



11333 N. Cedarburg Road
Mequon, WI 53092
Phone: 262-236-8145
Fax: 262-242-9655

www.ci.mequon.wi.us

Public Works Department

PUBLIC WORKS COMMITTEE

Tuesday, June 14, 2022

6:00 PM

South Conference Room

Agenda

- 1) Call to Order, Roll Call
- 2) Election of Chair
- 3) Approval of Minutes

a. April 12, 2022 Minutes

- 4) Resolutions

Action requested: review and recommend approval

- a. **RESOLUTION 3961** A Resolution Authorizing Receipt of Infrastructure Improvements and Execution of a Dedication Agreement with Thiensville-Mequon Youth Baseball Association for Dugout Improvements at Rotary and River Barn Parks.
- b. **RESOLUTION 3957** A Resolution Authorizing the Release of the Bike Path Easement on Lots 1 and/or 2 of Certified Survey Map 3406 (Oriole Lane)

- 5) Discussion Items

Discussion and Possible Action

- a. Prairie View Lane Drainage CIP Status Update
- b. 2021 Drainage Capital Improvement Program - Administrative Update
- c. 2022 Work Plan (6.14.22)

- 6) Adjourn

Dated: June 14, 2022

/s/ Dale Mayr, Chair

.....
Notice is hereby given that a quorum of other governmental bodies may be present at this meeting to present, discuss and/or gather information about a subject over which they have decision-making responsibility, although they will not take formal action thereto at this meeting.

Persons with disabilities requiring accommodations for attendance at this meeting should contact the City Clerk's Office at 262-236-2914, twenty-four (24) hours in advance of the meeting.

Any questions regarding this agenda may be directed to the Public Works Department at 262-236-2913, Monday through Friday, 7:00 AM – 3:30 PM.



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Public Works Department

PUBLIC WORKS COMMITTEE
Tuesday, April 12, 2022
5:45 PM
South Conference Room

Minutes

1) Call to Order, Roll Call

Present:

Chair Dale Mayr
Alderman Brian Parrish
Alderman Andrew Nerbun

Also present were Director of Public Works/City Engineer Lundeen, Deputy Director of Public Works Weyker, Parks and Forestry Superintendent Gies, Fleet Superintendent Zeller, and Administrative Assistant Deuster

2) Approval of Minutes

a. March 8, 2022 Minutes

RESULT: **Approved [Unanimous]**

MOVED BY: Alderman Parrish

SECONDED BY: Alderman Nerbun

AYES:	Mayr, Parrish, Nerbun
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3) Resolutions

Action requested: review and recommend approval

- a. **RESOLUTION 3943** A Resolution Approving a Contract for Baseball Field Management Services During the 2022 Season with SMB Landscape Contractors, Thiensville, Wisconsin, in the Amount of \$35,000

Alderman Parrish inquired how in future budgeting it would be included for the \$35,000 and asked if it currently does not include it.

Director of Public Works/City Engineer Lundeen clarified the budget does include a field maintenance contract fee but it did not include enough funding for the additional fees added.

RESULT: **Approved [Unanimous]**

Attachment: 04-12-2022 Mins_Public Works (7332 : April 12, 2022 Minutes)

MOVED BY: Alderman Parrish
SECONDED BY: Alderman Nerbun

AYES: Mayr, Parrish, Nerbun

- b. **RESOLUTION 3945** A Resolution Approving the Purchase of a CAT Excavator from Fabick Cat, Milwaukee, Wisconsin and Six-Year Financing by Port Washington State Bank/BB Community Leasing Services for a Total Amount of \$306,468

Alderman Mayr inquired on how many appraisals did the city get on our current one.

Fleet Superintendent Zeller stated the City received one specific from Fabick Cat based on the Wisconsin Surplus consumer site.

RESULT: **Approved [Unanimous]**

MOVED BY: Alderman Nerbun

SECONDED BY: Alderman Parrish

AYES: Mayr, Parrish, Nerbun

- c. **RESOLUTION 3950** A Resolution Authorizing the City to Enter Into a Master Equity Lease Agreement with Enterprise Fleet Management for Subsequent Leasing and Fleet Management of the Passenger Vehicle Segment of the City's Fleet

Director of Public Works/City Engineer Lundeen stated last month staff introduced the idea of a lease agreement with Enterprise with unanimous approval of the Committee of the Whole to move forward with the agreement and structure. Staff understands there were some concerns, so staff was here to answer questions the Committee had before moving it to Council for approval. This included the memo from the Finance Department.

Alderman Nerbun stated the general concern was is it financially beneficial and the Finance Director addressed in a memo. The City could do this themselves as well.

Director of Public Works/City Engineer Lundeen stated previously she indicated if we were funded the City could do this ourselves. Typically when we trade vehicles or sell them they are significantly older with a lower resale value. This would allow us to sell fleet at a higher rate to take more advantage. The City is restricted on our own financial policies and how we can sell our own vehicles which Enterprise is not. This allows for the potential of more profit than our policies do.

Alderman Parrish stated they seemed to be a short term benefit and then there is an uncertainty based on the market and interest rates.

Director of Public Works/City Engineer Lundeen stated she did reach out to Ben from Enterprise on how to unwind ourselves from the agreement if the City would choose to not fund this. Each year there would be a review to decide how rates and the market are doing.

The Committee discussed the enterprise program stating they would like a comparison on Enterprise and a conventional lease. Also the Committee discussed the concern of paying a lot of money up front and leaving it wide open at the end of the lease.

City Attorney Sajdak stated he would work with Finance to have the comparison set with more details.

Ben Walljasper of Enterprise Fleet Management was in attendance to answer questions the Committee had.

4) Discussion Items

Discussion and Possible Action

a. Prairie View Lane Drainage CIP Status Update

Director of Public Works/City Engineer Lundeen provided a status update on the Prairie View Lane Drainage and would answer any questions from the Committee.

b. 2022 Work Plan (4.12.22)

Director of Public Works/City Engineer Lundeen provided an update for the 2022 Work Plan.

5) Adjourn

a. Motion to Adjourn at 6:29 PM.

RESULT: **Approved by Voice Acclamation [Unanimous]**

MOVED BY: Alderman Nerbun

SECONDED BY: Alderman Parrish

AYES:	Mayr, Parrish, Nerbun
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Respectfully Submitted,

Casey Deuster
Administrative Assistant

Attachment: 04-12-2022 Mins_Public Works (7332 : April 12, 2022 Minutes)



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Office of Parks and Forestry

TO: Public Works Committee
FROM: Mike Gies, Parks and Forestry Superintendent
DATE: May 18, 2022
SUBJECT: RESOLUTION 3961 A Resolution Authorizing Receipt of Infrastructure Improvements and Execution of a Dedication Agreement with Thiensville-Mequon Youth Baseball Association for Dugout Improvements at Rotary and River Barn Parks.

Background

MTLL/Heat (Mequon-Thiensville Little League/ Mequon Heat) has secured a donation and funding and is requesting permission to install ten dugout canopies over the existing dugouts, at both River Barn Park and Rotary Park. The fields included are as follows:

1. Field 1 at River Barn Park
2. Field 2 at River Barn Park
3. Field 3 at River Barn Park
4. South/Lion's Field at Rotary Park
5. Schmit Field at Rotary Park

The dugout canopies will improve the overall user experience of all five ballfields. All five fields see considerable use during the spring and fall seasons by not only MTLL/Heat teams, but numerous other users.

Analysis

MTLL/Heat would like to cover the dugouts at each baseball/softball diamond at River Barn Park and two (2) fields at Rotary Park. The covers would provide sun and rain shelter during the many games played each spring and summer. These projects would maintain the existing dugouts, but a volunteer group will build the covers, which are wood framed and asphalt shingle roofed. MTLL/Heat will build these dugouts on available weekends during the summer and fall of 2022 and ensure that no covers are incomplete while games are played. MTLL/Heat will also paint or stain the exposed wood members in 2023, after they have had a year of drying. Costs for the improvements will be shared by MTLL/Heat and Zuern Building Supplies but are supported by MTLL.

Based on preliminary analysis, a building permit is required from the Inspections Division prior to construction being started.

A preliminary review by the Inspections Division, of the plans submitted for the dugouts was completed, and the requirements of the Mequon and State building codes were met.

Dugouts for the baseball fields were not specified as a need in the most recent Park and Open Space Board Capital Improvement Plan project list for 2022.

Jack Blume, Steve Wirth, and Chad Wirth all representatives from MTLL/Heat will be the liaisons for MTLL/Heat on the project and will have a representative attend the meeting for further information and discussion.

Fiscal Impact

MTLL has estimated that the costs associated with the construction of all ten (10) canopies will be approximately \$35,506. The City of Mequon will not cost participate in any costs associated with completion of the project. The City will also consider participation from MTLL/Heat in the future maintenance and upkeep needs of the canopies.

Recommendation

Staff recommends that the Public Works Committee and Common Council review and consider approval of the installation of the proposed dugout donation from MTLL/Heat.

Attachments:

MTLL Baseball Dedication Agreement MOU 2022- dugout canopies (PDF)
MTLL DUGOUTS River Barn Field 1 Packet (PDF)
MTLL DUGOUTS River Barn Field 2-3 Packet (PDF)
MTLL DUGOUTS Rotary South-Schmit Packet (PDF)

COMMON COUNCIL
OF THE
CITY OF MEQUON

RESOLUTION 3961

A Resolution Authorizing Receipt of Infrastructure Improvements and Execution of a Dedication Agreement with Thiensville-Mequon Youth Baseball Association for Dugout Improvements at Rotary and River Barn Parks.

A. The City owns active and passive use parklands for the use and enjoyment of its citizens, and other users.

B. The Park and Open Space Board of the City of Mequon and the City are authorized to accept monetary and in-kind donations for parks and parklands with the approval of the Common Council of the City of Mequon, pursuant to Section 27.08 (2)(b), Wisconsin Statutes.

C. The Mequon-Thiensville/Heat (MTLL/Heat) has offered to donate infrastructure that include ten (10) dugout canopies to five (5) fields between River Barn and Rotary Parks.

D. MTLL/Heat estimates the cost of this infrastructure at approximately \$35,506.

E. The City's Donation Policy requires that real property donations over \$5,000 cannot be accepted without prior approval from the Common Council.

F. MTLL/Heat and the City will execute a Dedication Agreement to address unbudgeted and ongoing expenditures related to maintenance.

BASED ON THE FOREGOING RECITALS, IT IS RESOLVED by the Common Council of the City of Mequon, Wisconsin that:

1. That the City be and is hereby authorized to accept the donated infrastructure of (10) dugout canopies from MTLL/Heat, with its grateful appreciation.

2. That upon the completion of the construction of all improvements and infrastructure required for the project or upon written notification to MTLL/Heat from the City, MTLL/Heat shall donate the constructed improvements and all associated documentation related thereto, including but not limited to any architectural drawings, plans, engineering reports and/or surveys, to the City for public purposes.

3. That the appropriate parties are authorized to execute the Dedication Agreement between MTLL/Heat and the City as attached to this resolution.

Approved by: Andrew Nerbun, Mayor

Date Approved: June 14, 2022

I certify that the foregoing Resolution was adopted by the Common Council of the City of Mequon, Wisconsin, at a meeting held on June 14, 2022.

Caroline Fochs, City Clerk

DEVELOPMENT and DEDICATION AGREEMENT FOR DUGOUT CANOPY IMPROVEMENTS AT ROTARY AND RIVER BARN PARKS

THIS DEVELOPMENT and DEDICATION AGREEMENT ("Agreement"), made as of the 18th of May, 2022, by and between Mequon-Thiensville Little League/Mequon Heat (MTLL) ("MTLL") and the City of Mequon, Wisconsin ("CITY") (referred to individually, each of the foregoing is a "Party" and collectively, the "Parties").

RECITALS

WHEREAS, River Barn Park and Rotary Park are part of the CITY's park system and are under the jurisdiction of the CITY and the Mequon Park and Open Space Board; and

WHEREAS, the CITY's Comprehensive Park, Recreation & Open Space Plan ("Park Plan") identifies recreational facilities and active and passive parks as critical components enhancing the quality of life within the City of Mequon; and

WHEREAS, the Park Plan identifies River Barn Park and Rotary Park as a community parks with a list of specifically prioritized park improvements; and

WHEREAS, sport-specific park improvements are not among the highest priorities for River Barn Park or Rotary Park within the Park Plan; and

WHEREAS, MTLL utilizes multiple softball/baseball fields at both River Barn Park and Rotary Park; and

WHEREAS, MTLL has indicated a need for dugout canopies to enhance the game experience at multiple playing fields at both River Barn Park and Rotary Park (the "Project"); and

WHEREAS, MTLL proposes to install dugout canopies at (5) of the softball/baseball field that they are currently using, at its sole cost of construction; and

WHEREAS, MTLL proposes install of dugout canopies at all (3) fields at River Barn Park and Schmit and South fields at Rotary Park

WHEREAS, adding infrastructure to a public park facility results in maintenance costs to the CITY upon construction of said infrastructure; and

WHEREAS, without the MTLL Project, the City would not incur these maintenance costs; and

WHEREAS, MTLL has agreed to donate the infrastructure to the City and participate in ongoing operation and maintenance responsibilities and cost; and

WHEREAS, MTLL has raised funds sufficient to pay for the design and construction of the Project that it intends to construct on CITY property and then turn the Project over to the CITY by way of dedication; and

WHEREAS, the CITY has reviewed and approved the plans and renderings for the Project and agrees that the Project would be an asset to the CITY and the residents of the CITY, but needs to make sure that the Project will be completed in a timely and workmanlike manner without the expenditure of any CITY money;

NOW, THEREFORE, the Parties agree as follows:

ARTICLE I OBLIGATIONS OF THE PARTIES

1. MTLL shall construct, at its sole cost and expense, the Project within Rotary and River Barn Parks in accordance with the Approved Plans for the Project, which is attached hereto and incorporated herein by reference as Exhibit A.
2. The Project will be managed by MTLL under the oversight of the CITY.
3. After the Project is fully completed (as determined by the CITY) MTLL shall dedicate the Project to the CITY, and the CITY shall accept dedication of the Project.
4. After the Project is dedicated to the CITY, the CITY shall take over all responsibility for the use and maintenance of the Project. However, the City will consider subsequent contributions from MTLL, both monetary and in-kind, of the ongoing maintenance requirements for the Project.
5. CITY will provide reasonable access to MTLL at Rotary and River Barn Parks for the construction of the Project.
6. Recommendation from the Park and Open Space Board constitutes review of architecture as required by the City of Mequon Code of Ordinances.
7. Recommendation by the Park and Open Space Board, Finance-Personnel Committee and approval of the Common Council does not constitute the right to construct. Proper permits must be obtained through the City Inspections Division.
8. MTLL shall be responsible for ensuring that all needed utilities are provided to the Property. MTLL shall be solely responsible for marking all underground utility prior to the Project and shall be responsible for any damage that may occur as part of the construction.
9. Any easement that may be required for the installation of private utilities requires Common Council approval.

10. CITY agrees to pay the ongoing utility costs associated with the Project after acceptance of the dedication.

11. MTLL shall not charge any fee for the use of the property without the express written consent of CITY, which consent can be withheld in its absolute discretion.

12. Should CITY renovate Rotary or River Barn Park to the extent that the dugout canopies are impacted, MTLL is not owed repayment or damages for donated infrastructure.

ARTICLE II REPRESENTATIONS AND WARRANTIES

Section 2.1 Representations and Warranties of CITY. The CITY makes the following representations and warranties:

(1) CITY is a municipal corporation of the State of Wisconsin and has the power to enter into this Agreement and carry out its obligations hereunder.

(2) CITY makes no representation or warranty, either express or implied, as to the Property, or its condition or the soil conditions thereon, or that the Property shall be suitable for MTLL's purposes or needs.

(3) Neither the execution and delivery of this Agreement, the consummation of the transactions contemplated hereby, nor the fulfillment of or compliance with the terms and conditions of this Agreement is prevented, limited by or conflicts with or results in the breach of, the terms, conditions or provision of any law, ordinance, charter, contractual restriction, evidence of indebtedness, agreement or instrument of whatever nature to which the CITY is now a party or by which it is bound, or constitutes a default under any of the foregoing.

(4) The private development of the Project is consistent with the public purposes, plans and objectives of the CITY.

Section 2.2 Representations and Warranties of MTLL. MTLL makes the following representations and warranties:

(1) MTLL is a Wisconsin Non-Stock/Non-Profit Corporation and has the power to enter into this Agreement and to perform its obligations hereunder and is in good standing under the laws of the State of Wisconsin.

(2) MTLL will cause the Project to be constructed in accordance with the terms of this Agreement, the Plans and Specifications and all local, state and federal laws, ordinances, approvals, licenses, and regulations (including, but not limited to, environmental, zoning, energy conservation, building code and public health laws, ordinances and regulations), except for minor changes to the Plans and Specifications approved in writing by CITY staff which will not have a material adverse effect on the Project.

(3) Neither the execution and delivery of this Agreement, the consummation of the transactions contemplated hereby, nor the fulfillment of or compliance with the terms and conditions of this Agreement is prevented, limited by or conflicts with or results in the breach of, the terms, conditions or provision of any contractual restriction, evidence of indebtedness, agreement or instrument of whatever nature to which MTLL is now a party or by which it is bound, or constitutes a default under any of the foregoing.

(4) Insurance. MTLL or its contractors shall maintain, until CITY's acceptance of the dedication of the Project, Commercial general liability insurance covered under a comprehensive general liability policy including contractual liability issued by insurers licensed in the State of Wisconsin, with Best's A ratings and in the financial size category as insurers of similar projects, with such policies (the "Insurance Policies") in amounts maintained by developers of similar projects, and insuring against bodily injury, including personal injury, death, property damage and other risks and casualties. Each Insurance Policy shall require the insurer to provide at least thirty (30) days prior written notice to the CITY of any material change or cancellation of such policy. The CITY shall be named as an additional insured/loss payee on all policies of insurance except worker's compensation insurance. MTLL further understands and agrees that any builders risk coverage is its responsibility.

(5) Indemnification. Except as caused, in whole or in part, by negligence or wrongful act or omission of the CITY, if the persons or property of others sustain loss, damage or injury resulting directly or indirectly from the negligence or wrongful act or omission of MTLL or its contractors, subcontractors or materialmen in their performance of this Agreement or from MTLL's failure to comply with any of the provisions of this Agreement or of law, MTLL shall indemnify and hold the CITY harmless from any and all claims and judgments for damages, and from costs and expenses to which the CITY may be subjected or which it may suffer or incur by reason thereof, provided; however, that the CITY shall provide to MTLL promptly, in writing, notice of the alleged loss, damage or injury.

(6) The Project shall at all times be subject to CITY inspection and approval, and the CITY shall not be required to accept conveyance of the Project unless it has been constructed in a good workmanlike manner, in accordance with the approved plans. Following approval by the CITY of the completed Project, the Project shall be dedicated and conveyed to the CITY, at no cost or expense to the CITY. MTLL shall provide to the CITY, from the general contractor constructing the Project, a one-year warranty against defects in construction, materials, and workmanship, from the date of conveyance to the CITY, in a customary form reasonably acceptable to the CITY.

(7) MTLL acknowledges and agrees that it is not entitled to any just compensation for the donation of the improvements to CITY and that this donation is a material inducement for CITY to permit the construction of such improvements upon CITY-owned real property.

(8) MTLL acknowledges and agrees that CITY will ultimately own and operate the improvements associated with the Project and has the right to provide use of the improvements to other entities, subject to CITY approval.

ARTICLE III DEFAULT AND REMEDIES

The occurrence of any one or more of the following events shall constitute a default ("Default") hereunder.

(a) Any representation or warranty made by MTLL or the CITY in this Agreement, or any document or financial statement delivered by MTLL pursuant to this Agreement, shall prove to have been false in any material respect as of the time when made or given; or

(b) Except as provided for in (a), MTLL or the CITY shall breach or fail to perform timely any of its covenants or obligations under this Agreement, and such failure shall continue for thirty (30) days following written notice thereof from the other party; however, if the breach or failure was not the result of an intentionally wrongful act or omission of the breaching party and the breach or failure cannot be cured using commercially reasonable and diligent efforts within such 30-day period but could, with additional time, be cured using commercially reasonable and diligent efforts, such 30-day cure period shall be extended for the period reasonably necessary to cure if (and for such period as) (i) the breaching party uses commercially reasonable and diligent efforts during such 30-day period; (ii) the breaching party continues to use all commercially reasonable and diligent efforts to cure after such 30-day period; and (iii) such efforts are adequate to ensure a cure; or

(c) Construction of the Project shall be abandoned (no material work having been completed) for more than ninety (90) consecutive days after commencement, or if the Project is not completed on or before the deadlines set forth in this Agreement, or if any portion of the Project shall be damaged by fire or other casualty and not be repaired, rebuilt or replaced; or

(d) If MTLL shall cease to exist; or

Except as otherwise set forth in this Agreement, upon the occurrence of any Default, without further notice, demand or action of any kind by the non-defaulting party, the non-defaulting party may, at its option, pursue any or all of the rights and remedies available at law and/or in equity against the defaulting party and/or the Project. The non-defaulting party shall also have the right to suspend performance of any of its obligations or covenants under this Agreement and/or to terminate this Agreement. Except as otherwise set forth herein, no remedy herein conferred upon the non-defaulting party is intended to be exclusive of any other remedy and each and every such remedy shall be cumulative and shall be in addition to every other remedy given under this Agreement, and/or now or hereafter existing at law or in equity. No failure or delay on the part of the non-defaulting in exercising any right or remedy shall operate as a waiver thereof nor shall any single or partial exercise of any right preclude other or further exercise thereof or the exercise of any other right or remedy.

MTLL shall pay all costs and expenses, including attorney's fees and costs, associated with the enforcement of the CITY's rights against MTLL under this Agreement, including without limitation the enforcement of such rights in any bankruptcy, reorganization or insolvency

proceeding involving MTLL. Any and all such fees, costs and expenses incurred by the CITY which are to be paid by MTLL, shall be paid by MTLL to the CITY within 90 days following delivery of invoices documenting the costs.

ARTICLE IV MISCELLANEOUS PROVISIONS

Section 4.1 Execution in Multiple Counterparts. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original and all of which together shall constitute one and the same instrument.

Section 4.2 Construction. The Parties acknowledge and represent that this Agreement has been the subject of negotiation by all Parties and that all Parties together shall be construed to be the drafter hereof and this Agreement shall not be construed against any Party individually as drafter.

Section 4.3 Legal Relationship. Nothing in this Agreement shall be construed to create an employer/employee relationship, joint employer, joint venture or partnership relationship, or a principal/agent relationship.

Section 4.4 Survival. All agreements, representations, covenants and warranties made herein shall survive the execution of this Agreement and the making of the grants hereunder. This Agreement shall be binding upon the Parties, their respective successors and assigns.

Section 4.5 No Waiver. The failure of any Party to require strict performance of any provision of this Agreement will not constitute a waiver of the provision or of any other of that Party's rights under this Agreement. Rights and obligations under this Agreement may only be waived or modified in writing. A writing waiving a right must be signed by the Party waiving the right. If an obligation of a Party is being waived or released, the writing must be signed by the affected Parties. Waiver of one right, or release of one obligation, will not constitute a waiver or release of any other right or obligation of any Party. Waivers and releases shall affect only the specific right or obligation waived or released and will not affect the rights or obligations of any other Party that did not sign the waiver or release.

Section 4.6 Severability of Provisions. If any provision of this Agreement shall be held or declared to be invalid, illegal or unenforceable by reason of its being contrary to any applicable law, such provision shall be deemed to be deleted from this Agreement without impairing or prejudicing the validity, legality or enforceability of the remaining provisions.

Section 4.7 Law Governing. This Agreement will be governed and construed in accordance with the laws of the State of Wisconsin. Except as otherwise specifically and expressly set forth in this Agreement, the venue for any disputes arising under this Agreement shall be the Circuit Court for Ozaukee County.

Section 4.8 Notices and Demands. Except as otherwise expressly provided in this Agreement, a notice, demand or other communication under this Agreement by any Party to any

other shall be sufficiently given or delivered if it is dispatched by registered or certified mail, postage prepaid, return receipt requested, or delivered personally, and

- (a) in the case of MTLL is addressed to or delivered personally to:

Jack Blume
11938 N Ridgeway Avenue
Mequon, WI 53092

- (b) in the case of CITY is addressed to or delivered personally to:

Mr. William H. Jones, Jr., City Administrator
City of Mequon
11333 N. Cedarburg Rd.
Mequon, WI 53092

With a Copy to:

Mr. Brian C. Sajdak, City Attorney
Wesolowski, Reidenbach & Sajdak, S.C.
11402 W. Church St.
Franklin, WI 53132

or at such other address with respect to any such Party as that Party may, from time to time, designate in writing and forward to the other, as provided in this Section.

Section 4.9 Force Majeure. As used herein, the term "Force Majeure" shall mean any accident, breakage, war, insurrection, civil commotion, riot, act of terror, act of God or the elements, governmental action (except for governmental action by CITY with respect to obligations of CITY under this Agreement), alteration, strike or lockout, picketing (whether legal or illegal), inability of a Party or its agents or contractors, as applicable, to obtain fuel or supplies, unusual weather conditions, or any other cause or causes beyond the reasonable control of such Party or its agents or contractors, as applicable. No Party to this Agreement shall be in default hereunder for so long as such Party or its agents and contractors, if applicable, are prevented from performing any of its obligations hereunder due to a Force Majeure occurrence.

Section 4.10 Compliance. Nothing contained in this Agreement is intended to or has the effect of releasing MTLL, its successors and/or assigns, from compliance with all applicable laws, rules, regulations and ordinances in addition to compliance with all terms, conditions and covenants contained in this Agreement.

Section 4.11 Amendment. This Agreement may be rescinded, modified or amended, in whole or in part, by mutual agreement of the Parties hereto, their successors and/or assigns, in writing signed by all Parties.

IN WITNESS WHEREOF, the Parties hereto have executed this Agreement as of the date indicated.

CITY OF MEQUON

Dated: _____

BY: _____
Andrew Nerbun, Mayor

ATTEST:

BY: _____
Caroline Fochs, Clerk

Thiensville Mequon Youth Baseball
Association (TMYBA) INC.

Dated: _____

BY: _____

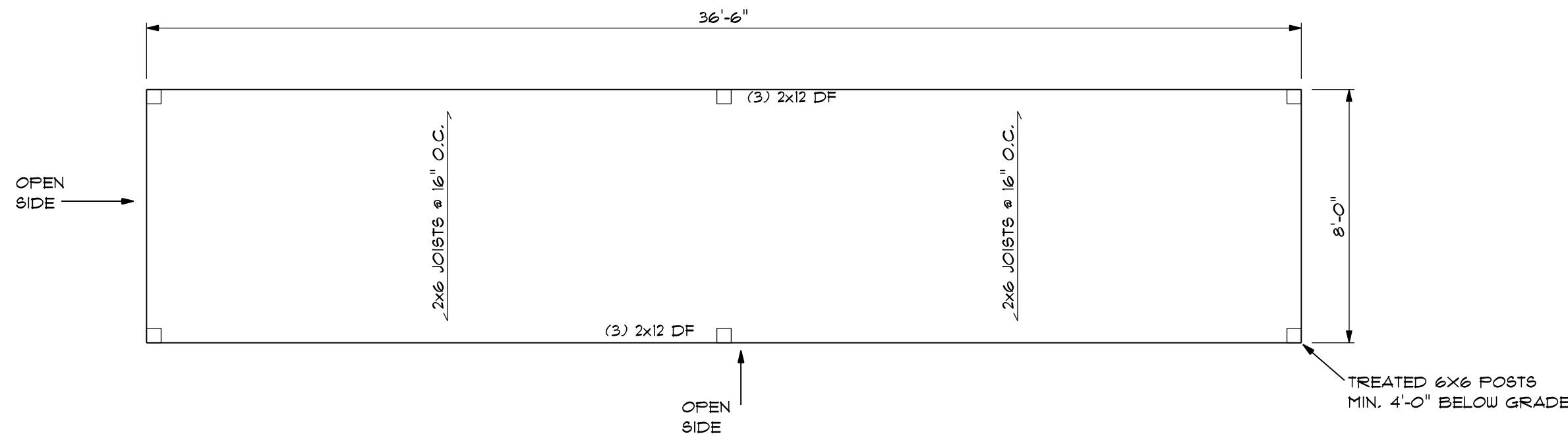
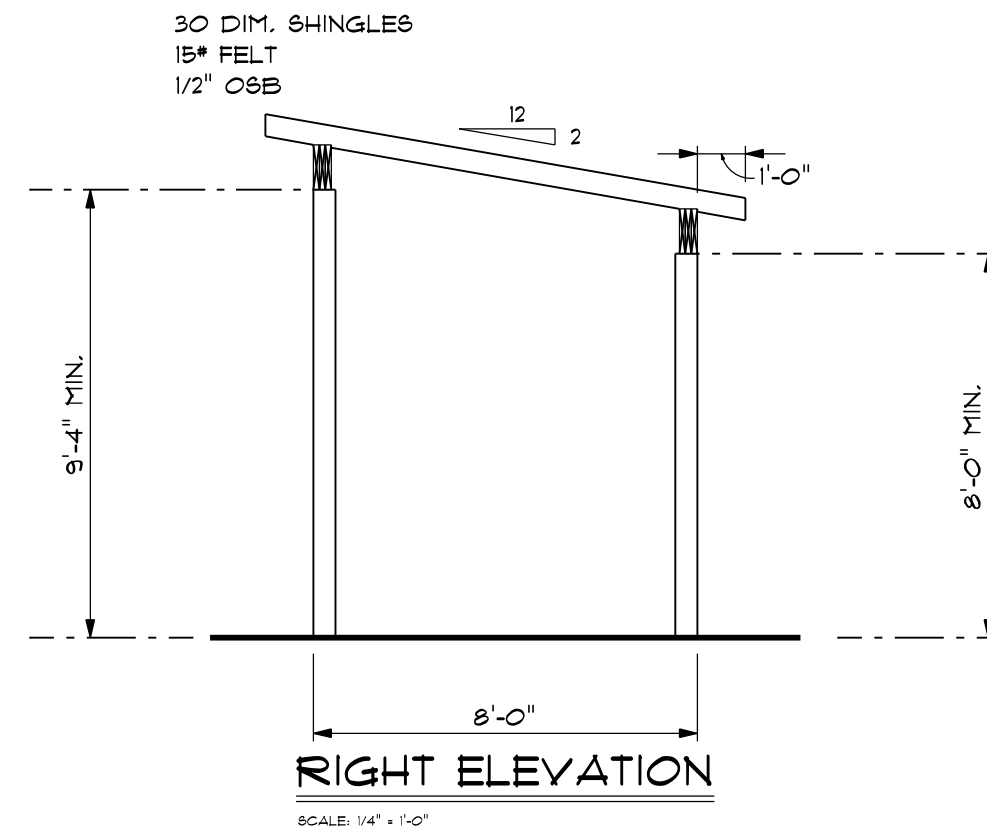
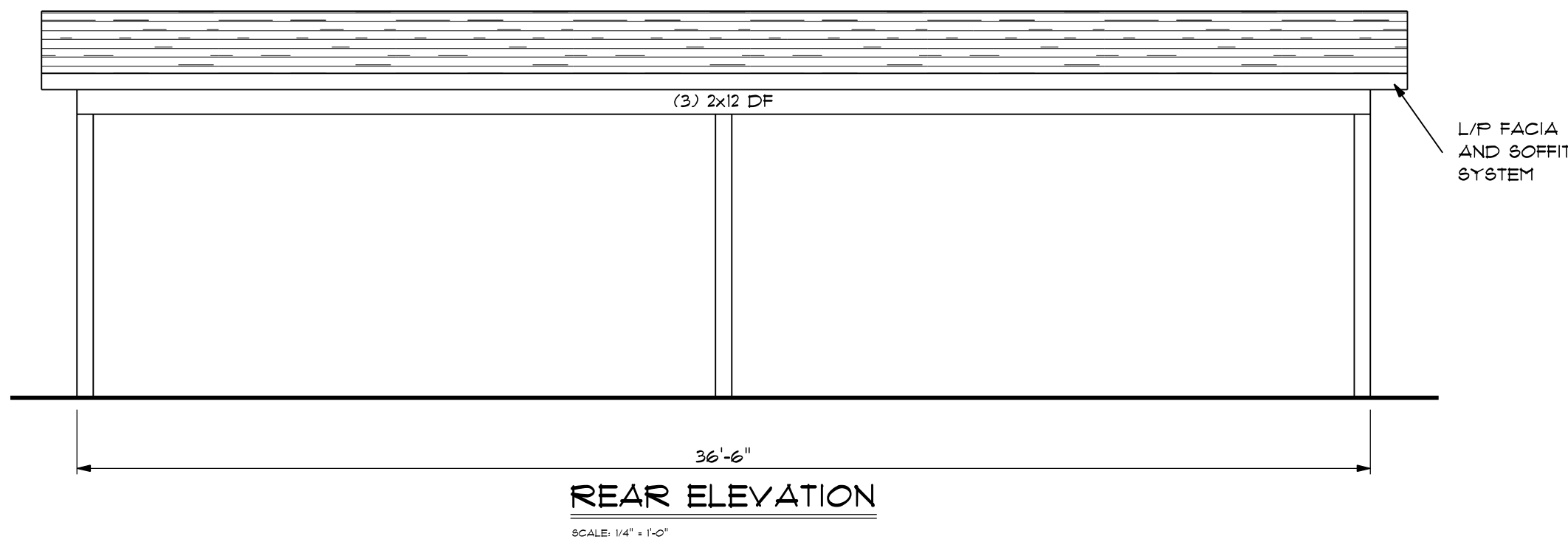
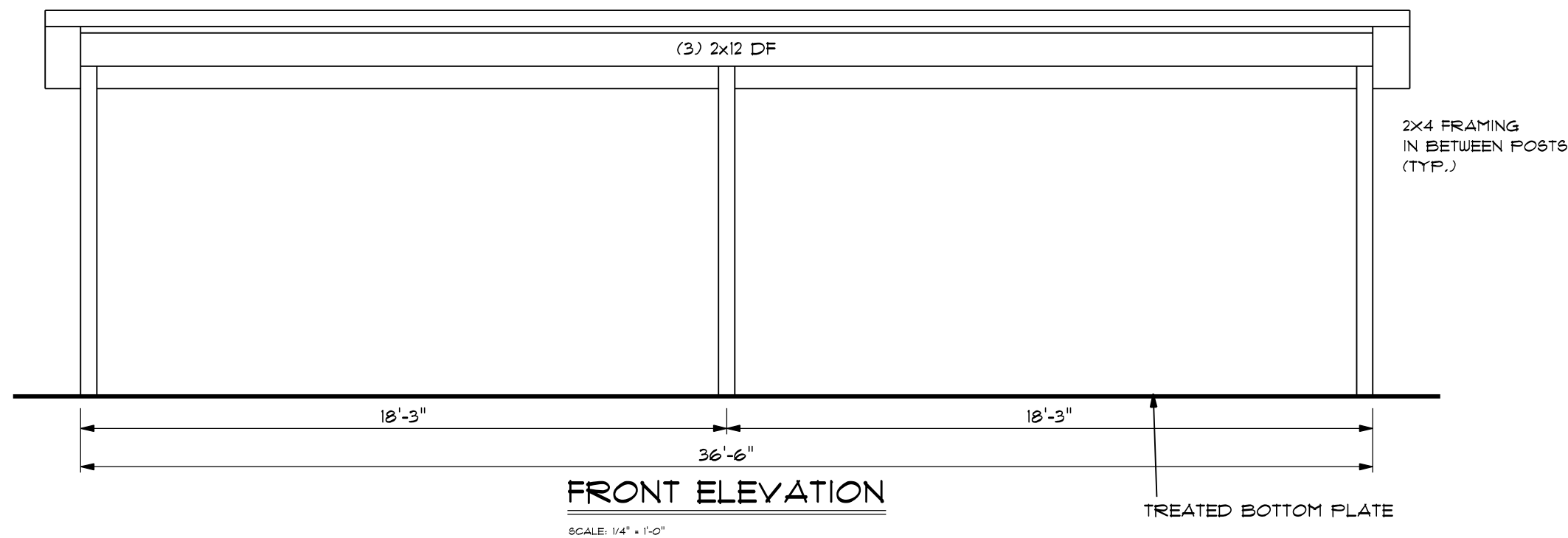
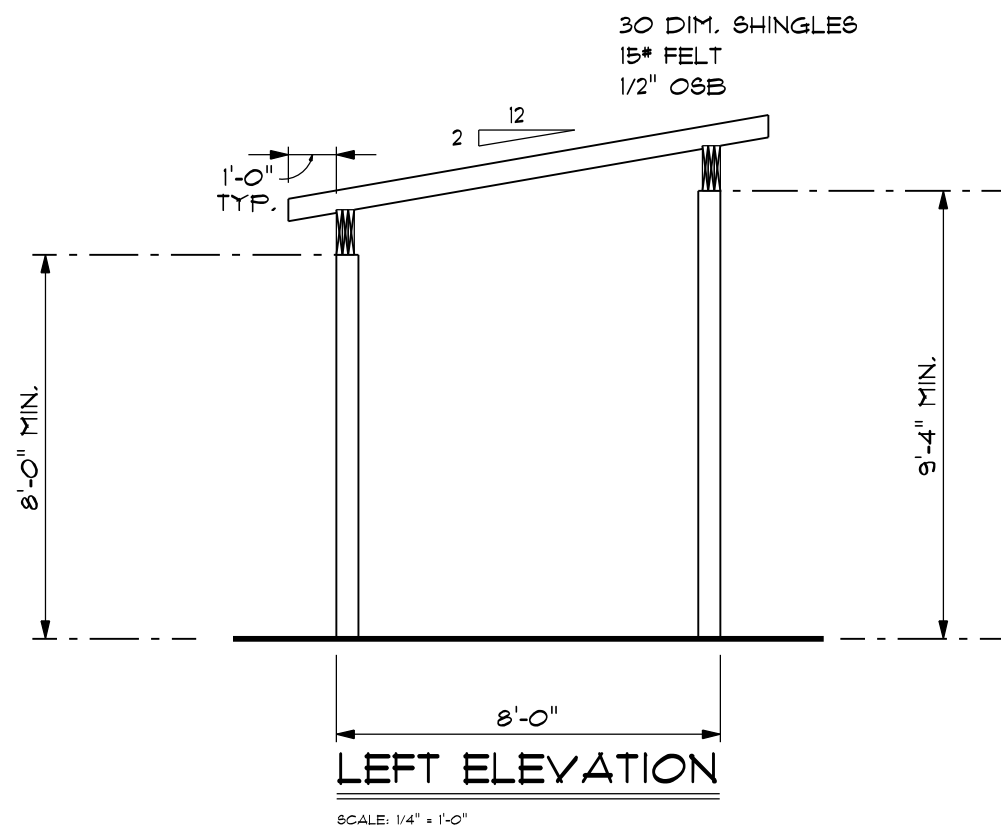
DW'G BY:
CMM
DATE 03/31/22
REVISED



RIVER BARN DUGOUT FIELD #1

OWNER:

Attachment: MTL DUGOUTS River Barn Field 1 Packet (RESOLUTION 3961 : MTL/IHEAT Dugouts Donation Agreement)

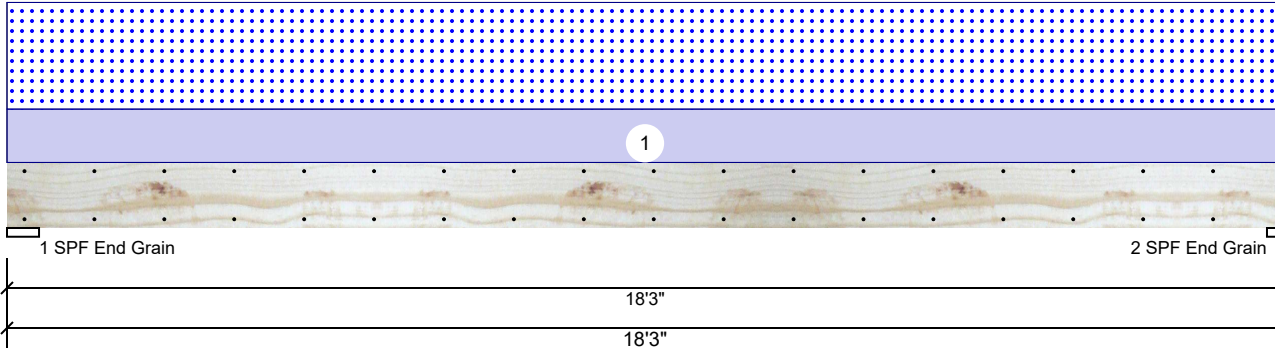


NOTE: ALL DIMENSIONS AND ELEVATIONS ARE APPROXIMATE. OWNER/CONTRACTOR TO MAKE ANY NECESSARY CHANGES IN CONSTRUCTION TO MEET ALL CODES AND MANUFACTURERS SPECIFICATIONS.

ZUEP
BUILDING PRODUCTS & DESIGN CENTER
DRAWING NUMBER
1 OF 1
JOB# 4405

H1 D FIR-L #2 2.000" X 12.000" 3-Ply - PASSED

Level: Header



Member Information

Type:	Girder	Application:	Floor
Plies:	3	Design Method:	ASD
Moisture Condition:	Dry	Building Code:	IBC 2018
Deflection LL:	240	Load Sharing:	Yes
Deflection TL:	180	Deck:	Not Checked
Importance:	Normal - II		
Temperature:	Temp <= 100°F		

Reactions UNPATTERNED lb (Uplift)

Brg	Direction	Live	Dead	Snow	Wind	Co
1	Vertical	0	693	1386	0	
2	Vertical	0	676	1352	0	

Bearings

Bearing	Length	Dir.	Cap.	React D/L lb	Total	Ld. Case	Ld. Con
1 - SPF End Grain	5.500"	Vert	13%	693 / 1386	2079	L	D+S
2 - SPF End Grain	2.750"	Vert	26%	676 / 1352	2027	L	D+S

Analysis Results

Analysis	Actual	Location	Allowed	Capacity	Comb.	Case
Moment	8799 ft-lb	9'2 7/8"	9415 ft-lb	0.935 (93%)	D+S	L
Unbraced	8799 ft-lb	9'2 7/8"	9415 ft-lb	0.935 (93%)	D+S	L
Shear	1765 lb	1'4 3/4"	6986 lb	0.253 (25%)	D+S	L
LL Defl inch	0.387 (L/549)	9'2 15/16"	0.884 (L/240)	0.437 (44%)	S	L
TL Defl inch	0.580 (L/366)	9'2 15/16"	1.179 (L/180)	0.492 (49%)	D+S	L

Design Notes

- 1 Provide support to prevent lateral movement and rotation at the end bearings. Lateral support may also be required at the interior bearings by the building code.
- 2 Fasten all plies using 2 rows of Pneumatic Gun Nail (.120x3.25") at 12" o.c. Maximum end distance not to exceed 6".
- 3 Refer to last page of calculations for fasteners required for specified loads.
- 4 Girders are designed to be supported on the bottom edge only.
- 5 Top loads must be supported equally by all plies.
- 6 Top must be continuously laterally braced.
- 7 Bottom must be laterally braced at bearings.
- 8 Lateral slenderness ratio based on single ply width.

ID	Load Type	Location	Trib Width	Side	Dead 0.9	Live 1	Snow 1.15	Wind 1.6	Const. 1.25	Comments
1	Uniform		5-0-0	Top	15 PSF	0 PSF	30 PSF	0 PSF	0 PSF	Roof Rafter Load

Manufacturer Info

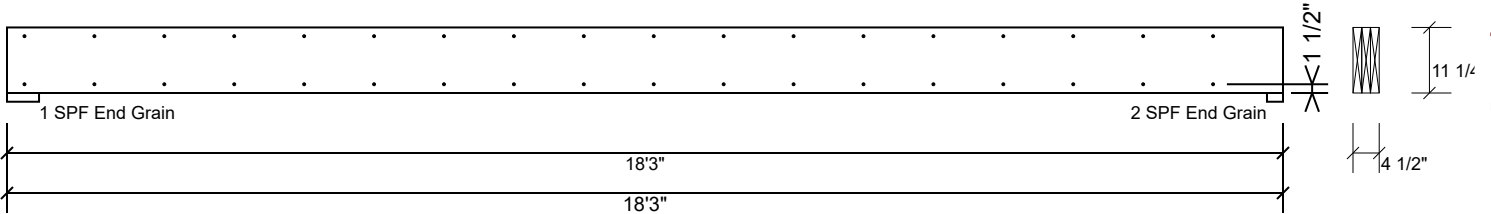


This design is valid until 3/1/2025



H1 D FIR-L #2 2.000" X 12.000" 3-Ply - PASSED

Level: Header



Multi-Ply Analysis

Fasten all plies using 2 rows of Pneumatic Gun Nail (.120x3.25") at 12" o.c.. Nail from both sides. Maximum end distance not to exceed 6".

Capacity	0.0 %
Load	0.0 PLF
Yield Limit per Foot	163.0 PLF
Yield Limit per Fastener	81.5 lb.
Yield Mode	IV
Edge Distance	1 1/2"
Min. End Distance	3"
Load Combination	
Duration Factor	1.00

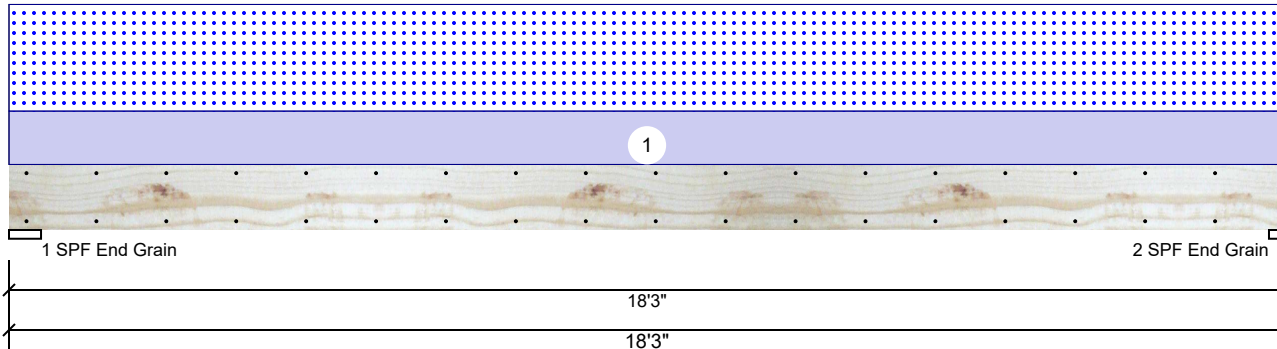
Manufacturer Info



This design is valid until 3/1/2025

H1 D FIR-L #2 2.000" X 12.000" 3-Ply - PASSED

Level: Header



Alternate Solutions

Manufacturer	Product	Moment SI	Shear SI	Defl LL/ act	Defl TL/ act
--------------	---------	-----------	----------	--------------	--------------

Joists may be substituted in applications where the joist loading conditions, direction, length, on-center spacing, and bearings remain unchanged. Hangers shall be checked since the flange width might be different.

Manufacturer Info



This design is valid until 3/1/2025



Cedarburg
N144 W5800 Pioneer Rd
Cedarburg, Wisconsin 53012

Estimate

4.a.b

Estimate No 461880
Estimate Date 04/19/2022

Invoice Address
CASH SALES CEDARBURG
N144 W5800 PIONEER RD
CEDARBURG, WISCONSIN, 53012

Delivery Address
CASH SALES CEDARBURG
N144 W5800 PIONEER RD
CEDARBURG, WISCONSIN, 53012

Customer CASH3
Your Ref JVER | RIVERBARN #1
Expires 05/19/2022
Taken By Alex Sprtel
Sales Rep Cedarburg House Account



Page 1 of 2

Special Instructions	Notes

Line	Qty	Description	Product Code	Unit Price	Total Price
1		COVER 1			
2	3 ea	6X6-14' TREATED #2 GC SYP	307	88.55	265.65
3	3 ea	6X6-12' TREATED #2 GC SYP	306	78.05	234.15
4	12 ea	2X12-20' WHITE/DOUG FIR SEL- STRUCT KD S4S	967	71.14	853.68
5	30 ea	2X6- 8' TREATED #1 GC SYP	252	13.00	390.00
6	4 ea	2X6-20' TREATED #1 GC SYP	137	41.19	164.76
7	10 bdl	GAF TIMBERLINE HDZ CHARCOAL	23826	40.84	408.40
8	1 ea	RL #15 LB ASTM-D226 RF FELT 4-SQ	5385	27.33	27.33
9	10 ea	1/2" 4X8 OSB SHEATHING 15/32"	2001	44.80	448.00
10	6 ea	12"X16' LP SMART SOFFIT SOLID CEDAR PF SNOWSCAPE 38 SERIES	24596	39.76	238.56
11	6 ea	6X6 ADJ POST ANCHOR USP PA66-TZ	20532	30.37	182.22
12		MISC HARDWARE, FASTENERS, & CONCRETE SPECIFIED BY INSTALLER			
13		End of COVER 1			3,212.75
14		COVER 2			
15	3 ea	6X6-14' TREATED #2 GC SYP	307	88.55	265.65
16	3 ea	6X6-12' TREATED #2 GC SYP	306	78.05	234.15
17	12 ea	2X12-20' WHITE/DOUG FIR SEL- STRUCT KD S4S	967	71.14	853.68
18	30 ea	2X6- 8' TREATED #1 GC SYP	252	13.00	390.00
19	4 ea	2X6-20' TREATED #1 GC SYP	137	41.19	164.76
20	10 bdl	GAF TIMBERLINE HDZ CHARCOAL	23826	40.84	408.40
21	1 ea	RL #15 LB ASTM-D226 RF FELT 4-SQ	5385	27.33	27.33
22	10 ea	1/2" 4X8 OSB SHEATHING 15/32"	2001	44.80	448.00
23	6 ea	12"X16' LP SMART SOFFIT SOLID CEDAR PF SNOWSCAPE 38 SERIES	24596	39.76	238.56
24	6 ea	6X6 ADJ POST ANCHOR USP PA66-TZ	20532	30.37	182.22
25		MISC HARDWARE, FASTENERS, & CONCRETE SPECIFIED BY INSTALLER			
26		End of COVER 2			3,212.75

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Cedarburg
N144 W5800 Pioneer Rd
Cedarburg, Wisconsin 53012

4.a.b
Estimate

Estimate No **461880**
Estimate Date **04/19/2022**

Invoice Address
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N144 W5800 PIONEER RD
CEDARBURG, WISCONSIN, 53012

Delivery Address
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CEDARBURG, WISCONSIN, 53012

Customer CASH3
Your Ref JVER | RIVERBARN #1
Expires 05/19/2022
Taken By Alex Sprtel
Sales Rep Cedarburg House Account



Page 2 of 2

There are no returns on special orders.
No returns after 30 days.

Print name _____

Signature _____

Total Amount	\$6,425.50
Sales Tax	\$353.41
Quotation Total	\$6,778.91
Balance Due	

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DW'G BY:
CMM
DATE 03/31/22
REVISED

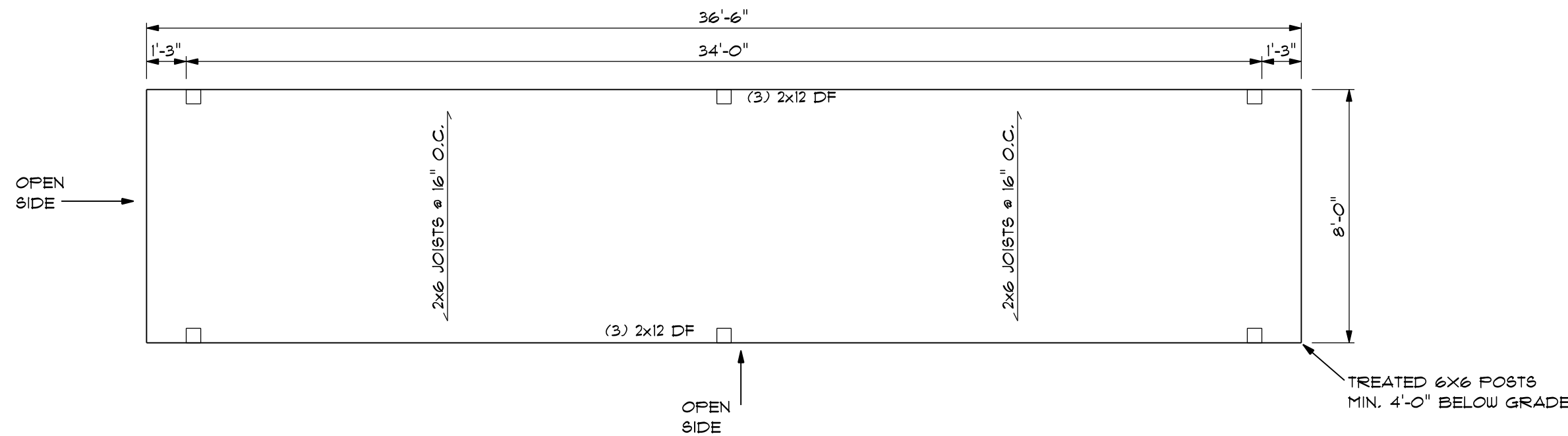
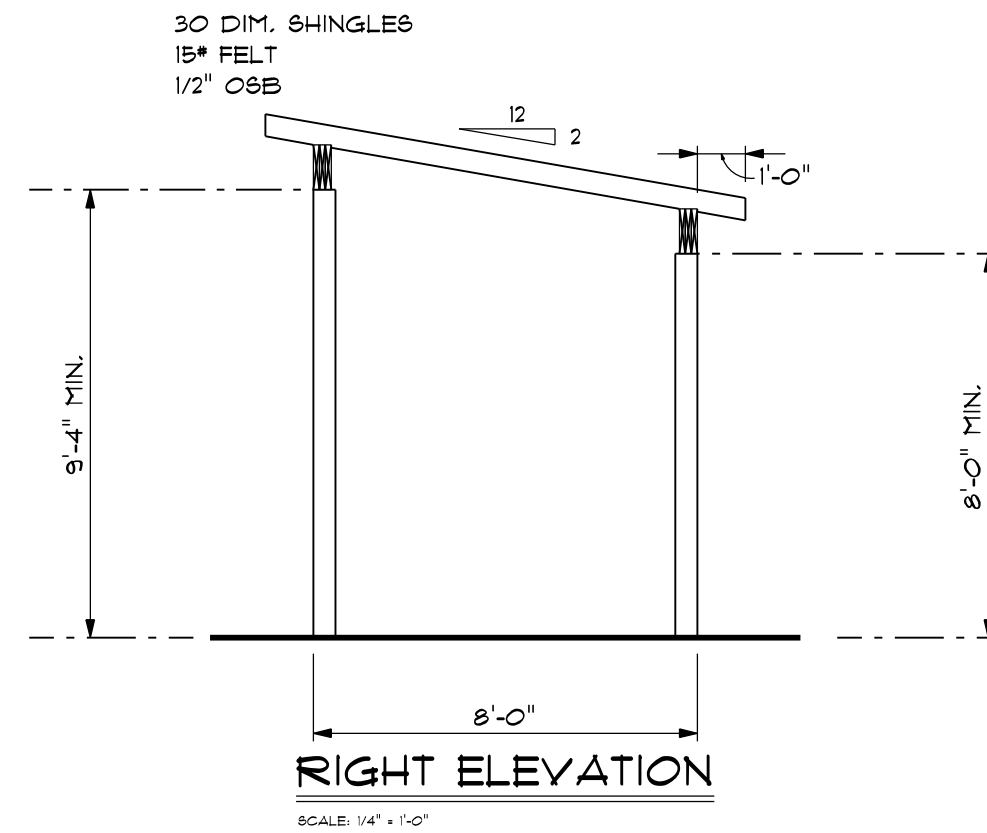
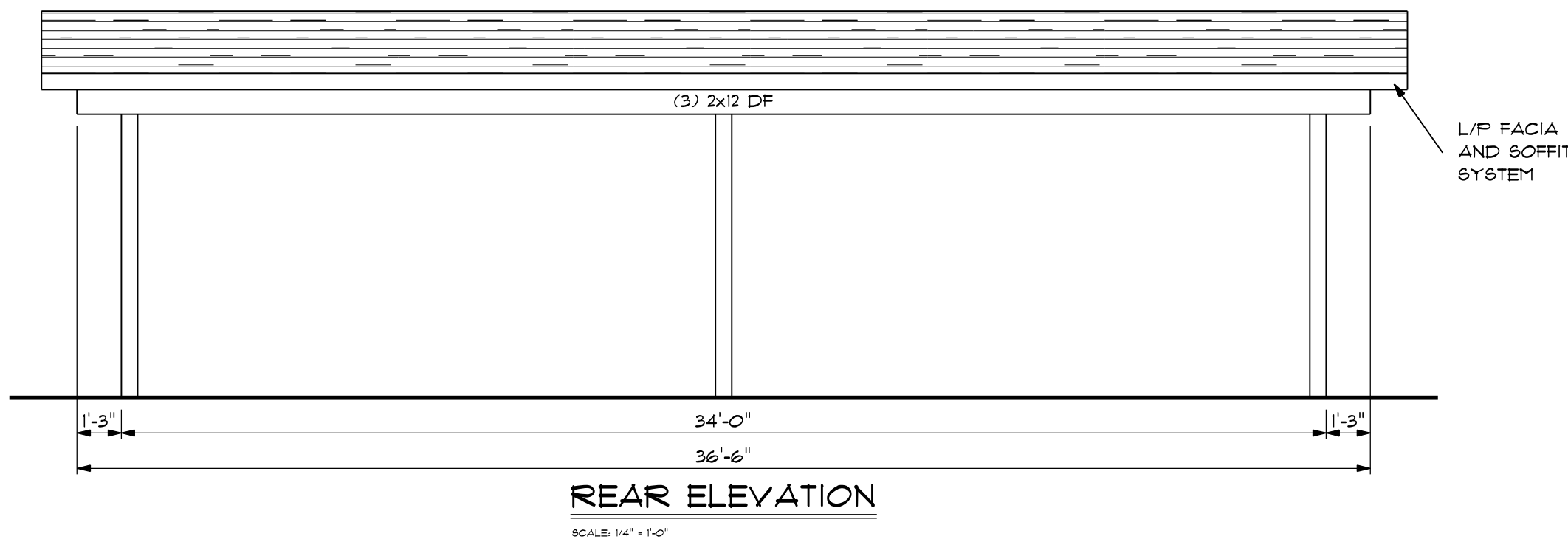
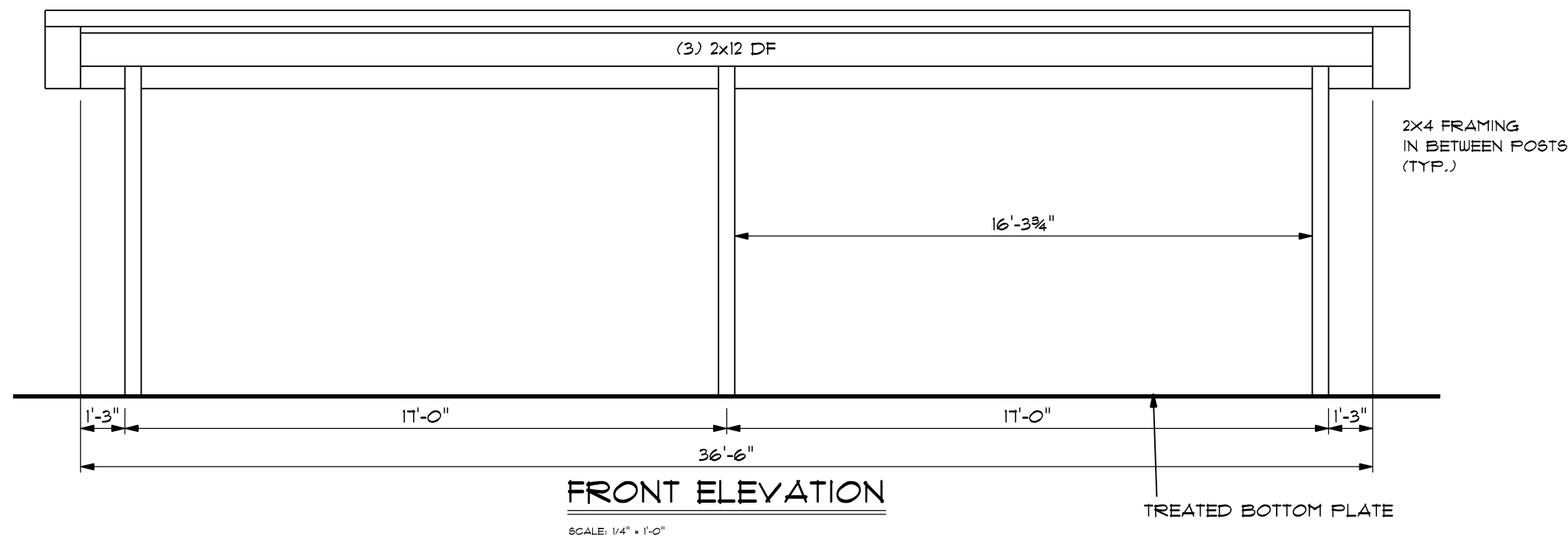
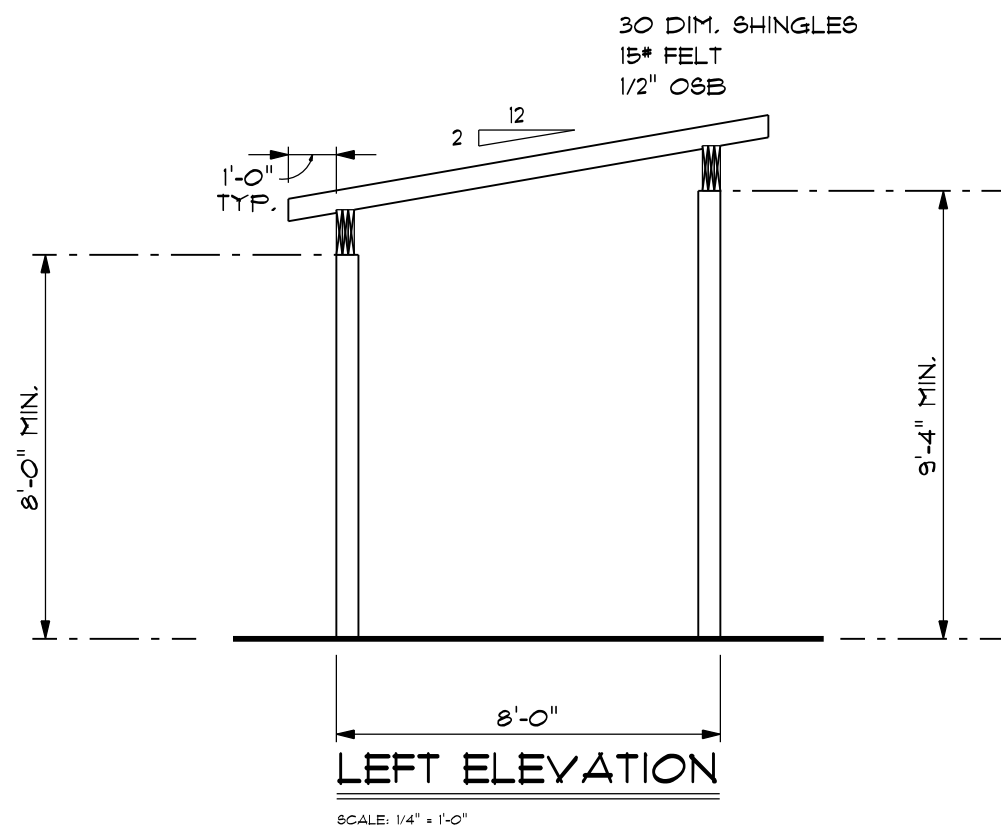


RIVER BARN DUGOUT FIELD #2

OWNER:

ZUEP
BUILDING PRODUCTS & DESIGN CENTER
DRAWING NUMBER
1 OF 1
JOB# 4405

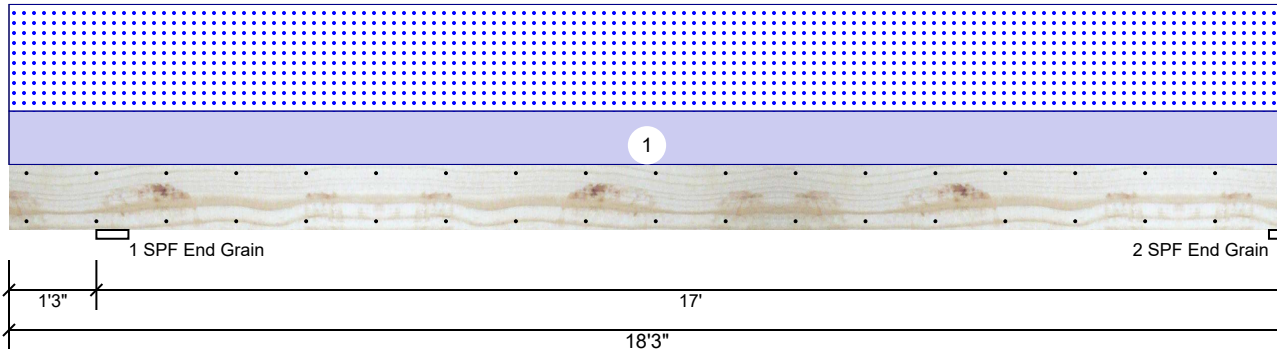
Attachment: MTLL DUGOUTS River Barn Field 2-3 Packet (RESOLUTION 3961 : MTLL/HEAT Dugouts Donation Agreement)



NOTE: ALL DIMENSIONS AND ELEVATIONS ARE APPROXIMATE. OWNER/CONTRACTOR TO MAKE ANY NECESSARY CHANGES IN CONSTRUCTION TO MEET ALL CODES AND MANUFACTURERS SPECIFICATIONS.

H1 D FIR-L #2 2.000" X 12.000" 3-Ply - PASSED

Level: Header



Member Information

Type: Girder
Plies: 3
Moisture Condition: Dry
Deflection LL: 240
Deflection TL: 180
Importance: Normal - II
Temperature: Temp <= 100°F

Application: Floor
Design Method: ASD
Building Code: IBC 2018
Load Sharing: Yes
Deck: Not Checked

Reactions UNPATTERNED lb (Uplift)

Brg	Direction	Live	Dead	Snow	Wind	Co
1	Vertical	0	737	1474	0	
2	Vertical	0	632	1263	0	

Bearings

Bearing	Length	Dir.	Cap.	React D/L lb	Total	Ld. Case	Ld. Con
1 - SPF End Grain	5.500"	Vert	14%	737 / 1474	2211	LL	D+S
2 - SPF End Grain	2.750"	Vert	25%	632 / 1267	1898	_L	D+S

Analysis Results

Analysis	Actual	Location	Allowed	Capacity	Comb.	Case
Neg Moment	-176 ft-lb	1'3"	9415 ft-lb	0.019 (2%)	D+S	_L
Unbraced	-176 ft-lb	1'3"	4057 ft-lb	0.043 (4%)	D+S	_L
Pos Moment	7696 ft-lb	9'9 3/4"	9415 ft-lb	0.817 (82%)	D+S	_L
Unbraced	7696 ft-lb	9'9 3/4"	9415 ft-lb	0.817 (82%)	D+S	_L
Shear	1636 lb	17'1"	6986 lb	0.234 (23%)	D+S	_L
LL Defl inch	0.298 (L/668)	9'9 1/2"	0.830 (L/240)	0.359 (36%)	S	_L
TL Defl inch	0.446 (L/446)	9'9 1/2"	1.107 (L/180)	0.403 (40%)	D+S	_L
LL Cant	-0.071 (2L/420)	Lt Cant	0.200 (2L/240)	0.357 (36%)	S	_L
TL Cant	-0.107 (2L/281)	Lt Cant	0.300 (2L/180)	0.356 (36%)	D+S	_L

Design Notes

- 1 Provide support to prevent lateral movement and rotation at the end bearings. Lateral support may also be required at the interior bearings by the building code.
- 2 Fasten all plies using 2 rows of Pneumatic Gun Nail (.120x3.25") at 12" o.c. Maximum end distance not to exceed 6".
- 3 Refer to last page of calculations for fasteners required for specified loads.
- 4 Girders are designed to be supported on the bottom edge only.
- 5 Top loads must be supported equally by all plies.
- 6 Top must be continuously laterally braced.
- 7 Bottom must be laterally braced at bearings.
- 8 Lateral slenderness ratio based on single ply width.

Manufacturer Info

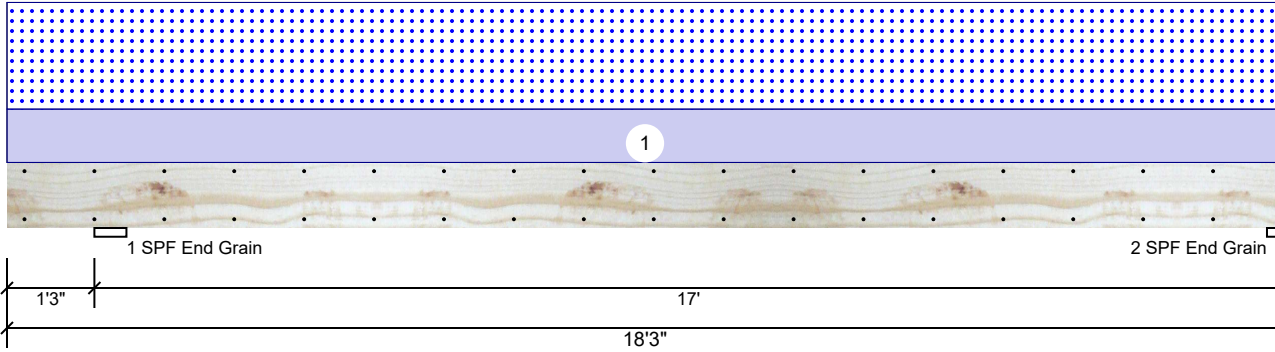


This design is valid until 3/1/2025



H1 D FIR-L #2 2.000" X 12.000" 3-Ply - PASSED

Level: Header



ID	Load Type	Location	Trib Width	Side	Dead 0.9	Live 1	Snow 1.15	Wind 1.6	Const. 1.25	Comments
1	Uniform		5-0-0	Top	15 PSF	0 PSF	30 PSF	0 PSF	0 PSF	Roof Rafter Load

Manufacturer Info

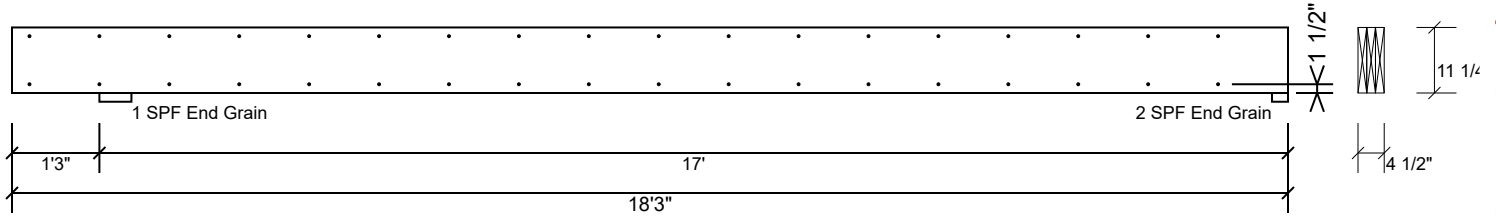
This design is valid until 3/1/2025





H1 D FIR-L #2 2.000" X 12.000" 3-Ply - PASSED

Level: Header



Multi-Ply Analysis

Fasten all plies using 2 rows of Pneumatic Gun Nail (.120x3.25") at 12" o.c.. Nail from both sides. Maximum end distance not to exceed 6".

Capacity	0.0 %
Load	0.0 PLF
Yield Limit per Foot	163.0 PLF
Yield Limit per Fastener	81.5 lb.
Yield Mode	IV
Edge Distance	1 1/2"
Min. End Distance	3"
Load Combination	
Duration Factor	1.00

Manufacturer Info

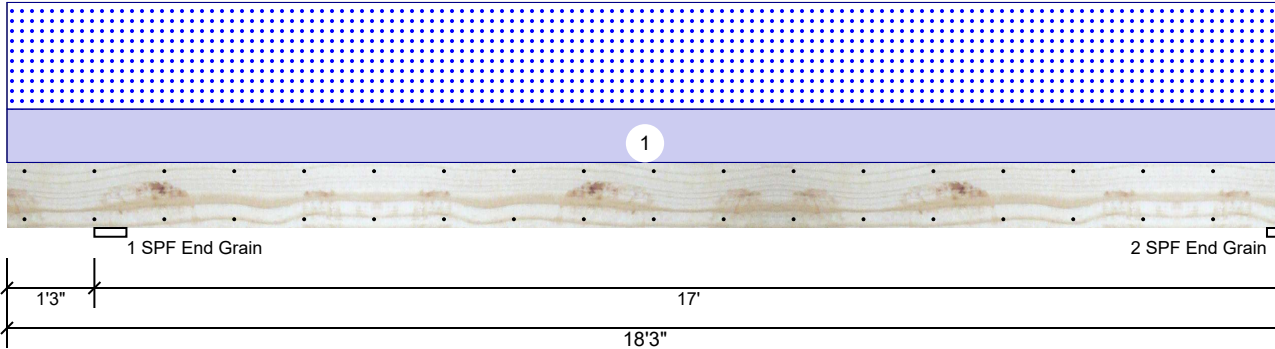


This design is valid until 3/1/2025



H1 D FIR-L #2 2.000" X 12.000" 3-Ply - PASSED

Level: Header



Alternate Solutions

Manufacturer	Product	Moment SI	Shear SI	Defl LL/ act	Defl TL/ act	
--------------	---------	-----------	----------	--------------	--------------	--

Joists may be substituted in applications where the joist loading conditions, direction, length, on-center spacing, and bearings remain unchanged. Hangers shall be checked since the flange width might be different.

Manufacturer Info

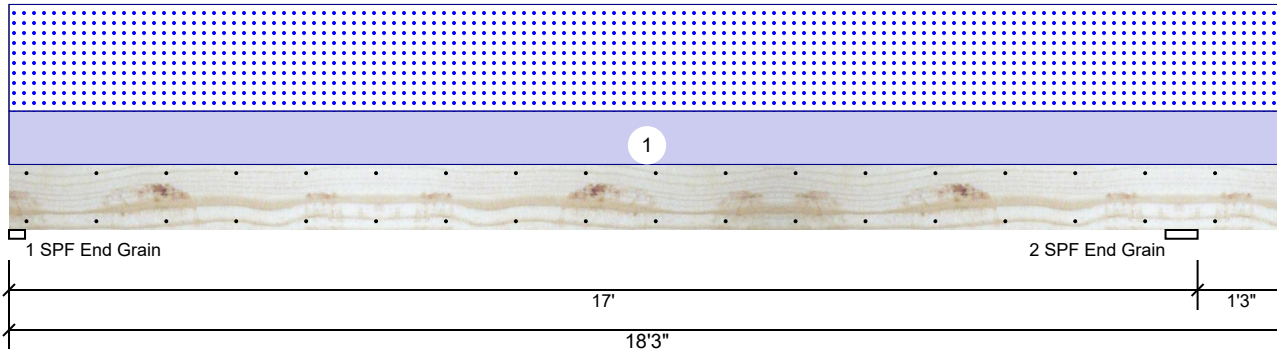
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This design is valid until 3/1/2025

H2 D FIR-L #2 2.000" X 12.000" 3-Ply - PASSED

Level: Header



Member Information

Type: Girder
Plies: 3
Moisture Condition: Dry
Deflection LL: 240
Deflection TL: 180
Importance: Normal - II
Temperature: Temp <= 100°F

Application: Floor
Design Method: ASD
Building Code: IBC 2018
Load Sharing: Yes
Deck: Not Checked

Reactions UNPATTERNED lb (Uplift)

Brg	Direction	Live	Dead	Snow	Wind	Co
1	Vertical	0	632	1263	0	
2	Vertical	0	737	1474	0	

Bearings

Bearing	Length	Dir.	Cap.	React D/L lb	Total	Ld. Case	Ld. Con
1 - SPF End Grain	2.750"	Vert	25%	632 / 1267	1898	L_	D+S
2 - SPF End Grain	5.500"	Vert	14%	737 / 1474	2211	LL	D+S

Analysis Results

Analysis	Actual	Location	Allowed	Capacity	Comb.	Case
Neg Moment	-176 ft-lb	17'	9415 ft-lb	0.019 (2%)	D+S	_L
Unbraced	-176 ft-lb	17'	4057 ft-lb	0.043 (4%)	D+S	_L
Pos Moment	7696 ft-lb	8'5 1/4"	9415 ft-lb	0.817 (82%)	D+S	L_
Unbraced	7696 ft-lb	8'5 1/4"	9415 ft-lb	0.817 (82%)	D+S	L_
Shear	1636 lb	1'2"	6986 lb	0.234 (23%)	D+S	L_
LL Defl inch	0.298 (L/668)	8'5 1/2"	0.830 (L/240)	0.359 (36%)	S	L_
TL Defl inch	0.446 (L/446)	8'5 1/2"	1.107 (L/180)	0.403 (40%)	D+S	L_
LL Cant	-0.071 (2L/420)	Rt Cant	0.200 (2L/240)	0.357 (36%)	S	L_
TL Cant	-0.107 (2L/281)	Rt Cant	0.300 (2L/180)	0.356 (36%)	D+S	L_

Design Notes

- 1 Provide support to prevent lateral movement and rotation at the end bearings. Lateral support may also be required at the interior bearings by the building code.
- 2 Fasten all plies using 2 rows of Pneumatic Gun Nail (.120x3.25") at 12" o.c. Maximum end distance not to exceed 6".
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Manufacturer Info

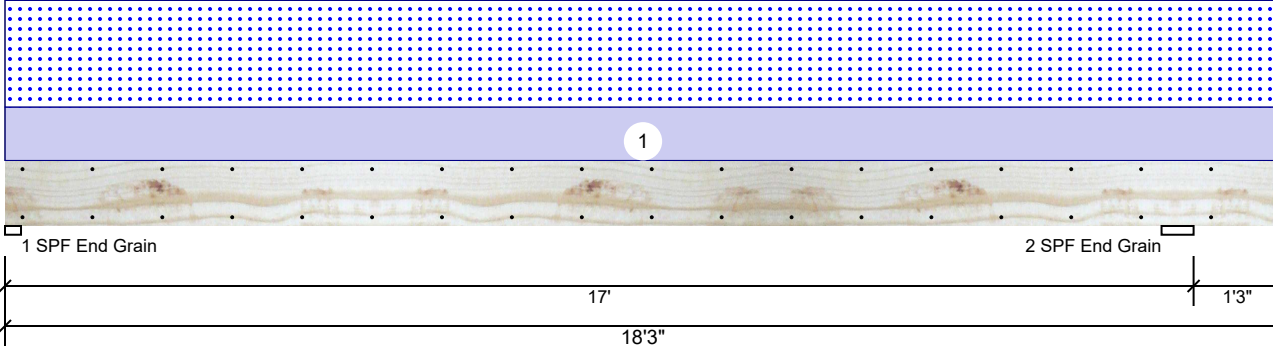


This design is valid until 3/1/2025



H2 D FIR-L #2 2.000" X 12.000" 3-Ply - PASSED

Level: Header



ID	Load Type	Location	Trib Width	Side	Dead 0.9	Live 1	Snow 1.15	Wind 1.6	Const. 1.25	Comments
1	Uniform		5-0-0	Top	15 PSF	0 PSF	30 PSF	0 PSF	0 PSF	Roof Rafter Load

Manufacturer Info

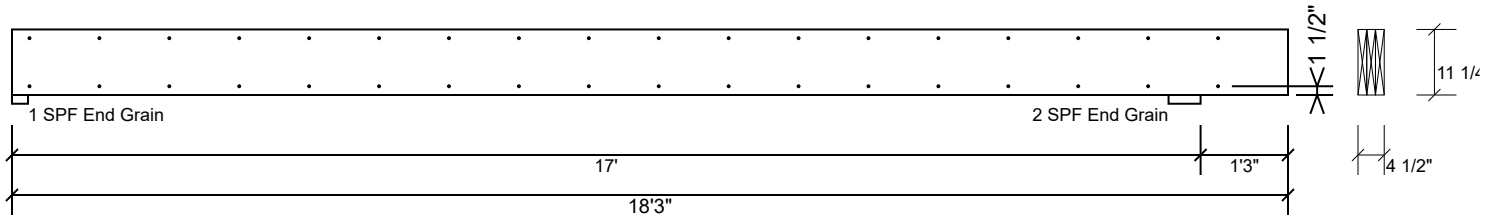


This design is valid until 3/1/2025



H2 D FIR-L #2 2.000" X 12.000" 3-Ply - PASSED

Level: Header



Multi-Ply Analysis

Fasten all plies using 2 rows of Pneumatic Gun Nail (.120x3.25") at 12" o.c.. Nail from both sides. Maximum end distance not to exceed 6".

Capacity	0.0 %
Load	0.0 PLF
Yield Limit per Foot	163.0 PLF
Yield Limit per Fastener	81.5 lb.
Yield Mode	IV
Edge Distance	1 1/2"
Min. End Distance	3"
Load Combination	
Duration Factor	1.00

Manufacturer Info

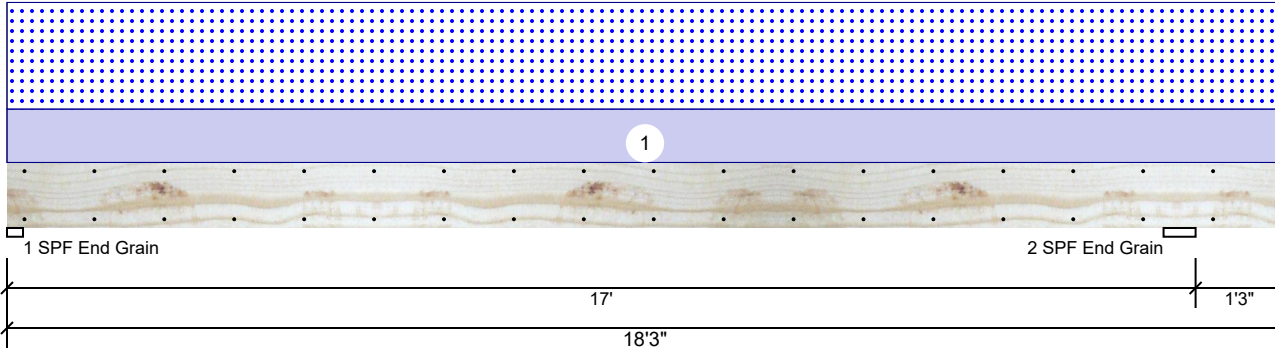


This design is valid until 3/1/2025



H2 D FIR-L #2 2.000" X 12.000" 3-Ply - PASSED

Level: Header



Alternate Solutions

Manufacturer	Product	Moment SI	Shear SI	Defl LL/ act	Defl TL/ act
--------------	---------	-----------	----------	--------------	--------------

Joists may be substituted in applications where the joist loading conditions, direction, length, on-center spacing, and bearings remain unchanged. Hangers shall be checked since the flange width might be different.

Manufacturer Info



This design is valid until 3/1/2025



Cedarburg
N144 W5800 Pioneer Rd
Cedarburg, Wisconsin 53012

Estimate

4.a.c

Estimate No 461885
Estimate Date 04/19/2022

Invoice Address
CASH SALES CEDARBURG
N144 W5800 PIONEER RD
CEDARBURG, WISCONSIN, 53012

Delivery Address
CASH SALES CEDARBURG
N144 W5800 PIONEER RD
CEDARBURG, WISCONSIN, 53012

Customer CASH3
Your Ref JVER | RIVERBARN #2
Expires 05/19/2022
Taken By Alex Sprtel
Sales Rep Cedarburg House Account



Page 1 of 2

Special Instructions	Notes

Line	Qty	Description	Product Code	Unit Price	Total Price
1		COVER 1			
2	3 ea	6X6-14' TREATED #2 GC SYP	307	88.55	265.65
3	3 ea	6X6-12' TREATED #2 GC SYP	306	78.05	234.15
4	12 ea	2X12-20' WHITE/DOUG FIR SEL- STRUCT KD S4S	967	71.14	853.68
5	30 ea	2X6- 8' TREATED #1 GC SYP	252	13.00	390.00
6	4 ea	2X6-20' TREATED #1 GC SYP	137	41.19	164.76
7	10 bdl	GAF TIMBERLINE HDZ CHARCOAL	23826	40.84	408.40
8	1 ea	RL #15 LB ASTM-D226 RF FELT 4-SQ	5385	27.33	27.33
9	10 ea	1/2" 4X8 OSB SHEATHING 15/32"	2001	44.80	448.00
10	6 ea	12"X16' LP SMART SOFFIT SOLID CEDAR PF SNOWSCAPE 38 SERIES	24596	39.76	238.56
11	6 ea	6X6 ADJ POST ANCHOR USP PA66-TZ	20532	30.37	182.22
12		MISC HARDWARE, FASTENERS, & CONCRETE SPECIFIED BY INSTALLER			
13		End of COVER 1			3,212.75
14		COVER 2			
15	3 ea	6X6-14' TREATED #2 GC SYP	307	88.55	265.65
16	3 ea	6X6-12' TREATED #2 GC SYP	306	78.05	234.15
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25		MISC HARDWARE, FASTENERS, & CONCRETE SPECIFIED BY INSTALLER			
26		End of COVER 2			3,212.75

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Cedarburg
N144 W5800 Pioneer Rd
Cedarburg, Wisconsin 53012

4.a.c
Estimate

Estimate No **461885**
Estimate Date **04/19/2022**

Invoice Address
CASH SALES CEDARBURG
N144 W5800 PIONEER RD
CEDARBURG, WISCONSIN, 53012

Delivery Address
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N144 W5800 PIONEER RD
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Customer CASH3
Your Ref JVER | RIVERBARN #2
Expires 05/19/2022
Taken By Alex Sprtel
Sales Rep Cedarburg House Account



Page 2 of 2

There are no returns on special orders.
No returns after 30 days.

Print name _____

Signature _____

Total Amount	\$6,425.50
Sales Tax	\$353.41
Quotation Total	\$6,778.91
Balance Due	

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DW'G BY:
CMM
DATE 03/31/22
REVISED

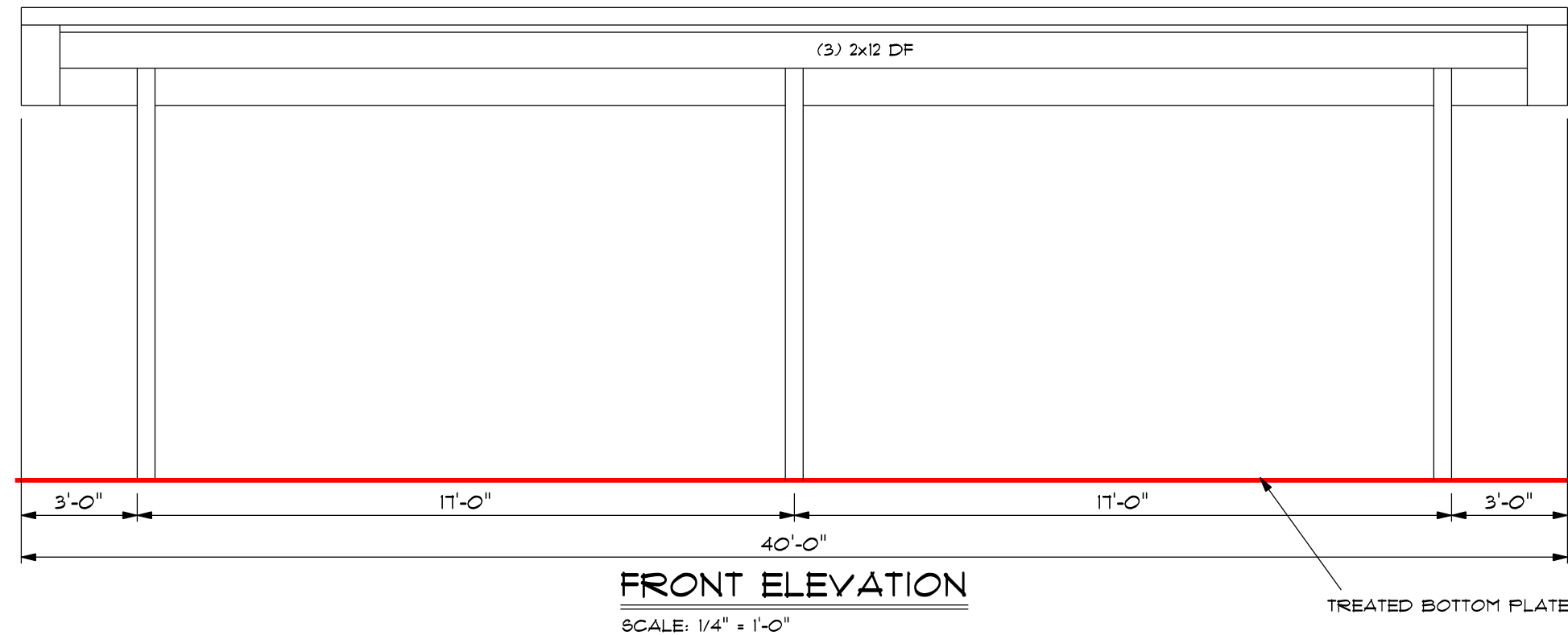
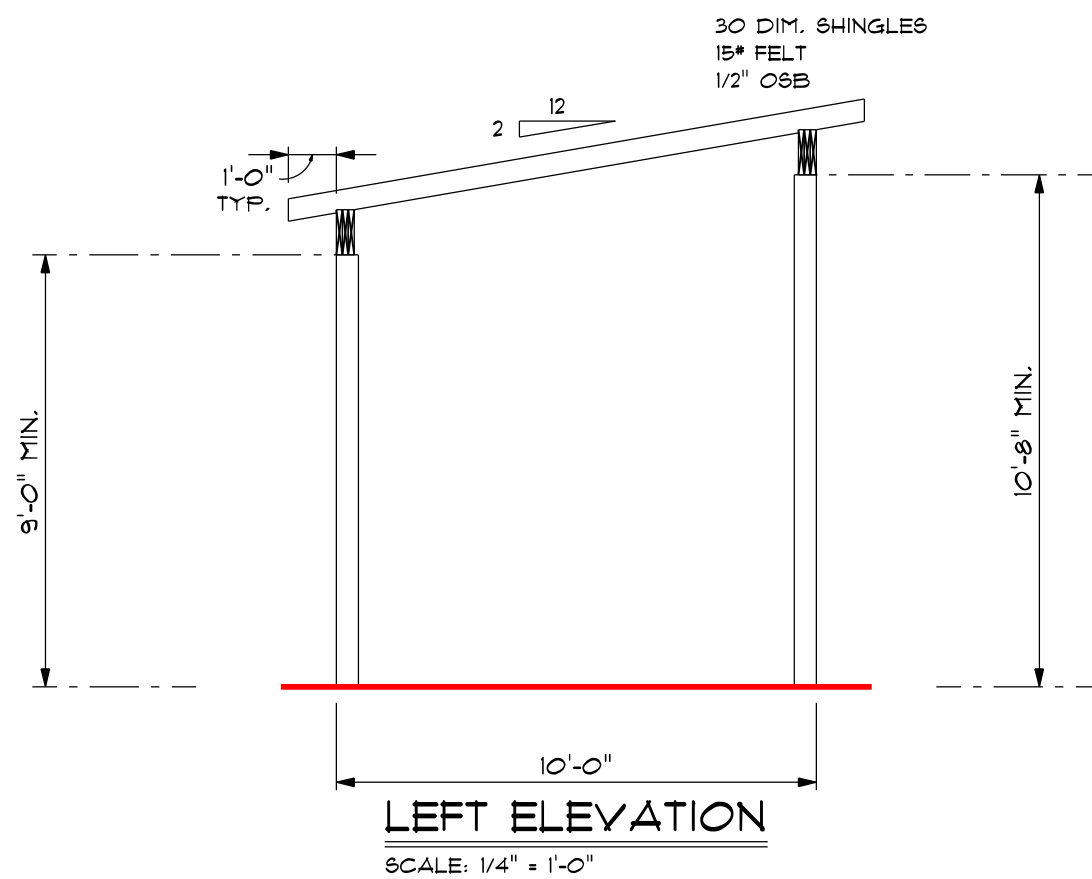


ROTARY PARK SOUTH DUGOUT

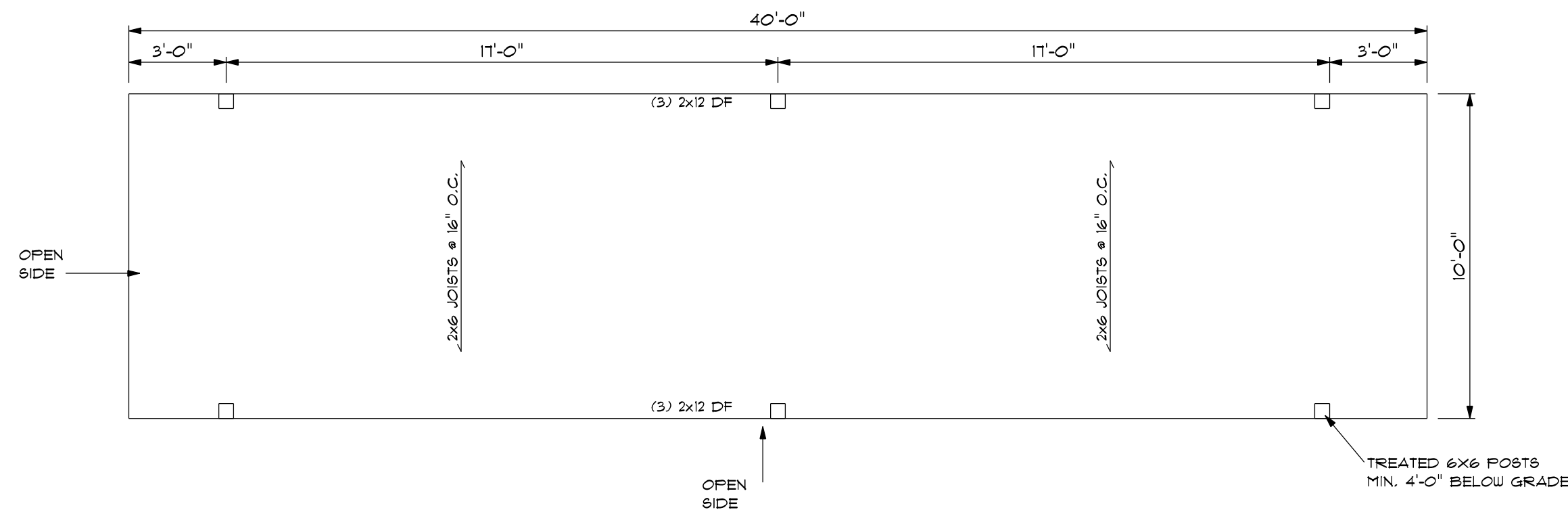
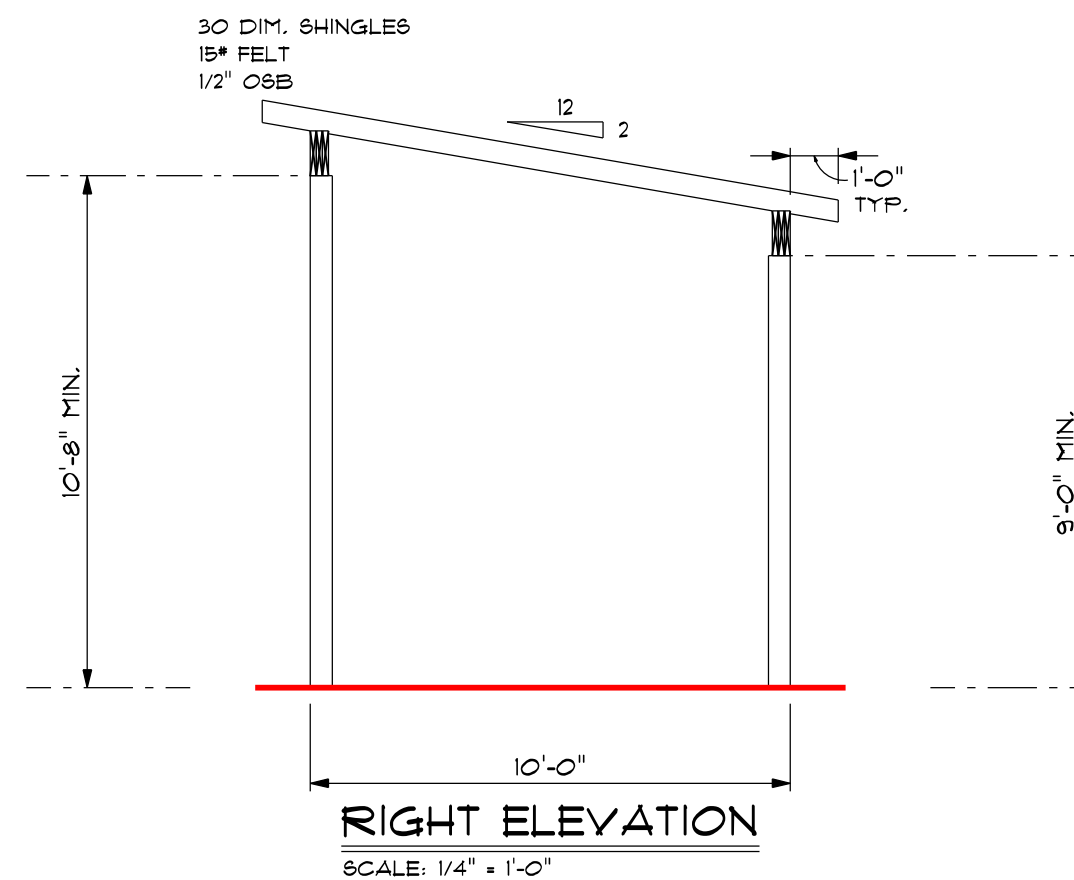
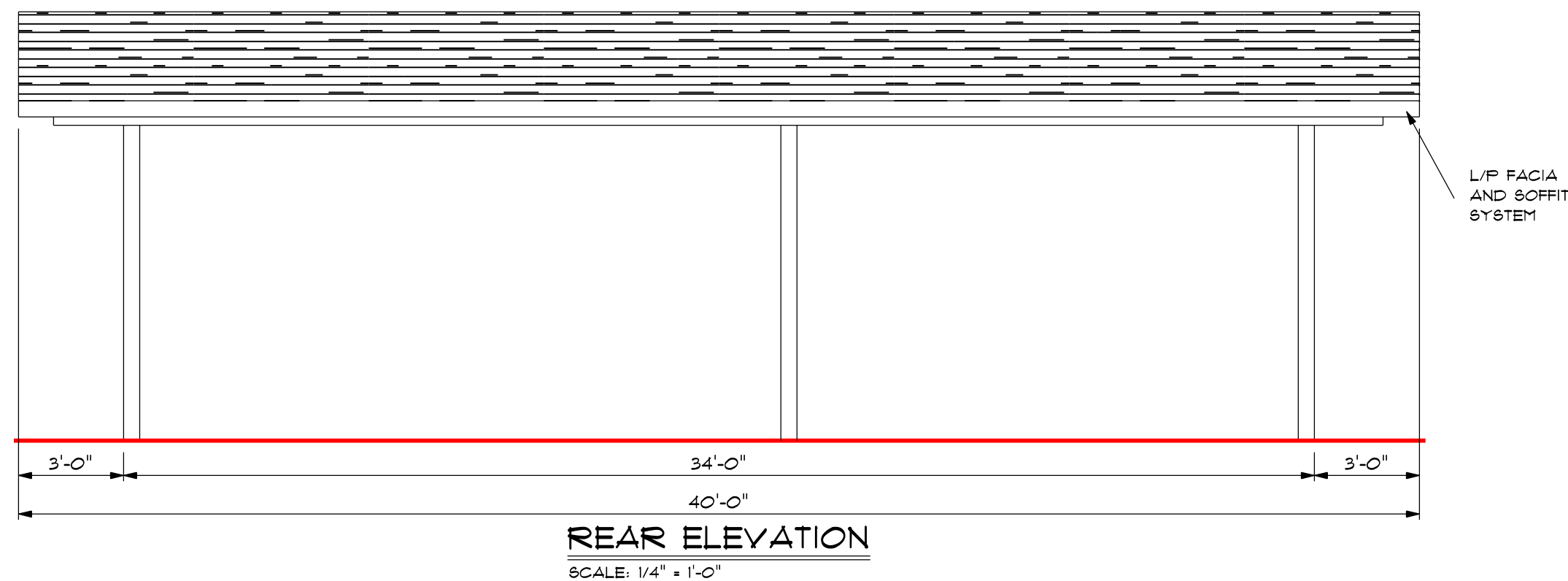
OWNER:

ZUEP
BUILDING PRODUCTS & DESIGN CENTER
DRAWING NUMBER
1 OF 1
JOB# 4405

Attachment: MTL DUGOUTS Rotary South-Schmit Packet (RESOLUTION 3961 : MTL/HEAT Dugouts Donation Agreement)



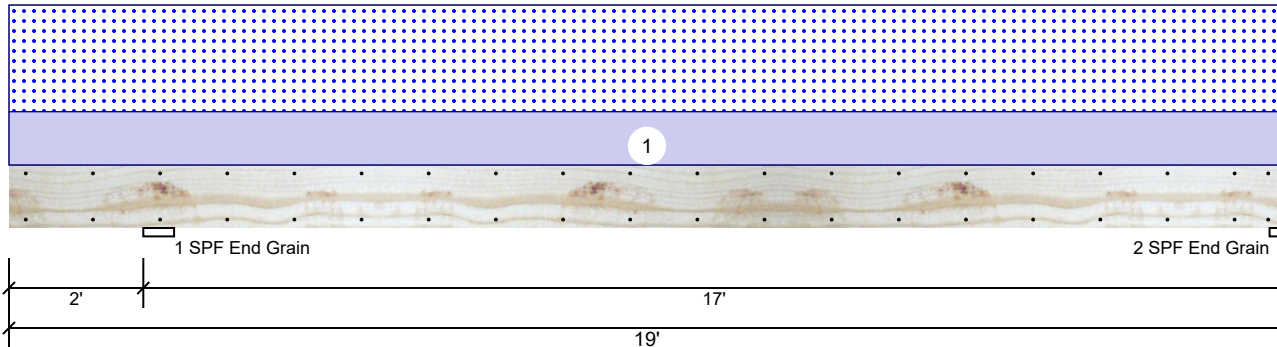
2X4 FRAMING
IN BETWEEN POSTS
(TYP.)



NOTE: ALL DIMENSIONS AND ELEVATIONS ARE
APPROXIMATE. OWNER/CONTRACTOR TO
MAKE ANY NECESSARY CHANGES IN
CONSTRUCTION TO MEET ALL CODES AND
MANUFACTURERS SPECIFICATIONS.

H1 D FIR-L #2 2.000" X 12.000" 3-Ply - PASSED

Level: Header



Member Information

Type: Girder
Plies: 3
Moisture Condition: Dry
Deflection LL: 240
Deflection TL: 180
Importance: Normal - II
Temperature: Temp <= 100°F

Application: Floor
Design Method: ASD
Building Code: IBC 2018
Load Sharing: Yes
Deck: Not Checked

Reactions UNPATTERNED lb (Uplift)

Brg	Direction	Live	Dead	Snow	Wind	Co
1	Vertical	0	959	1917	0	
2	Vertical	0	751	1503	0	

Bearings

Bearing	Length	Dir.	Cap.	React D/L lb	Total	Ld. Case	Ld. Con
1 - SPF End Grain	5.500"	Vert	19%	959 / 1917	2876	LL	D+S
2 - SPF End Grain	2.750"	Vert	29%	751 / 1514	2265	_L	D+S

Analysis Results

Analysis	Actual	Location	Allowed	Capacity	Comb.	Case
Neg Moment	-539 ft-lb	2'	9415 ft-lb	0.057 (6%)	D+S	LL
Unbraced	-539 ft-lb	2'	4057 ft-lb	0.133 (13%)	D+S	LL
Pos Moment	9126 ft-lb	10'7 3/8"	9415 ft-lb	0.969 (97%)	D+S	_L
Unbraced	9126 ft-lb	10'7 3/8"	9415 ft-lb	0.969 (97%)	D+S	_L
Shear	1959 lb	3'4 3/4"	6986 lb	0.280 (28%)	D+S	LL
LL Defl inch	0.354 (L/563)	10'6 5/8"	0.830 (L/240)	0.426 (43%)	S	_L
TL Defl inch	0.528 (L/377)	10'6 3/4"	1.107 (L/180)	0.477 (48%)	D+S	_L
LL Cant	-0.134 (2L/357)	Lt Cant	0.200 (2L/240)	0.672 (67%)	S	_L
TL Cant	-0.200 (2L/241)	Lt Cant	0.300 (2L/180)	0.665 (67%)	D+S	_L

Design Notes

- 1 Provide support to prevent lateral movement and rotation at the end bearings. Lateral support may also be required at the interior bearings by the building code.
- 2 Fasten all plies using 2 rows of Pneumatic Gun Nail (.120x3.25") at 12" o.c. Maximum end distance not to exceed 6".
- 3 Refer to last page of calculations for fasteners required for specified loads.
- 4 Girders are designed to be supported on the bottom edge only.
- 5 Top loads must be supported equally by all plies.
- 6 Top must be continuously laterally braced.
- 7 Bottom must be laterally braced at bearings.
- 8 Lateral slenderness ratio based on single ply width.

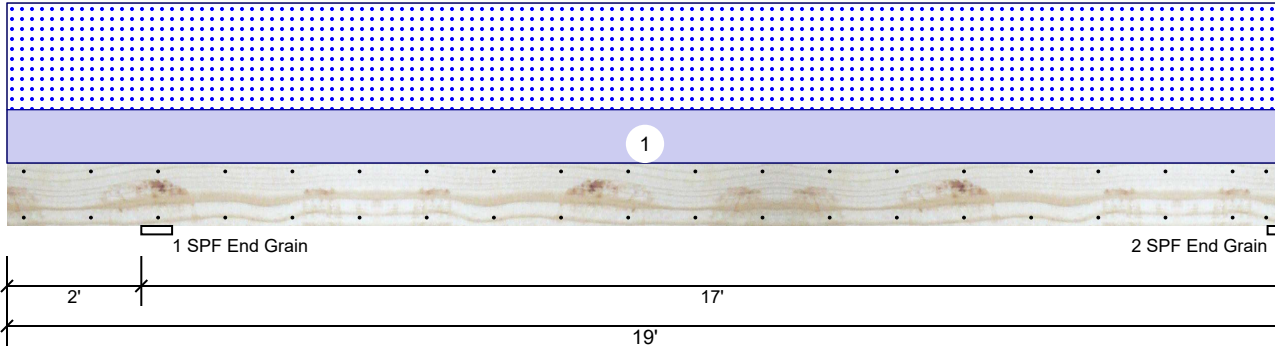
Manufacturer Info



This design is valid until 3/1/2025

H1 D FIR-L #2 2.000" X 12.000" 3-Ply - PASSED

Level: Header



ID	Load Type	Location	Trib Width	Side	Dead 0.9	Live 1	Snow 1.15	Wind 1.6	Const. 1.25	Comments
1	Uniform		6-0-0	Top	15 PSF	0 PSF	30 PSF	0 PSF	0 PSF	Roof Rafter Load

Manufacturer Info

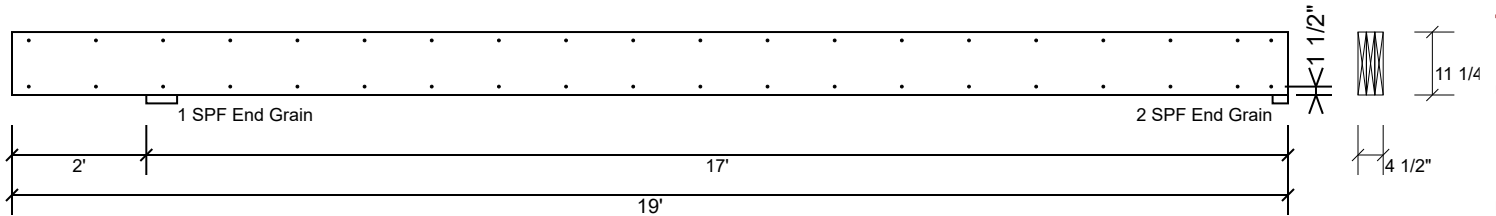
This design is valid until 3/1/2025





H1 D FIR-L #2 2.000" X 12.000" 3-Ply - PASSED

Level: Header



Multi-Ply Analysis

Fasten all plies using 2 rows of Pneumatic Gun Nail (.120x3.25") at 12" o.c.. Nail from both sides. Maximum end distance not to exceed 6".

Capacity	0.0 %
Load	0.0 PLF
Yield Limit per Foot	163.0 PLF
Yield Limit per Fastener	81.5 lb.
Yield Mode	IV
Edge Distance	1 1/2"
Min. End Distance	3"
Load Combination	
Duration Factor	1.00

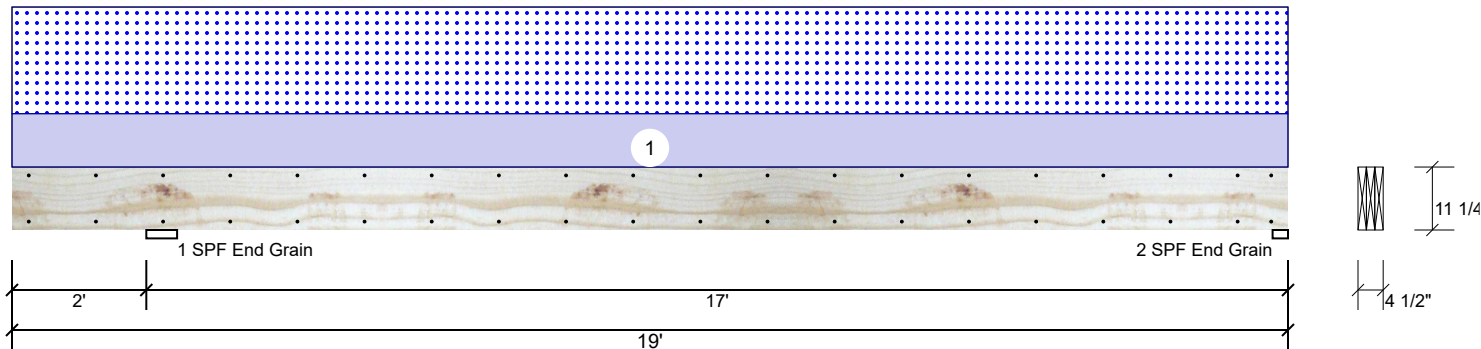
Manufacturer Info



This design is valid until 3/1/2025

H1D FIR-L #22.000" X 12.000"3-Ply - PASSED

Level: Header



Alternate Solutions

Manufacturer	Product	Moment SI	Shear SI	Defl LL/ act	Defl TL/ act	
--------------	---------	-----------	----------	--------------	--------------	--

Joists may be substituted in applications where the joist loading conditions, direction, length, on-center spacing, and bearings remain unchanged. Hangers shall be checked since the flange width might be different.

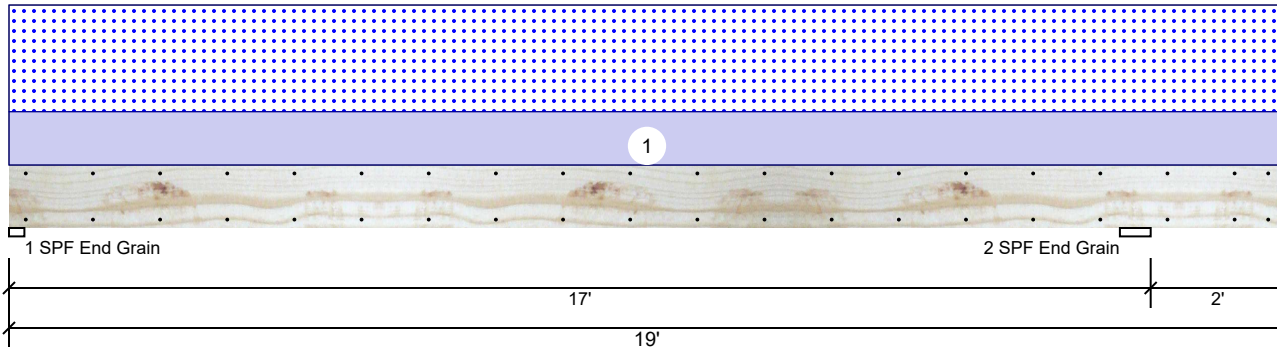
Manufacturer Info



This design is valid until 3/1/2025

H2 D FIR-L #2 2.000" X 12.000" 3-Ply - PASSED

Level: Header



Member Information

Type:	Girder	Application:	Floor
Plies:	3	Design Method:	ASD
Moisture Condition:	Dry	Building Code:	IBC 2018
Deflection LL:	240	Load Sharing:	Yes
Deflection TL:	180	Deck:	Not Checked
Importance:	Normal - II		
Temperature:	Temp <= 100°F		

Reactions UNPATTERNED lb (Uplift)

Brg	Direction	Live	Dead	Snow	Wind	Co
1	Vertical	0	751	1503	0	
2	Vertical	0	959	1917	0	

Bearings

Bearing	Length	Dir.	Cap.	React D/L lb	Total	Ld. Case	Ld. Con
1 - SPF End Grain	2.750"	Vert	29%	751 / 1514	2265	L_	D+S
2 - SPF End Grain	5.500"	Vert	19%	959 / 1917	2876	LL	D+S

Analysis Results

Analysis	Actual	Location	Allowed	Capacity	Comb.	Case
Neg Moment	-540 ft-lb	17'	9415 ft-lb	0.057 (6%)	D+S	_L
Unbraced	-540 ft-lb	17'	4057 ft-lb	0.133 (13%)	D+S	_L
Pos Moment	9126 ft-lb	8'4 5/8"	9415 ft-lb	0.969 (97%)	D+S	L_
Unbraced	9126 ft-lb	8'4 5/8"	9415 ft-lb	0.969 (97%)	D+S	L_
Shear	1959 lb	15'7 1/4"	6986 lb	0.280 (28%)	D+S	LL
LL Defl inch	0.354 (L/563)	8'5 3/8"	0.830 (L/240)	0.426 (43%)	S	L_
TL Defl inch	0.528 (L/377)	8'5 1/4"	1.107 (L/180)	0.477 (48%)	D+S	L_
LL Cant	-0.134 (2L/357)	Rt Cant	0.200 (2L/240)	0.672 (67%)	S	L_
TL Cant	-0.200 (2L/241)	Rt Cant	0.300 (2L/180)	0.665 (67%)	D+S	L_

Design Notes

- 1 Provide support to prevent lateral movement and rotation at the end bearings. Lateral support may also be required at the interior bearings by the building code.
- 2 Fasten all plies using 2 rows of Pneumatic Gun Nail (.120x3.25") at 12" o.c. Maximum end distance not to exceed 6".
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- 5 Top loads must be supported equally by all plies.
- 6 Top must be continuously laterally braced.
- 7 Bottom must be laterally braced at bearings.
- 8 Lateral slenderness ratio based on single ply width.

Manufacturer Info

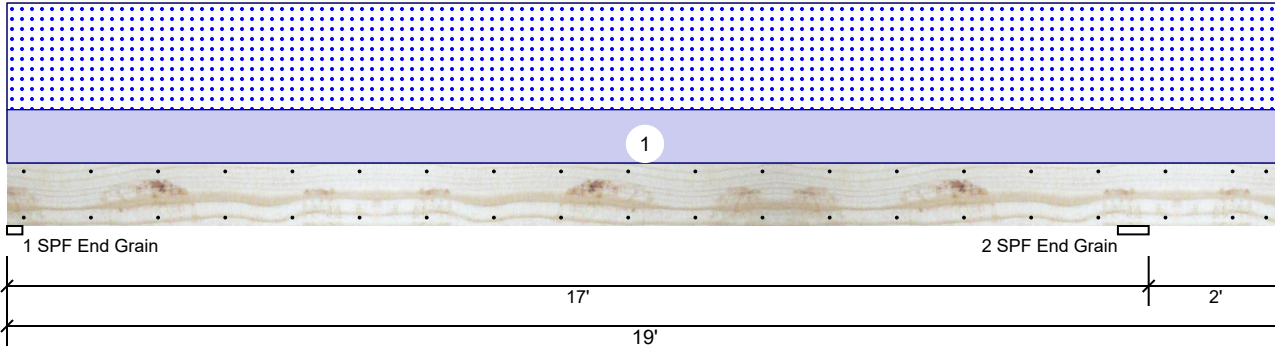


This design is valid until 3/1/2025



H2 D FIR-L #2 2.000" X 12.000" 3-Ply - PASSED

Level: Header



ID	Load Type	Location	Trib Width	Side	Dead 0.9	Live 1	Snow 1.15	Wind 1.6	Const. 1.25	Comments
1	Uniform		6-0-0	Top	15 PSF	0 PSF	30 PSF	0 PSF	0 PSF	Roof Rafter Load

Manufacturer Info

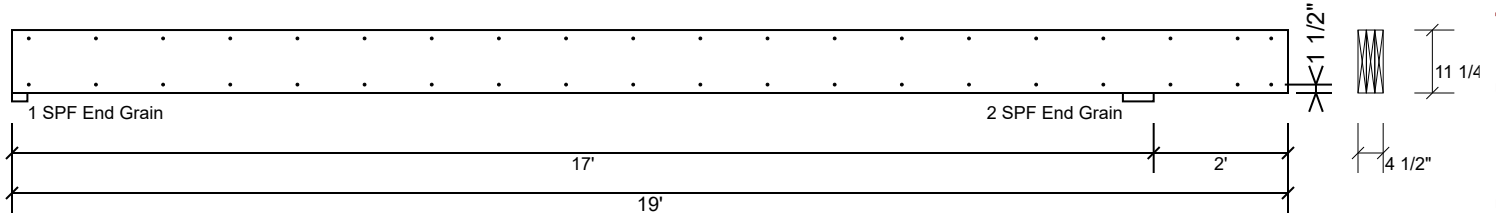


This design is valid until 3/1/2025



H2 D FIR-L #2 2.000" X 12.000" 3-Ply - PASSED

Level: Header



Multi-Ply Analysis

Fasten all plies using 2 rows of Pneumatic Gun Nail (.120x3.25") at 12" o.c.. Nail from both sides. Maximum end distance not to exceed 6".

Capacity	0.0 %
Load	0.0 PLF
Yield Limit per Foot	163.0 PLF
Yield Limit per Fastener	81.5 lb.
Yield Mode	IV
Edge Distance	1 1/2"
Min. End Distance	3"
Load Combination	
Duration Factor	1.00

Manufacturer Info

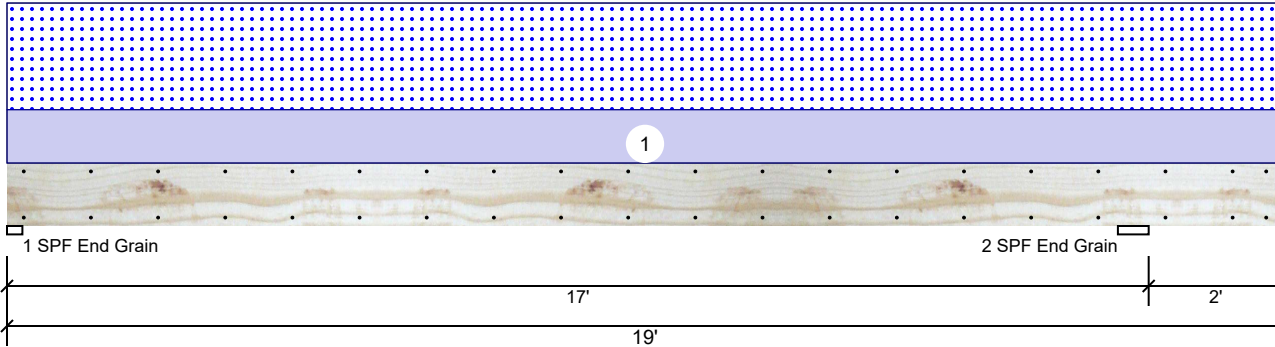


This design is valid until 3/1/2025



H2 D FIR-L #2 2.000" X 12.000" 3-Ply - PASSED

Level: Header



Alternate Solutions

Manufacturer	Product	Moment SI	Shear SI	Defl LL/ act	Defl TL/ act	
--------------	---------	-----------	----------	--------------	--------------	--

Joists may be substituted in applications where the joist loading conditions, direction, length, on-center spacing, and bearings remain unchanged. Hangers shall be checked since the flange width might be different.

Manufacturer Info

--



This design is valid until 3/1/2025



Cedarburg
N144 W5800 Pioneer Rd
Cedarburg, Wisconsin 53012

Estimate

4.a.d

Estimate No **461890**
Estimate Date **04/19/2022**

Invoice Address
CASH SALES CEDARBURG
N144 W5800 PIONEER RD
CEDARBURG, WISCONSIN, 53012

Delivery Address
CASH SALES CEDARBURG
N144 W5800 PIONEER RD
CEDARBURG, WISCONSIN, 53012

Customer CASH3
Your Ref ROTARY PARK SOUTH
Expires 05/19/2022
Taken By Alex Sprtel
Sales Rep Cedarburg House Account



Page 1 of 2

Special Instructions	Notes

Line	Qty	Description	Product Code	Unit Price	Total Price
1		COVER 1			
2	3 ea	6X6-14' TREATED #2 GC SYP	307	88.55	265.65
3	3 ea	6X6-16' TREATED #2 GC SYP	308	96.95	290.85
4	12 ea	2X12-20' WHITE/DOUG FIR SEL- STRUCT KD S4S	967	71.14	853.68
5	30 ea	2X6-10' TREATED #1/#2 GC SYP	4382	15.30	459.00
6	2 ea	2X6-20' TREATED #1 GC SYP	137	41.19	82.38
7	2 ea	2X6-18' TREATED #1 GC SYP	588	27.40	54.80
8	2 ea	2X6-10' TREATED #1/#2 GC SYP	4382	15.30	30.60
9	14 bdl	GAF TIMBERLINE HDZ CHARCOAL	23826	40.84	571.76
10	1 ea	RL #15 LB ASTM-D226 RF FELT 4-SQ	5385	27.33	27.33
11	12 ea	1/2" 4X8 OSB SHEATHING 15/32"	2001	44.80	537.60
12	6 ea	12"X16' LP SMART SOFFIT SOLID CEDAR PF SNOWSCAPE 38 SERIES	24596	39.76	238.56
13	6 ea	6X6 ADJ POST ANCHOR USP PA66-TZ	20532	30.37	182.22
14		MISC HARDWARE, FASTENERS, & CONCRETE SPECIFIED BY INSTALLER			
15		End of COVER 1			3,594.43
16		COVER 2			
17	3 ea	6X6-14' TREATED #2 GC SYP	307	88.55	265.65
18	3 ea	6X6-16' TREATED #2 GC SYP	308	96.95	290.85
19	12 ea	2X12-20' WHITE/DOUG FIR SEL- STRUCT KD S4S	967	71.14	853.68
20	30 ea	2X6-10' TREATED #1/#2 GC SYP	4382	15.30	459.00
21	2 ea	2X6-20' TREATED #1 GC SYP	137	41.19	82.38
22	2 ea	2X6-18' TREATED #1 GC SYP	588	27.40	54.80
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24	14 bdl	GAF TIMBERLINE HDZ CHARCOAL	23826	40.84	571.76
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28	6 ea	6X6 ADJ POST ANCHOR USP PA66-TZ	20532	30.37	182.22
29		MISC HARDWARE, FASTENERS, & CONCRETE SPECIFIED BY INSTALLER			

****DISCLAIMER**** This ESTIMATE is designed solely to provide the Contractor/Customer with a rough ESTIMATE of the amount of material used in the given project. The actual amount of material used may vary from the material estimate. No representation or warranty has been made that the actual amount of material used will not vary from the estimate. Prices subject to change without notice. Clerical error subject to correction. This is not a contract. Expiration date above is very important due to market changes.



Cedarburg
N144 W5800 Pioneer Rd
Cedarburg, Wisconsin 53012

4.a.d
Estimate

Estimate No 461890
Estimate Date 04/19/2022

Invoice Address
CASH SALES CEDARBURG
N144 W5800 PIONEER RD
CEDARBURG, WISCONSIN, 53012

Delivery Address
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N144 W5800 PIONEER RD
CEDARBURG, WISCONSIN, 53012

Customer CASH3
Your Ref ROTARY PARK SOUTH
Expires 05/19/2022
Taken By Alex Sprtel
Sales Rep Cedarburg House Account



Page 2 of 2

Line	Qty	Description	Product Code	Unit Price	Total Price
30		End of COVER 2			3,594.43

There are no returns on special orders.
No returns after 30 days.

Print name _____

Signature _____

Total Amount	\$7,188.86
Sales Tax	\$395.38
Quotation Total	\$7,584.24
Balance Due	

****DISCLAIMER**** This ESTIMATE is designed solely to provide the Contractor/Customer with a rough ESTIMATE of the amount of material used in the given project. The actual amount of material used may vary from the material estimate. No representation or warranty has been made that the actual amount of material used will not vary from the estimate. Prices subject to change without notice. Clerical error subject to correction. This is not a contract. Expiration date above is very important due to market changes.



11333 N. Cedarburg Road
 Mequon, WI 53092
 Phone: 262-236-2913
 Fax: 262-242-9655

www.ci.mequon.wi.us

Office of Engineering

TO: Public Works Committee
FROM: Kristen Lundeen, Director of Public Works/City Engineer
DATE: June 14, 2022
SUBJECT: RESOLUTION 3957 A Resolution Authorizing the Release of the Bike Path Easement on Lots 1 and/or 2 of Certified Survey Map 3406 (Oriole Lane)

Background

At the March 2021 Planning Commission meeting, Planning Commission approved a Certified Survey Map with the following condition:

In exchange for abandonment of the existing bike path easement requirement, as recorded on CSM No. 3406, the applicant shall provide a 20 foot wide water main easement along the northern property line of Lot 1, for potential future looping of the water infrastructure.

CSM No. 3406 included the following note on the face of the CSM:

As a City of Mequon condition of approval, a bike path across Lots 1 and/or 2, connecting Oriole Lane to the abutting property on the east will be constructed, the exact easement location will be determined by other document exact location subject to DNR approval.

Analysis

There are no existing bicycle facilities on Oriole Lane and no propose bicycle facilities on the private property to the east, nor on Market Street. The current bicycle and pedestrian master plan does not contemplate a connection at this location.

As the City required the original condition of approval for the bike path and the subsequent exchange of the bike path easement for a water main easement, the Common Council must approve the vacation of the easement.

Fiscal Impact

The City will pay the recording fees associated with filing the document with the Register of Deeds. The water main easement was previously recorded. If the City were to pursue a bike path connection at this location in the future, the property owner could seek payment for the easement.

Recommendation

Staff recommends that the Public Works Committee favorably endorse and the Common Council approve the vacation of the bike path easement.

Attachments:

Release of Oriole Lane Bike Path Easement (PDF)

COMMON COUNCIL
OF THE
CITY OF MEQUON

RESOLUTION 3957

A Resolution Authorizing the Release of the Bike Path Easement on Lots 1 and/or 2 of Certified Survey Map 3406 (Oriole Lane)

RECITALS

A. The City of Mequon approved Certified Survey Map No. 3406, which contained the following note on its face:

As a City of Mequon condition of approval, a bike path across Lots 1 and/or 2, connecting Oriole Lane to the abutting property on the east will be constructed, the exact easement location will be determined by other document exact location subject to DNR approval.

B. The City of Mequon approved a subsequent Certified Survey Map No. 4170, such approval being conditioned upon the following: In exchange for abandonment of the existing bike path easement requirement, as recorded on CSM No. 3406, the applicant shall provide a 20 foot wide water main easement along the northern property line of Lot 1, for potential future looping of the water infrastructure.

C. The required water main easement was recorded with the Ozaukee County Register of Deeds.

D. The attached document serves as the legal mechanism to release the bike path easement.

BASED UPON THE FOREGOING RECITALS, IT IS RESOLVED by the Common Council of the City of Mequon, Wisconsin, that the City Clerk and the Mayor are authorized to execute the Release of Bike Path Easement and City Staff is authorized to submit the document to the Ozaukee County Register of Deeds for recording.

Approved by: Andrew Nerbun, Mayor

Date Approved: June 14, 2022

I certify that the foregoing Resolution was adopted by the Common Council of the City of Mequon, Wisconsin, at a meeting held on June 14, 2022.

Caroline Fochs, City Clerk

Document Number

**RELEASE OF
BIKE PATH EASEMENT**

Document Name

The undersigned, City of Mequon, releases all right, title and interest that it may have in the easement shown on Lot 1 and Lot 2 of Certified Survey Map No. 3406 as recorded in the office of the Ozaukee County Register of Deeds on January 15, 2003, described on said CSM as follows:

NOTE: As a City of Mequon condition of approval, a bike path across Lots 1 and/or 2, connecting Oriole Lane to the abutting property on the east will be constructed, the exact easement location will be determined by other document exact location subject to DNR approval.

Dated this ____ day of June, 2022.

CITY OF MEQUON

Andrew Nerbun, Mayor

ATTEST:

Caroline Fochs, Clerk

Recording Data

Name and Return Address

Kristen Lundeen
City of Mequon
11333 N. Cedarburg Rd
Mequon, WI 53092

Parcel Identification Number

15-030-02-024.00

ACKNOWLEDGMENT

STATE OF WISCONSIN)
)
OZAUKEE COUNTY)

Personally, came before me this ____ day of June, 2022, the above-named, Andrew Nerbun and Caroline Fochs, the Mayor and Clerk, respectively, of the City of Mequon, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, Ozaukee County, Wisconsin
My commission (is permanent)(expires: _____)

Attachment: Release of Oriole Lane Bike Path Easement (RESOLUTION 3957 : Oriole Lane Bike Path Easement Release)



11333 N. Cedarburg Road
Mequon, WI 53092-1930
Phone: 262-236-2913
Fax: 262-242-9655

www.ci.mequon.wi.us

Office of Engineering

TO: Public Works Committee
FROM: Kristen Lundeen, Director of Public Works/City Engineer
DATE: June 14, 2022
SUBJECT: Prairie View Lane Drainage CIP Status Update

This memo is intended to be a status update only. A full evaluation of the effectiveness of the work to date will be presented with the Drainage CIP.

As the May meeting was cancelled, that memo is attached for reference. As of May 16, the swamp has drained completely. Culverts at Prairie View have no water in them at all in dry weather.



After Memorial Day, Highway Division crews were able to restore the ditches below the previous water line. These ditches have not been dry for years, and are a result of the draitile work managed by the Highway Superintendent.

At a future meeting, staff will present an analysis of the work completed to date. Please note that the Drainage CIP list includes several projects downstream of this project, which could also improve flow. In addition, WisDOT will be completing drainage work associated with the I-43 project.

Staff continues to monitor and evaluate the drainage within the area.

Attachments:
May 10 Prairie View Lane Update Memo (PDF)



11333 N. Cedarburg Road
Mequon, WI 53092-1930
Phone: 262-236-2913
Fax: 262-242-9655

www.ci.mequon.wi.us

Office of Engineering

TO: Public Works Committee
FROM: Kristen Lundeen, Director of Public Works/City Engineer
DATE: May 10, 2022
SUBJECT: Prairie View Lane Drainage CIP Status Update

This memo is intended to be a status update only. A full evaluation of the effectiveness of the work to date will be presented at a future meeting.

Since April, Staff was able to work with downstream property owners to remove a large amount of root mass, sediment and debris from the draintile. The downstream manholes and outlet at Lake Michigan all show significant improvement in flow. Here is a series of photos from the MMSD property on April 25, 28 and 29.



With the recent rain, the area continues to show an improvement over previous conditions.

At a future meeting, staff will present an analysis of the work completed to date. Please note that the Drainage CIP list includes several projects downstream of this project, which could also improve flow. In addition, WisDOT will be completing drainage work associated with the I-43 project.

Staff continues to monitor and evaluate the drainage within the area.



11333 N. Cedarburg Road
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Office of Public Works Committee

TO: Public Works Committee
FROM: Cole McCraw, Assistant City Engineer
DATE: June 14, 2022
SUBJECT: 2021 Drainage Capital Improvement Program - Administrative Update

Background

In 2015, the City implemented modifications to the drainage policy that requires Engineering Department staff provide the Public Works Committee with an annual review and approval of the prioritized drainage projects for both the Major and Secondary Drainage Way Program and Small Bridge and Culvert Replacement Program. The intent was to treat the Drainage Capital Improvement Program (CIP) similar to the administration of the road program, where Staff brings forward the recommended Drainage CIP on an annual basis and the Public Works Committee reviews, modifies as necessary, and approves the program. The annual review also provides the opportunity for residents and alderman to review and suggest changes to the annual program and to advocate for their projects.

In the past, the Drainage CIP prioritization meeting has been held annually in June. The prioritization meeting allows the Public Works Committee and residents to meet and discuss items on the CIP list. Prior to meeting, the residents who provided the initial notification to the City of the drainage issue receive a notification that the meeting will be held. The residents are informed of the project priority number and are invited to attend the meeting to advocate for their project.

The prioritization meeting was last held in 2019 to prioritize the *Major and Secondary Drainage Way CIP List*. In August 2021, staff requested that the CIP prioritization meeting be scheduled, however, a date was not selected. Work has proceeded on the highest priority items.

Analysis

In a future meeting, staff will request that a prioritization meeting be set this summer. The prioritization public meeting was historically scheduled on a separate evening from the Common Council meeting to allow ample time for review and discussion. Alternatively, an earlier meeting time on a Council night could be considered.

To generate the updated CIP list, staff will remove completed items/projects from the existing CIP list. These residents were notified that their project was completed and will be removed from the CIP list.

At the prioritization meeting, staff will also provide an overview of the top prioritized projects for consideration.

Fiscal Impact

This item is for information only and does not propose a fiscal impact.

Capital funding is established annually through the fiscal year budget process. The balance in

the capital account is approximately \$165,000 which should allow for multiple projects or studies to be considered pending confirmation of the prioritization.

Recommendation

This item is for information only.

Attachments:

2021 Major and Secondary Drainage Way CIP Draft List (PDF)

2021 Major and Secondary Drainage Way CIP Draft List

Acct # 410798-730010-10013

COMPLETE
Possible Future Road Project

Draft Plan

	Plan Provided	Priority Status	Eval. Score	Map #	Inquiry #	Project Address/Location	Basin Size	Description/General Solution	Estimated Cost	Contact	Address	City State
PROPOSED 2021 CIP ITEMS	X	2*				Revere and Prairie View		FreshWater report recommendations at Revere and Prairie View		Amy Becker	11321 N. Prairie View Ln.	Mequon, WI 53092
		2	127	2	2008-26	11739 N Shorecliff Ln.		failed county drain tile starting at 11658N Pinehurst -need to replace +/- 400' pipe and install 2 MH's.	\$55,000.00	Peter & Sarah Damsgaard	11739 N Shorecliff Ln.	Mequon, WI 53092
	X	3	99	3	2013-8	11628/50 N Shorecliff Ln.		300' - 12" ADS Pipe into county tile to alleviate flooding	\$19,500.00	Christina M. Plazak & David H. Hinke	11628 N Shorecliff Ln.	Mequon, WI 53092
	X	4	125	4	2010-34	1516 W Fiesta Ln.	Sec.	water flows over the road during heavy events/install 1000' 18" hdpe in ditch	\$100,000.00	Michael Horne	1436 W Fiesta Ln.	Mequon, WI 53092
		5	120	5	staff	Ranch/Hickory/Chestnut	Maj.	Clear Drainage Easement to help water flow in heavy rain events	\$20,000.00	Highway Division		
	X	10	110		staff	11538 N Oriole Ln.	Sec.	replace 30" cmp. - holes - plan drafted - +/-600' - 30" Hdpe.,	\$25000 for materials	Highway Division		
		11	100	6	staff	900 W County Line Rd.	Maj.	Fish Creek Drainage- restore erosion south of Katherine Kearney Carpenter Park	\$80,000.00	Highway Division		
		12	100		staff	12023 N +/- Corporate Pkwy.	Maj.	see 1025 W Glen Oaks Ln. - west side of x-rd. culverts blocked by sediment and cattails - permit needed		John Mikkelson	1025 W Glen Oaks Ln.	Mequon, WI 53092
		13	100		2014-28	1025 W Glen Oaks Ln.	Maj.	Clean out sediment build-up 5' 10' in front of 4 x-rd. culv. Ends - W & E sides of Corporate Pkwy.- permit needed		John Mikkelson	1025 W Glen Oaks Ln.	Mequon, WI 53092

LOCAL DESIGNATION TO BE TRANSFERRED TO BE HIGHWAY PROJECTS	X	19	83		2018-47	11633 N Lake Shore Dr.	loc.	regrade ditch +/- 200' per plan		Ms. Barbara Pfaff	11633 N Lake Shore Dr.	Mequon, WI 53092
	X	21	82	16	2011-39	3419 W Meadowview Ct.	loc.	Fairway Ln. ditch is eroded - install 350' - 6" tile and backfill	\$17,500.00	Mrs. Masoud Ganji	3419 W Meadowview Ct.	Mequon, WI 53092
	X	22	82	15	2015-05	4926 W County Line Rd.	loc.	regrade roadside ditches per plan to drain - 300'	\$3,000.00	Damar L. Liederbach	4926 W County Line Rd.	Mequon, WI 53092
	X	25	79	23	2008-58	4904 W County Line Rd.	loc.	roadside ditch needs to be regraded 500' +/-	\$7,500.00	Mr. & Mrs. Shawn J. Wasserman	4904 W County Line Rd.	Mequon, WI 53092
	X	26	79	22	2003-47	9615 N Cedarburg Rd.	loc.	ditch from W side of drwy. on County Line to 200' W-move ditch 4' north	\$3,000.00	Mr. Michael A. Ziesemer	9615 N Cedarburg Rd.	Mequon, WI 53092
		29	77		staff	5600 W Reibs Ln.	loc.	ditch from lift sta. W & N 200' to drwy. Culv. - draft plan		Highway Division		
		30	76	28	2011-41	701 W Mequon Rd.	loc.	move ditch south at road rehab time or enclose ditch 300'	\$4,500.00	Mr & Mrs Brian L. Neils	701 W Mequon Rd	Mequon, WI 53092
	X	32	74		2018-78	1515 W River Oaks Ln.	loc.	relay drwy. Culv. And regrade and restore ditch 175' per plan		Mr. Michael King	1515 W River Oaks Ln.	Mequon, WI 53092
	X	38	58	38	2003-46	7247 W Highland Ridge Dr.	loc.	regrade west roadside ditch to drain road at entrance restore all bad areas approximately 250'	\$3,750.00	Joseph LaBarbera	7247 W Highland Ridge Dr.	Mequon, WI 53092

COMPLETED AND CLOSED		1	128	1	2010-13	1415/1426 W Donges Bay Rd.		work with the Cedar Ridge HOA to establish a water surface elevation of 95	not to exceed \$20,000	Scott Kluck	1426 W Donges Bay Road	Mequon, WI 53092
	X	4	126		2018-40	3025 W Country Club Dr.	loc.	regrade ditch +/- 400' per plan		Mr. Dustin Siehr	3025 W Country Club Dr.	
	X	7	115		staff	7601 W +/- Cheverny Dr.	Sec.	icing at intersection. Draft plan for re-ditching to south		Highway Division		
	X	8	115		staff	12001 N +/- Wauwatosa Rd.	loc.	draft plan to re-ditch at NW corner Freistadt Rd. so curb can drain		Highway Division		
	X	9	110		staff	13030 N Cedarburg Rd.	loc.	regrade ditch - silted in south of driveway - advise owner their culv. Is bad		Highway Division		
		14	93	7	2013-21	9821 N Courtland Dr.	loc.	grade swale through sewer easement at west side of property - water at NW corner	\$3,000.00	David M. Smith	9821 N Courtland Dr.	Mequon, WI 53092
	X	15	90	31	2017-22	221 E Mequon Rd.	loc.	Replace 18 - 48' x-rd. culv. under Mequon Rd. at Lakeview Pl.- 130' pipe -regrade ditches +/- 800' per plan		Mr. & Mrs. Charles Mitch	221 E Mequon Rd.	Mequon, WI 53092
		16	90		staff	11548 N Laguna Dr.	Sec.	install 4 - 15" additional pipes under bike path N of cul de sac		Highway Division		
		17	89		staff	3408 W Woodsview Ct.	loc.	roads ices up. Install CB onto pipe on north side of road. Locate pipe		Highway Division		
		18	83	14	2015-22	3607 W Haven Ct.	loc.	grade 4 driveways to drain toward CB's		Mr. & Mrs. Kevin Canady	3607 W Haven Ct.	Mequon, WI 53092
		20	82		2018-12	14106 N Cedarburg Rd.	loc.	replace 8 drwy. Culv.'s and regrade ditch farther east 1000' with road re-paving, per plan - no costs to property owners		Diethard Loess	14106 N Cedarburg Rd.	Mequon, WI 53097
	X	23	81		2018-76	120 E Highview Dr.	loc.	regrade roadside ditch to 40' to east per plan		Nicholas Paschke	120 E Highview Dr.	Mequon, WI 53092
		24	80		staff	13300 N +/- Cedarburg Rd.	Maj.	muck sediment from east and west inverts		Highway Division		
	X	27	79	21	2015-46	12126 N Lake Shore Dr.	loc.	regrade roadside ditch per plan to drain - 350'	\$3,500.00	Mr. Kamal Amin & Ms. Ariba Khan	12126 N Lake Shore Dr.	Mequon, WI 53092
	X	28	78		2018-22	1641 W Winslow Dr.	loc.	regrade ditch +/- 80' per plan		Dr. Dominic J. Pulito	1641 W Winslow Dr.	Mequon, WI 53092
	X	31	76		2018-87	13922 N Foxtail Ln.	loc.	regrade ditch +/- 225' per plan		Mr. Jeremy Wiza	13922 N Foxtail Ln.	Mequon, WI 53097
		33	68			1726 W River Oaks Ln.	loc.	regrade ditch per plan along Shoreland Dr. - prop. Owner to enclose		Mr. & Mrs. Trevor Mihalski	1726 W River Oaks Ln.	Mequon, WI 53092
	X	34	67		2018-25	1309 W Liebau Rd.	loc.	regrade ditch +/- 400' per plan		Ms. Valentina Barbatelli	1309 W Liebau Rd.	Mequon, WI 53092
	X	35	65		2018-73	2815 W Ranch Rd.	Sec.	regrade rip-rap east of driveway slightly to drain better		Mr. & Mrs. Mark Olson	2815 W Ranch Rd.	Mequon, WI 53092
	X	36	62		2018-33	12601 N +/- River Rd.	loc.	regrade ditch 200' per plan		Mr. Mike Van Treeck	4507 W Meadow Cir. West	Mequon, WI 53092
	X	37	60		2018-17	5307 W Hillcrest Dr.	loc.	install 200' +/- 12" hdpe. With road paving - move to south as far as possible		William Wisotzke	5307 W Hillcrest Dr.	Mequon, WI 53092
	X	39	51		2018-37	3628 W Turnberry Dr.	loc.	rub ditching bucket through ditch per plan to smooth it out and restore		Garth Ertl	3628 W Turnberry Dr.	Mequon, WI 53092
	X	40	49		2018-64	9521 W Huntington Dr.	loc.	regrade ditch 60' per plan		James Andersen	9521 W Huntington Dr.	Mequon, WI 53097
	X	41	49		2018-53	2519 W Range Line Terrace	loc.	regrade ditch +/- 200' per plan		Robert Madritsch	2519 W Range Line Terrace	Mequon, WI 53092

*added to CIP list November 10, 2020

Attachment: 2021 Major and Secondary Drainage Way CIP Draft List (7415 : Drainage CIP Update)



11333 N. Cedarburg Road
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Office of Engineering

TO: Public Works Committee
FROM: Kristen Lundeen, Director of Public Works/City Engineer
DATE: June 14, 2022
SUBJECT: 2022 Work Plan (6.14.22)

Attached for the Board's review is a copy of the proposed work plan for 2022.

Attachments:
2022 Work Plan (6.14.22) (PDF)

**Public Works Committee
2022 Work Plan (June 14, 2022)**

5.c.a

Month	Agenda Topics
July	• Drainage CIP Update and Establishment of CIP Meeting Date • Award of Building Capital Projects
August	• Drainage CIP
September	•
October	•
November	•
December	•

Future Agenda Topics

- Review of Standard Specifications for Land Development, for update and specifically as it relates to regulations of berms
- Prioritization of Drainage CIP
- Hawthorne Road
- Sidewalk Snow Removal Policy
- Policy language for structures (i.e. Little Free Library) within the building setback
- Discussion regarding path/sidewalk on Range Line Road south of Mequon Road

2022 Completed Items:

• Approval of Approving a First Amendment to the Special Event Agreement for Annual Gathering on the Green Festivities in Rotary Park • Authorization of Receipt of Infrastructure Improvements and Execution of a Dedication Agreement with Thiensville-Mequon Youth Baseball Association for Fencing Improvements at River Barn Park • Support of the M-T Trails Foundation, Inc. Application for a WisDOT TAP Grant and Pending MOU/Donation Agreement for an Off Road Path on Highland Road from the OIT to Rotary Park • Approval of the Purchase of a Replacement Plow Truck and a Replacement Mower • Contract Award for the 2022 Road Improvements • Contract Award for the 2022 Crack Sealing Contract • Contract Award for the 2022 GSB-88 Bituminous Seal Contract • Contract Award for Baseball Field Management Services During the 2022 Season • Approval of the Purchase of a Purchase of a CAT Excavator	
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Attachment: 2022 Work Plan (6.14.22) (7330 : 2022 Work Plan (6.14.22))