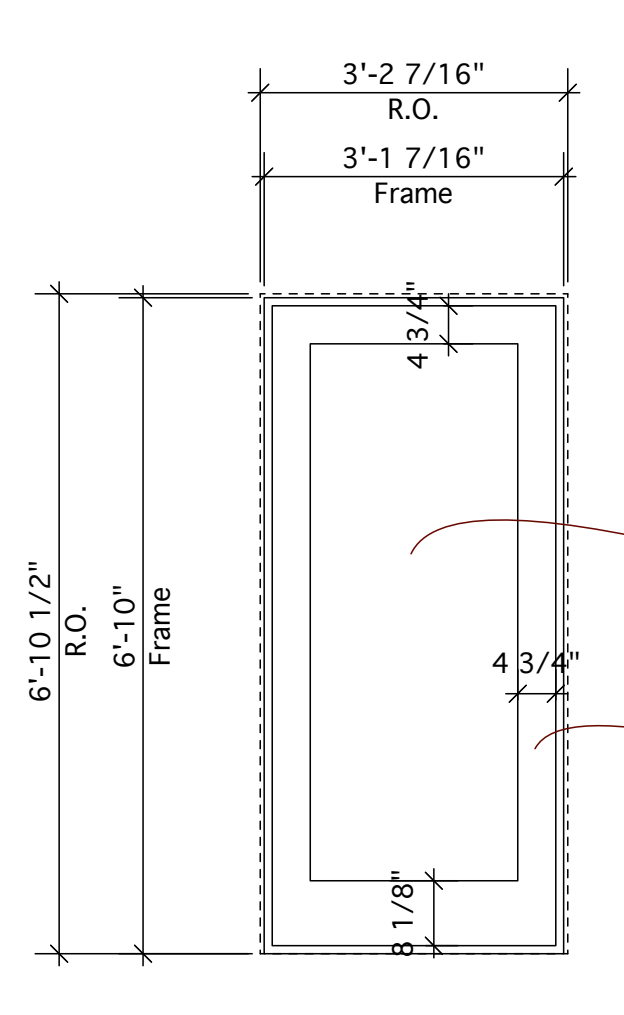


③

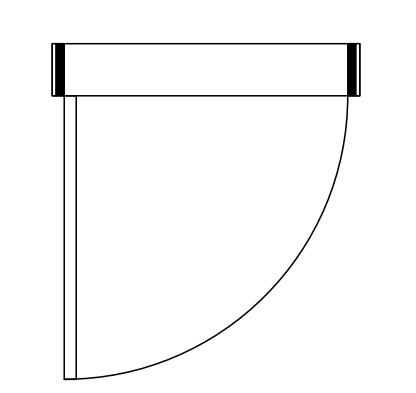


Door Specifications: Inswing

Manufacturer: Marvin
Style: Clad Ultimate Inswing Door G2
Exterior Aluminum Clad Color: Ebony
Interior wood Finish: Preprimed
Sill: Performance sill (Confirm with owner Accessible sill not wanted)
Panel Thickness: 2-1/4"
Glazing Profile: Standard Ogee
Glass: 15/16" insulated glass with Low E with argon
Mullions: None.
Screen: None (Confirm with Owner)
Hardware finish: Dark bronze? (Confirm with owner)
Nailing fin: Include

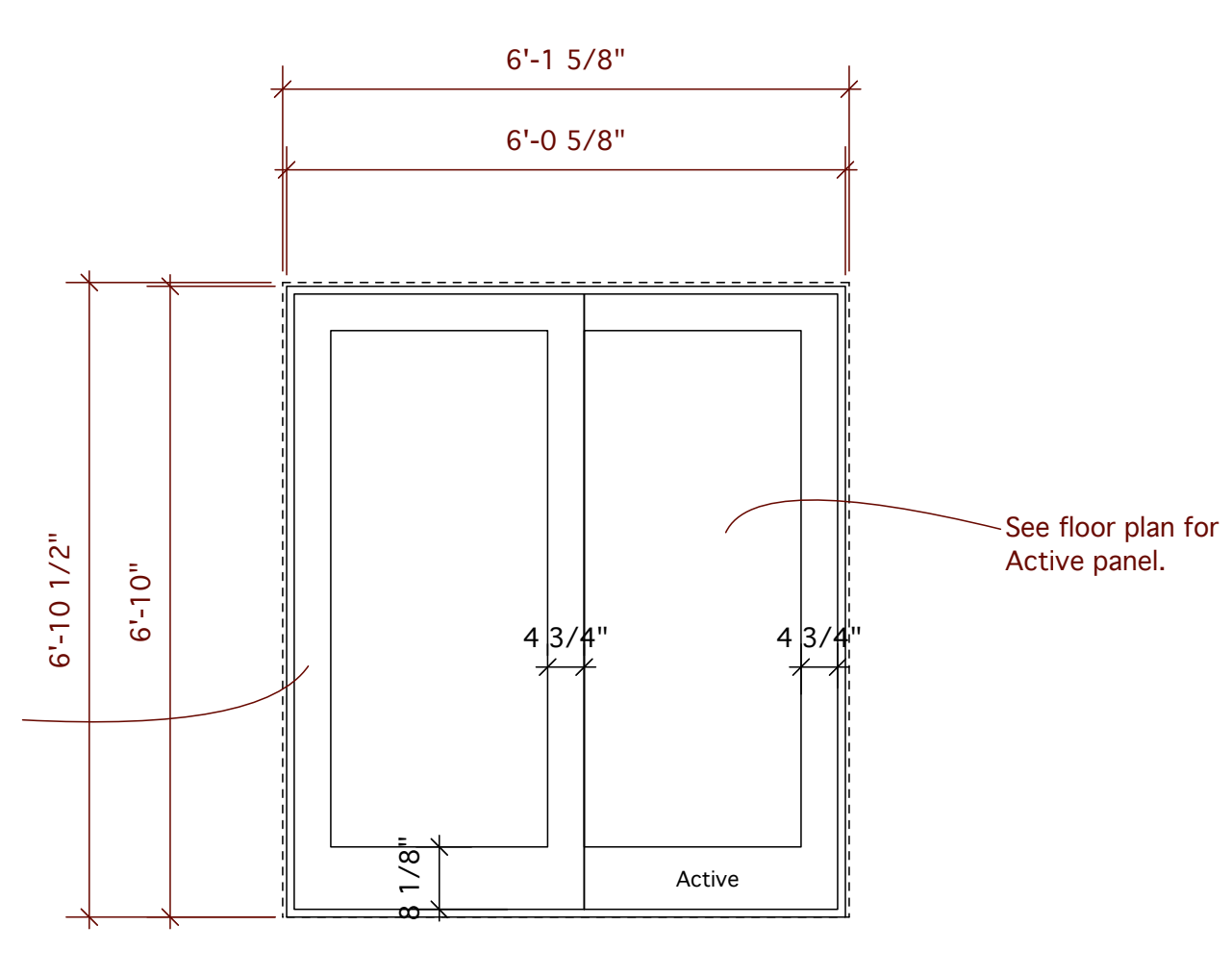


④

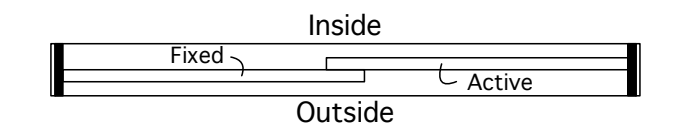


Door Specifications: Sliding

Manufacturer: Marvin
Style: Clad Ultimate Sliding French Door G2
Exterior Aluminum Clad Color: Ebony
Interior wood Finish: Preprimed
Sill: Performance sill (Confirm with owner Accessible sill not wanted)
Panel Thickness: 2-1/4"
Glazing Profile: Standard Ogee
Glass: 15/16" insulated glass with Low E with argon
Mullions: None.
Screen: Charcoal fiberglass
Hardware finish: Dark bronze? (Confirm with owner)
Nailing fin: Include



⑤



Windows used for exiting, SPS 321.03 (6) (b). 1. The nominal size of the net clear window opening shall be at least 20 inches by 24 inches irrespective of height or width. Nominal dimensions shall be determined by rounding up fractions of inches if they are 1/2-inch or greater or rounding down fractions of inches if they are less than 1/2-inch.

Wisconsin Uniform Dwelling Code:

SPS 321.03 (Feb. 2017)
(6) WINDOWS USED FOR EXITING. Windows which are installed for exit purposes shall comply with the requirements of this sub-section.
(a) The window shall be openable from the inside without the use of tools or the removal of a sash. If equipped with a storm or screen, it shall be openable from the inside.
(b) 1. The nominal size of the net clear window opening shall be at least 20 inches by 24 inches irrespective of height or width. Nominal dimensions shall be determined by rounding up fractions of inches if they are 1/2-inch or greater or rounding down fractions of inches if they are less than 1/2-inch.
2. No portion of the window, including stops, stools, meeting rails and operator arms, shall infringe on the required opening.
(c) The area and dimension requirements of par. (b) may be infringed on by a storm window.
(d) 1. For any window used for exiting, the lowest point of clear opening shall be no more than 60 inches above the floor.
2. If the lowest point of clear opening is more than 46 inches above the floor, a permanent platform or fixture shall be installed such that a flat surface at least 20 inches wide and 9 inches deep is located no more than 46 inches directly below the clear opening.
3. The topmost surface of the platform or fixture shall be no more than 24 inches above the floor.
4. The topmost surface of the platform or fixture shall support a live load of at least 200 pounds.
5. A Step used for the sole purpose of reaching the top of the platform or fixture is exempt from the requirements of s. SPS 321.04.

- (e) 1. An egress window with any point of clear opening below adjacent grade shall be provided with an areaway in accordance with this section.
- 2. The width of the areaway shall be at least equal to the width of the window.
- 3. The areaway shall be a minimum of 36 inches measured perpendicular from the outer surface of the below-grade wall.
- 4. If the bottom of the areaway is more than 46 inches below adjacent grade or the top of the areaway enclosure, the areaway shall be provided with a ladder or stair to aid egress. Steps used to comply with this section are exempt from the requirements of s. SPS 21.04.
- 5. a. Ladders or other steps used to comply with subd. 4. may infringe on the required area of the areaway by a maximum of 6 inches.
- 6. The areaway shall be constructed such that water entering the areaway does not enter the dwelling.
- (f) An egress window under a deck or porch shall discharge through a clear path of at least 36 inches in height and 36 inches in width, and no more than 15 feet in length, to a yard or open space.

SPS 321.05 Natural light and natural ventilation.
(1) **NATURAL LIGHT.** All habitable rooms shall be provided with natural light by means of glazed openings. The area of the glazed openings shall be at least 8% of the net floor area, except under the following circumstances:
(a) Exception. Habitable rooms, other than bedrooms, located in basements or ground floors do not require natural light.
(b) Exception. Natural light may be obtained from adjoining areas through glazed openings, louvers or other approved methods. Door openings into adjoining areas may not be used to satisfy this requirement. (Sept.2014)

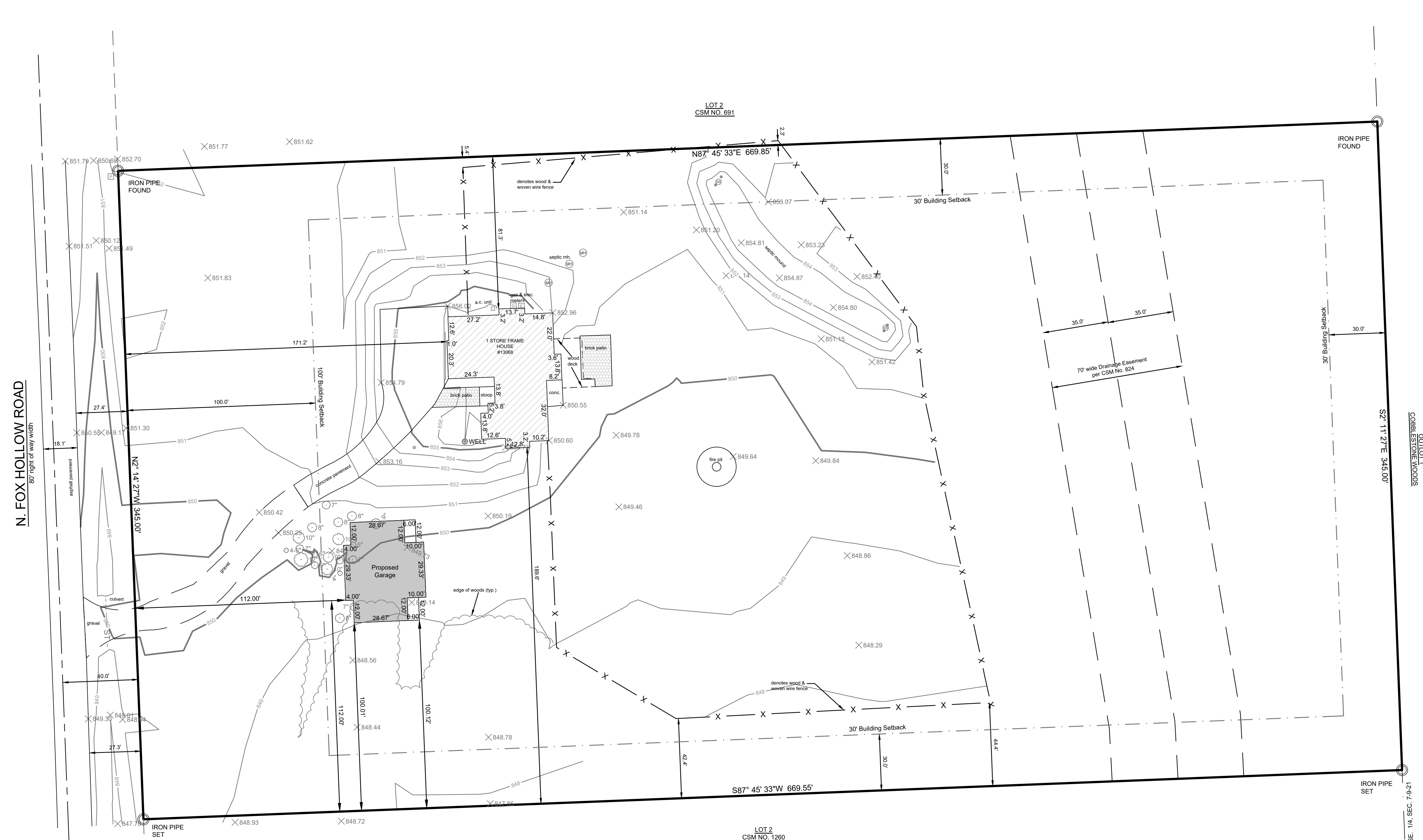
Marvin General Notes:

- 1.) Contractor to verify quantity, by referencing the exterior elevations, and all rough openings prior to placing order.
- 2.) Contractor to verify all jamb thicknesses. Bid all windows with 4 - 9/16" jambs. Contractor to determine whether to custom fabricate and install jamb extensions in field or order pre-installed jamb extensions through window manufacturer.
- 3.) See architectural floor plans and elevations to verify window swings.
- 4.) Submit shop drawings to Architect for approval prior to ordering.

Legal description:

Parcel 1 of Certified Survey Map No. 824 as recorded at the Ozaukee County register of Deeds in Volume 4, Page 49 and being a part of the Southwest 1/4 of Section 7, Township 9 North, Range 21 East, in the City of Mequon, Ozaukee County, Wisconsin.

Said parcel containing 231,046 square feet / 5.304 acres of land more or less.

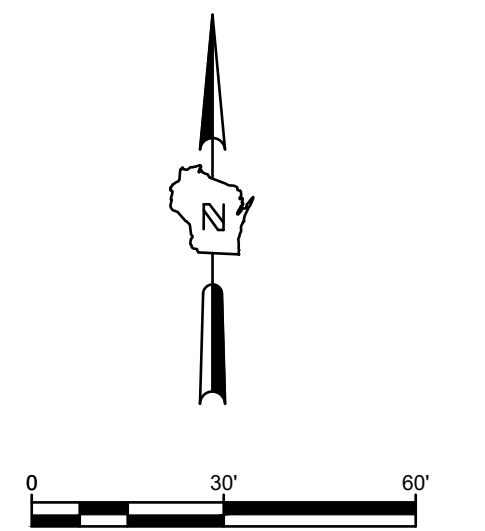


LEGEND

| | |
|-----|---------------------------------|
| --- | SECTION 1/4 SECTION LINE |
| --- | PROPERTY LINE |
| --- | EASEMENT |
| --- | CHAIN LINK FENCE |
| --- | GUARD RAIL |
| --- | METAL FENCE |
| --- | WOOD FENCE |
| --- | TREE LINE |
| --- | OVERHEAD UTILITY LINE |
| --- | ELECTRIC |
| --- | TELEPHONE |
| --- | FIBER OPTIC |
| --- | CABLE TV |
| --- | SANITARY SEWER |
| --- | FORCE MAIN |
| --- | METAL INTERCEPTOR SEWER |
| --- | COMBINED SANITARY & STORM SEWER |
| --- | STORM SEWER |
| --- | WATER MAIN |
| --- | GAS |
| --- | WETLAND |
| --- | EXISTING MAJOR CONTOUR |
| --- | EXISTING MINOR CONTOUR |
| --- | IRON PIPE FOUNDSET |
| --- | IRON PIPE FOUNDSET |
| --- | REBAR FOUNDSET |
| --- | CHISELED CROSS FOUNDSET |
| --- | SPRING |
| --- | MONUMENT |
| --- | BENCHMARK |
| --- | SIGN |
| --- | DECIDUOUS TREE (Diameter) |
| --- | CONIFEROUS TREE (Diameter) |
| --- | BUSH |
| --- | POST |
| --- | SOIL BORING |
| --- | MONITORING WELL |
| --- | CULVERT END |
| --- | LIGHT POLE |
| --- | PARKING METER |
| --- | FLAG POLE |
| --- | TRAFFIC SIGNAL |

ROBERT SPECTOR
 13068 N. FOX HOLLOW ROAD
 MEQUON, WISCONSIN

BUILDING PERMIT SURVEY



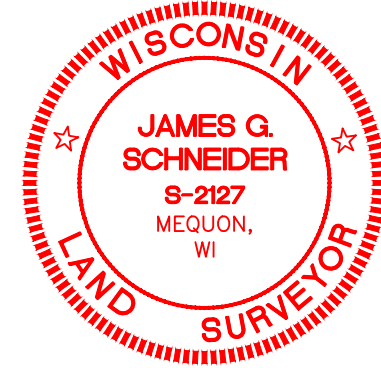
SURVEY CERTIFICATE

I have surveyed the above described property and the above map is a true representation thereof and shows the size and location of the property, its exterior boundaries, the location and dimensions of all visible structures thereon, boundary fences, apparent easements, roadway, and visible encroachments, if any.

This survey is made for the exclusive use of the present owners of the property, and also those who purchase mortgage, or guarantee the title thereto within one (1) year from date hereof.

Dated at City of Mequon, State of Wisconsin this 22nd day of November, 2024.

Recertified _____
 James Schneider
 S - 2127



THIS IS AN ORIGINAL PRINT
 ONLY IF STAMPED IN RED

GENERAL NOTES:

1. THE UNDERGROUND UTILITY INFORMATION SHOWN ON THIS DRAWING IS BASED ON FIELD LOCATIONS AND/OR RECORDS FURNISHED BY MUNICIPALITIES AND UTILITY COMPANIES. THE LOCATION AND ACCURACY OF WHICH CANNOT BE GUARANTEED. THERE MAY BE ADDITIONAL UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.
2. ALL BEARINGS ARE REFERENCED TO THE WEST LINE OF THE SOUTHWEST 1/4 OF SECTION 7, TOWN 9 NORTH, RANGE 21 EAST, WHICH BEARS N0°55'23"W, PER SEWRPC, NAD 83 DATUM.
3. DRAWING IS BASED ON FIELD SURVEY COMPLETED BY SFZ ON NOVEMBER 8, 2024.
4. DATUM FOR THE PROJECT SURVEY IS NAVD88. BENCHMARK FOR THE PROJECT SURVEY IS R.R. SPIKE IN POWER POLE NO. 10-02077 AT THE NORTHWEST CORNER OF W. HIGHLAND RD. AND N. WASAUKEE RD., ELEVATION = 877.42

| | |
|--------------|--|
| 1. | Update Proposed Garage - 8/12/2025 - JRS |
| NO. REVISION | DATE BY |
| DRAWN BY: | JMB |
| DATE: | 11/22/2024 |
| PROJECT NO: | 23406 |
| CHECKED BY: | JGS |
| SHEET NO.: | |



13113N

415'

13116N

355'

669.85'

14-007-09-005.00

CSM #824 LOT 1 DOC #0283777

12973N

345'

13068N

345'

0.00

DOC #0330350

377'

HOLLOW ROAD

221.70'

669.25'

64.50'

2608.22'

3



11333 N. Cedarburg Road
Mequon, WI 53092-1930
Phone: 262/236-2914
Fax: 262/242-9655

www.cityofmequonwi.gov

Community Development

TO: Board of Appeals
FROM: Greg Golden, Inspections Supervisor
DATE: December 4, 2025
SUBJECT: Staff Memo

Background:

The appellant is appealing the denial from the Architectural Review Board for a detached accessory storage structure with living space.

Appeal:

The appellant is requesting the Board of Appeals (BOA) overturn the denial from the Architectural Review Board (ARB) and approve the accessory structure to be constructed as designed. In a letter to the BOA, the appellant claims the ARB erred in their decision to deny the project through a misinterpretation of the ARB Guidelines citing that the guidelines do not stipulate the structure must exactly match that of the primary residence.

Analysis:

The Architectural Review Board at its October 13, 2025, meeting, denied the appellant's application for a new accessory storage structure with living space above, citing its non-compliance with the ARB Guidelines (Exhibit A). Specifically, the Architectural Board Guidelines state the following:

“Detached structures shall be designed to be consistent with the principal dwelling. Consistency of design includes the use of similar roofing materials and pitch, windows, exterior cladding, trim, and color(s).”

Based on the photos of the primary residence and the renditions of the proposed accessory structure submitted by the applicant, the proposed accessory structure does not meet these guidelines. Board members at the meeting cited different roofing materials, different siding materials, and different window styles (see attached images of existing

home design and new accessory structure design).

At the ARB meeting, the applicant stated that the design inconsistency with the primary residence was intentional. The applicant stated the intent of the design was to resemble more of a barn-like structure and that this was consistent with other properties in the area. Although not expressly stated during the meeting, the ARB does not take into consideration any other properties when making decisions. The focus is solely on the project presented and is evaluated on the information provided specific to the project and property. The applicant further states in their BOA application that “the board explicitly articulated that they would approve the project on appeal”. Staff have reviewed the recording of the ARB meeting, and an explicit articulation that the collective Board would alter their decision upon an application to the BOA was not found.

The burden of proof is on the appellant to present evidence that the decision was made in error. The appellant claims an exact match is not required per the guidelines. The ARB did not recommend an exact match but rather greater consistency through roof and siding materials as well as window styles.

Staff Recommendation:

The Architectural Review Board voted 4-2 to deny the application based on inconsistency of roof and siding materials and inconsistent window style. The appellant fails to identify the Architectural Review Board’s error in upholding the ARB Guidelines; therefore, staff recommend **denial** of the appeal.

Attachments:

ARB Guidelines Exhibit A, ARB Minutes 10-13-2025 Exhibit B



11333 N. Cedarburg Road
Mequon, Wisconsin 53092
Phone: (262) 236-2924
Fax: (262) 242-9819

www.ci.mequon.wi.us

INSPECTION DIVISION

Signature: _____ Application # _____

**CITY OF MEQUON, WISCONSIN
ARCHITECTURAL BOARD GUIDELINES FOR RESIDENTIAL STRUCTURES**

The goal of the City of Mequon and its Architectural Board is the protection and enhancement of the beauty, appeal and value of the City’s housing. While aesthetics to some extent are a matter of personal preference, building exteriors are also part of the public realm and affect the overall ambience of the community. The Board has, out of its long experience in reviewing design proposals, identified a number of recurrent issues and themes for which it is felt that guidelines are appropriate. There are enduring principles and themes, which will help insure harmonious, balanced, compatible and neighborhood-enhancing residential development. In applying these guidelines, the Board exercises judgment and discretion in looking for excellence in design.

In an effort to assist the home designer/builder, the principles and standards by which the Architectural Board will review designs and plans are set forth below.

Scope

The Architectural Board shall be responsible for the review and final approval of the following:

- All new single and two-family residential structures.
- Additions to single and two-family structures.
- Exterior alterations to single and two-family structures.
- Detached structures more than 300 square feet

Alterations and additions that are deemed minor by the Director of Community Development, or their designee may be approved at a staff level.

Zoning Requirements

The Inspections Division will review plans for compliance with the dimensional and other technical requirements of the zoning and building codes. This includes critical dimensions of the proposed structure, i.e., building height, setbacks and offsets, lot coverage, and minimum square footage.

General

The several elevations of the residential structures shall be consistent with one another and compatible with existing homes in the neighborhood as well as the natural features of the lot and surroundings in order to avoid disharmony and the appearance of haphazard development. See City of Mequon Code of Ordinances Sec. 58-40(c)(1).

A proposed dwelling should not be so similar in design, materials, style or exterior appearance to existing neighboring homes where excessive monotony is created. See City of Mequon Code of Ordinances Sec. 58-40(c)(2).

The placement of a proposed residential structure on the lot should not impair the lot's natural beauty; it shall respect the physical attributes of the lot and of the neighborhood. One must attempt to eliminate or minimize loss of trees and vegetation, or alteration of natural topography. See City of Mequon Code of Ordinances Sec. 58-40(c)(4) and 58-641.

Submission Requirements

The following are required to be submitted to the City of Mequon Inspections Division prior to the design application being placed on the Architectural Board agenda:

1. Application form.
2. To scale and dimensioned drawings of the following:
 - a. For addition plans, the addition must be highlighted on the drawings to easily distinguish it from the existing structure.
 - b. All elevations must show accurate dimensions and a clear description of proposed materials.
 - c. Site plan, including driveway if applicable.
3. For additions, 3 sets of photographs of the existing structure which show the area of the home at which the addition is proposed.

Roof Geometry

Generally, all roof pitches on a principal dwelling should be the same.

All roof designs will be reviewed as they relate to the overall design of the home.

Size, Proportions, and Scale

Certain zoning code standards, relating to minimum square footage and maximum lot coverage, regulate the size of a proposed structure. However, it is conceivable that a proposed structure will conform to the technical dimensional provisions of the Zoning Code, and yet be objectionable from an aesthetic standpoint. The Architectural Board will evaluate the proposed residential structure's size, proportions, placement and orientation in relation to:

1. Neighboring structure's height, mass, scale and placement.
2. On-site structure's height, mass, scale and placement.
3. The lot, including its size, shape, sight lines, topography, specimen trees, grade and other natural features.
4. Equally important are the proportions and scale of the proposed structure.

Consistency of Elevations

All sides of the structure should exhibit design continuity. Where brick, stone or stucco is used together with cedar on the front elevation, and the brick, stone or stucco is the predominant material, roughly the same proportion of veneer and cedar should be designed into the other elevations affecting an architecturally correct balance. Additions and alterations to existing structures may deviate from this requirement based on the ability to match existing materials.

A design which incorporates an accent material such as stone, brick or stucco on the front elevation only, may be permitted if it is used sparingly and only to establish a focal point of interest to the design of the structure.

Houses which feature shutters or divided light windows as design elements should have them on all four elevations. When a specific style or design of window or trim is presented on one elevation, it should be repeated on all elevations, including the garage. This requirement shall not apply to sliding patio doors and picture windows.

The fact that there are no adjacent neighbors or that the property is or will be bordered by trees or berm does not diminish the need for continuity on all elevations of the structure, but it may be a rationale to limit the proportion of materials on the aforementioned elevation.

Painted flues, vents, gutters, downspouts, flashing and the like are encouraged to match the color of the architectural component from which they project.

Building Façade

It is important that exterior details such as shutters, corner boards, quoins, cupolas, wing walls, cornice returns, gable vents, fanlights, wide trim boards, lintels, sills, cornices, etc., be designed into the plans together with the other design features.

The design should incorporate the use of strong vertical and/or horizontal reveals, offsets, and three-dimensional detail between surface planes to create shadow lines and break up flat surface areas. If large blank surfaces are proposed, they should serve some compelling design purpose, and the design should incorporate mitigating features to enrich the appearance of the structure and provide a sense of scale at ground level that is inviting to the observer.

Enhancements such as masonry treatments must not terminate at an outside corner. Window and other trim treatments should be consistent to the greatest extent possible on all elevations. Consideration shall be given to the interior floor plan when complying with this requirement. Compatible framing, sills, lintels and keystones should be employed. Alterations to existing dwellings may be exempt from this requirement in order to match the existing design.

The size and location of windows and doors should be balanced and consistent on each elevation, and this should be borne in mind when placing windows in rooms. Consideration shall be given to the interior floor plan when complying with this requirement.

Materials

All natural building materials are strongly encouraged. Synthetic siding/trim materials will be considered based upon quality and appearance.

Acceptable roofing materials include:

- Cedar shake
- Slate
- Fiberglass shingles
- Concrete shingles
- Tile
- Dimensional asphalt shingles
- Architectural metal roofs

Masonry chimneys will generally be required. Cedar chimneys may be considered integral to the design of the structure, and compatible with surrounding homes.

Detached Storage Structures

In General

1. Be subordinate in size, scale and bulk to the principal residence.
2. Complement the architectural character of the principal residence.
3. Be compatible with the neighborhood character.

Orientation

Detached structures with an 8-foot-wide door or less may front the street. Large overhead doors shall face an interior driveway unless it is located completely to the rear of the dwelling.

Where the garage faces an internal driveway, the garage shall incorporate window(s) on the street front façade for walls greater than 10 feet in length unless it is screened from public view by natural vegetation. The window size and design must be compatible with the windows on habitable portions of the residence.

Materials and Design

Detached structures shall be designed to be consistent with the principal dwelling. The consistency of design includes the use of similar roofing materials and pitch, windows, exterior cladding, trim, and color(s).

Exceptions:

1. Materials including brick, stone, slate are not required on detached buildings and may be substituted with other approved materials.
2. Detached structures are not required to have a roof pitch greater than 8/12 regardless of the pitch on the primary dwelling.
3. Roof forms shall be similar to the form of the primary dwelling unless the detached structure is less than 150 square feet.
4. Roof eaves are not required to exceed 1 foot regardless of the eave width on the primary dwelling.



11333 N. Cedarburg Road
Mequon, Wisconsin 53092
Phone: (262) 236-2924
Fax: (262) 242-9818

www.cityofmequonwi.gov

INSPECTION DIVISION

ARCHITECTURAL BOARD MINUTES
Monday, October 13, 2025
6:00 PM
Lower-Level Conference Room

Minutes

1. Call to Order, Roll Call:

Present: Chairman Scott Reed

Members at Large: John Mikkelson, Michael Wade, Tom Irvin, Curtis Helm,
Anthony LaGalbo, Ann Scherzinger

Architectural Board Liaison: Greg Golden

2. Meeting Minutes

Minutes from September 8, 2025, meeting were approved by District Representative Tom Irvin and seconded by District Representative Anthony LaGalbo.

Minutes passed unanimously.

3. Application Submittals:

| No. | Alder. District /Time | Type of App | Owner(s) / Project Address | Contractor |
|--|-----------------------------|--|--|---|
| 1) | Dist. 6 6:00 pm | New Single-Family Residence | Vitaliy Gorelik 12345 N. East Shoreland Drive Subd: River Oaks Estates | Contractor: J&J Custom Homes Architect: Chris Egner |
| <p>Moved to Table: <u>Reed</u></p> <p>Seconded by: <u>Irvin</u></p> <p>Approved: <u>No</u></p> <p>Vote: <u>Unanimously</u></p> <p>Conditions: Plans tabled for redraw - elevations are not readable; line drawings are required.</p> | | | | |
| 2) | Dist. 7 6:05 pm | Addition: Sunroom | John & Patti Clark 9834 N. Valley Hill Drive Subd: Range Line Valley Two | Contractor: B&E General Cont. Architect: B&E General Cont. |
| <p>Moved to Approve: <u>Irvin</u></p> <p>Seconded by: <u>LaGalbo</u></p> <p>Approved: <u>Yes</u></p> <p>Vote: <u>Unanimously</u></p> <p>Conditions: Plans approved as submitted.</p> | | | | |
| 3) | Dist. 1 6:15 pm | New Single-Family Residence | Keajen Properties LLC 13833 N. Pine View Court Subd: Riverland Estates | Contractor: Anderson Homes Architect: Anderson Homes |
| <p>Moved to Approve: <u>Reed</u></p> <p>Seconded by: <u>LaGalbo</u></p> <p>Approved: <u>Yes</u></p> <p>Vote: <u>Unanimously</u></p> <p>Conditions: Plans approved as submitted.</p> | | | | |

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| 4) | Dist. 1 6:20 pm | Detached Garage | Ryan Bialk 7575 W. Highland Ridge Drive Subd: Highland Ridge | Contractor: Owner Architect: Drexel |
| <p>Moved to Approve: <u>Irvin</u></p> <p>Seconded by: <u>Mikkelson</u></p> <p>Approved: <u>Yes</u></p> <p>Vote: <u>Unanimously</u></p> <p>Conditions: Plans approved as submitted.</p> | | | | |

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| 5) | Dist. 1 6:30 pm | Resubmittal: Detached Garage with Living Space (Tabled at 9/8/25 Meeting) | Robert Spector 13068 N. Fox Hollow Road Subd: N/A | Contractor: John Sauermilch, Jr. Architect: Stauss Architect LLC |
| <p>Moved to Deny: <u>Reed</u></p> <p>Seconded by: <u>Helm</u></p> <p>Approved to Deny: <u>4: Reed, LaGalbo, Helm, Irvin</u></p> <p>Approved as is: <u>2: Wade, Mikkelson</u></p> <p>Abstained: <u>1: Scherzinger</u></p> <p>Vote to Deny: <u>4 / 2 / 1</u></p> <p>Conditions: Plans denied as submitted.</p> | | | | |

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| 6) | Dist. 3 6:40 pm | New Single-Family Residence | Veridian Homes LLC 8175 W. Bluebird Court Subd: The Enclave | Contractor: Veridian Homes LLC Architect: Veridian Homes LLC |
| <p>Moved to Approve: <u>Reed</u></p> <p>Seconded by: <u>Irvin</u></p> <p>Approved: <u>Yes</u></p> <p>Vote: <u>Unanimously</u></p> <p>Conditions: Plans approved as submitted.</p> | | | | |

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| 7) | Dist. 3 6:45 pm | New Single-Family Residence | Veridian Homes LLC 8278 W. Bluebird Court Subd: The Enclave | Contractor: Veridian Homes LLC Architect: Veridian Homes LLC |
| <p>Moved to Approve: <u>Helm</u></p> <p>Seconded by: <u>Irvin</u></p> <p>Approved: <u>Yes</u></p> <p>Vote: <u>Unanimously</u></p> <p>Conditions: Plans approved as submitted with the condition that gables shall be consistent on all elevations, i.e., maintain the vertical Board and Batton siding on the 3-front elevations but also add horizontal siding below a 6” Smart Bandboard to duplicate all other elevation gables.</p> | | | | |

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| 8) | Dist. 3 6:50 pm | Addition: Master Suite and Attached Garage | Andrew & Kelleen Starsky 11339 N. Glenwood Drive Subd: Solar Heights | Contractor: NG Custom Builders Architect: Lance Johnson |
| <p>Moved to Approve: <u>Irvin</u></p> <p>Seconded by: <u>Scherzinger</u></p> <p>Approved: <u>Yes</u></p> <p>Vote: <u>Unanimously</u></p> <p>Conditions: Plans approved with the following conditions: 1. All windows to be consistent; no grids. 2. Board and Batten siding on front elevation should be replaced with LP Shingle-style siding.</p> | | | | |

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| 9) | Dist. 4 7:00 pm | New Single-Family Residence | Eric & Jessica Ebert 9183 W. Huntington Drive Subd: Swan Ridge Farms | Contractor: Korndoerfer Homes Architect: SHP |
| <p>Moved to Approve: <u>Irvin</u></p> <p>Seconded by: <u>Scherzinger</u></p> <p>Approved: <u>Yes</u></p> <p>Vote: <u>Unanimously</u></p> <p>Conditions: Plans approved as submitted.</p> | | | | |

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| 10) | Dist. 4 7:05 pm | New Single-Family Residence | Tim O'Brien Homes 9901 N. Migratory Lane Subd: Swan Ridge Farms | Contractor: Tim O'Brien Homes Architect: Tim O'Brien Homes |
| <p>Moved to Approve: <u>Irvin</u></p> <p>Seconded by: <u>Helm</u></p> <p>Approved: <u>Yes</u></p> <p>Vote: <u>Unanimously</u></p> <p>Conditions: Plans approved as submitted with the following conditions:</p> <ol style="list-style-type: none"> 1. Remove faux shutters from front elevation and replace them with a 6-Lite fixed window over the front landing. 2. Cedar shakes shall be limited to the top part of gables with horizontal siding on the lower part for both the second-floor front left elevation gable and the second-floor rear elevation gable. | | | | |

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| 11) | Dist. 4 7:10 pm | New Single-Family Residence | Espire Homes, Inc. 9931 N. Migratory Lane Subd: Swan Ridge Farms | Contractor: Espire Homes, Inc. Architect: Espire Homes, Inc. |
| <p>Moved to Approve: <u>Reed</u></p> <p>Seconded by: <u>LaGalbo</u></p> <p>Approved: <u>Yes</u></p> <p>Vote: <u>Unanimously</u></p> <p>Conditions: Plans approved as submitted.</p> | | | | |

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| 12) | Dist. 5 7:15 pm | Addition: Garage | Jason & Jill Chromy 13033 N. Phillip Drive Subd: N/A | Contractor: Owner Architect: Owner |
| <p>Moved to Approve: <u>LaGalbo</u></p> <p>Seconded by: <u>Irvin</u></p> <p>Approved: <u>Yes</u></p> <p>Vote: <u>Unanimously</u></p> <p>Conditions: Plans approved as submitted with the condition that all new building materials match existing.</p> | | | | |

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| 13) | Dist. 5 7:25 pm | New Single-Family Residence | Callin & Terry Pierson 14311 N. Lake Shore Drive | Contractor: Belman Builders, Inc. |
| | | | Subd: Lakeshore Estates | Architect: MBH Architects |
| <p>Moved to Approve: <u>Irvin</u></p> <p>Seconded by: <u>Helm</u></p> <p>Approved: <u>Yes</u></p> <p>Vote: <u>Unanimously</u></p> <p>Conditions: Plans approved as submitted with the following conditions:</p> <ol style="list-style-type: none"> 1. Windows with shutters on the horizontal siding portion of the front elevation should be removed, and arch windows should be replaced with standard trim. 2. Addition of master bedroom window on right elevation to match the existing window. | | | | |

4. **Motion to Adjourn**

District Representative Curtis Helm made a motion to adjourn the meeting.
District Representative Anthony LaGalbo seconded the motion.

A vote was taken; vote passed unanimously.
Meeting adjourned at 7:05 p.m.