



11333 N. Cedarburg Road
Mequon, WI 53092
Phone: 262-236-2904
Fax: 262-242-9655

www.cityofmequonwi.gov

Department of Community Development
Taped

PLANNING COMMISSION
Regular Meeting
Monday, May 19, 2025
6:00 PM
Lower Conference Room

Agenda

1) Call to Order, Roll Call

- a) Approval of Minutes from April 21, 2025.

2) Public Hearing

- a) Thompson Project Management for Fromm Family Food. The applicant is seeking conditional use grant amendment and building and site plan amendment approval to allow for an approximately 16,500 sq. ft, 3 ½-story office building for the property located at 11050 N. Weston Drive.
- b) FORMA Design Gallery. The applicant is seeking conditional use grant approval to allow for a design showroom for the property located at 12080 N. Corporate Parkway.

3) Regular Business

- a) Arch Solar C&I for Frank L. Weyenberg Library. The applicant is seeking building and site plan amendment to allow for solar panels for the property located at 11345 N. Cedarburg Road.
- b) Trinity Church. The applicant is seeking minor request approval for a sign waiver to allow for an off-premises sign at a reduced setback for the property located at 11458 N. Wauwatosa Road.

4) Announcements

The next meeting is Monday, June 23, 2025, at 6:00 p.m.

5) Adjourn

Dated: May 14, 2025

/s/ Andrew Nerbun, Chair

Notice is hereby given that a quorum of other governmental bodies may be present at this meeting to present, discuss and/or gather information about a subject over which they have decision-making responsibility, although they will not take formal action thereto at this meeting.

Persons with disabilities requiring accommodations for attendance at this meeting should contact the City Clerk's Office at 262-236-2914, twenty-four (24) hours in advance of the meeting.

Any questions regarding this agenda may be directed to the Department of Community Development's Office at 262-236-2904, Monday through Friday, 8:00 AM – 4:30 PM



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PLANNING COMMISSION
Regular Meeting
Monday, April 21, 2025
6:00 PM
Lower Conference Room

Minutes

1) Call to Order, Roll Call

Present:

Chair Andrew Nerbun
 Alderman Robert Strzelczyk
 Commissioner Bruce Barnes
 Commissioner Martin Choren
 Commissioner Stephanie Hawley
 Commissioner Rebecca Schaefer – arrived 6:05 p.m.
 Commissioner John Stoker
 Commissioner Nancy Urbani

Chairman Nerbun called the meeting to order at 6:00 p.m.

a) Approval of Minutes from March 17, 2025

Action

Ald. Strzelczyk made a motion to approve the meeting minutes from March 18, 2025.
 Commissioner Stoker seconded the motion.
A voice vote was taken; vote passed (7-0)

RESULT: APPROVED [8 TO 0]
MOVER: Robert Strzelczyk, Alderman
SECONDER: John Stoker, Commissioner
AYES: Nerbun, Strzelczyk, Barnes, Choren, Hawley, Stoker, Urbani
NOT PRESENT: Schaefer

Attachment: PC_04.21.25_DRAFT (10360 : Meeting Minutes from April 21, 2025)

2) Public Hearing

- a) Applied Technologies, Inc. for the City of Mequon. The applicant is seeking conditional use grant and building and site plan amendment approval to allow for a public utility building (replacement of Lift Station E) for the property located at 2010 W. Ranch Road.

Action

Commissioner Stoker made a motion to open a public hearing.

Commissioner Urbani seconded the motion.

A voice vote was taken; vote passed (7-0)

Public Comment:

Howard Schlei - 1935 W. Riverbend Court - he is an immediate neighbor to the lift station and his concerns are regarding visual, odor and noise barriers for the new station. He would like to see the current station demolished and the area restored to natural conditions and landscaping enhanced for the wildlife and the esthetic there.

The applicant representative from Applied Technologies stated that the existing building will be demolished, and the restoration of the area will take place. He stated there are some issues there such as a berm around the station that may require DNR and FEMA approval. They will address odor, visual and noise concerns. He explained there is noise when the generator runs which occurs for about 1 hour every Monday morning.

Action

Commissioner Stoker made a motion to close the public hearing.

Commissioner Hawley seconded the motion.

A voice vote was taken; vote passed (7-0)

Director of Public Works/City Engineer Kristen Lundeen stated that there is a landscaping plan included in the packet just for the site at 2010 W. Ranch Road as that is the only area the city has the right to impact as of right now. Pending Planning Commission approval occurs, the next steps will include working through the legal documents to decommission the old station and it will eventually be demolished. Staff will work with the HOA who owns the outlot regarding any restoration to be done. The process of approvals will continue through the required steps, a neighborhood meeting will be held, and odor and noise concerns will be best controlled as best as technology allows.

Commissioners asked a few follow up questions, suggested staff reach out to the HOA regarding their annual meeting and then made a motion to approve the item.

Action

Ald. Strzleczyk made a motion to approve the conditional use grant and building and site plan amendment.

Commissioner Barnes seconded the motion.

A roll call vote was taken; vote passed (8-0)

RESULT: APPROVED [8 TO 0]
MOVER: Robert Strzelczyk, Alderman
SECONDER: Bruce Barnes, Commissioner
AYES: Nerbun, Strzelczyk, Barnes, Choren, Hawley, Schaefer, Stoker, Urbani

3) Consent Agenda

- a) Aspen Homes for Uher. The applicant is seeking minor request approval for a fill permit of 4,500 C.Y. to allow for a new home on an existing lot for the parcel located immediately west of 12050 W. Bonniwell Road (Majestic Meadows South subdivision Lot #10).
- b) James Bach. The applicant is seeking minor request approval for a fill permit of 1,140 C.Y. to allow for stabilization of the bluff base for the property located at 13346 N. Lakewood Drive.
- c) KCB Architects for Rick Cohen. The applicant is seeking minor request approval for a setback waiver to allow for an addition to the existing home for the property located at 320 E. Ravine Drive.

Commissioner Schaefer asked for agenda item 3(a) to be removed from the consent agenda.

Action

Ald. Strzelczyk made a motion to approve consent agenda items 3(b) and 3(c).
 Commissioner Stoker seconded the motion.
A voice vote was taken; vote passed (8-0)

City Engineer Cole McCraw answered the question about any possible water impact to neighboring properties. There are collection ponds and a lot of absorption on a 5-acre lot.

Action

Commissioner Stoker made a motion to approve the item.
 Commissioner Hawley seconded the motion.
A voice vote was taken; vote passed (8-0)

RESULT: APPROVED [8 TO 0]
MOVER: Robert Strzelczyk, Alderman
SECONDER: John Stoker, Commissioner
AYES: Nerbun, Strzelczyk, Barnes, Choren, Hawley, Schaefer, Stoker, Urbani

The issue of possible water impact to other neighbors was answered stating that there are ponds for water collection and a 5-acre lot absorbs water before any run would occur.

Attachment: PC_04.21.25_DRAFT (10360 : Meeting Minutes from April 21, 2025)

Action

Commissioner Stoker made a motion to approve 3(a).
Commissioner Hawley seconded the motion.
A voice vote was taken; vote passed (8-0)

RESULT:	APPROVED [8 TO 0]
MOVER:	John Stoker, Commissioner
SECONDER:	Stephanie Hawley, Commissioner
AYES:	Nerbun, Strzelczyk, Barnes, Choren, Hawley, Schaefer, Stoker, Urbani

4) Regular Business

- a) Super Steel Properties. The applicant is seeking minor request approval for a sign waiver to allow for directional signs within the right-of-way for the property located at 10910 N. Industrial Drive.

Planner Redding stated this request is for a sign waiver for two signs located in the right-of-way (“ROW”). Super Steel is proposing two directional signs to help truck drivers locate the correct entrance to use when entering their facility. City ordinance does not allow for structures to be located in the ROW. Staff recommend denial of the requested sign waiver.

The applicant stated that the current signs are used to direct trucks to the shipping area on site. In order to meet the required 30-foot offset, they would need to cut down approximately 6 to 7 trees, which they prefer not to do. He explained the current signs are located in the easiest place to be seen without being blocked by trees. The truck drivers need enough ample time to see the signs and slow down in time to enter at the designated driveway.

It was explained that truckers were incorrectly entering the employee entrance, and some employee cars were hit as trucks maneuvered to turn around.

The Planning Commission discussed the various issues and possible solutions for the placement of the directional signs.

Action

Ald. Strzelczyk made a motion to approve the item allowing staff to work with the applicant within the parameters that the sign to be no higher than 5 feet, be a maximum of 12 sq. ft. in size, and to allow no additional set back from the ROW due to sight limitations and safety concerns. Commissioner Hawley seconded the motion.
A roll call vote was taken; vote passed (7-1)(No vote: Barnes)

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RESULT: APPROVED WITH CONDITIONS [7 TO 0]
MOVER: Robert Strzelczyk, Alderman
SECONDER: Stephanie Hawley, Commissioner
AYES: Nerbun, Strzelczyk, Choren, Hawley, Schaefer, Stoker, Urbani
DEEMED NO: Barnes

- b) Kenton Jacek. The applicant is seeking rezoning recommendation approval to allow for a zoning change from B-1 (Neighborhood Business District) to R-4 (Rural Residential district) for the property located at 10806 W. Freistadt Road.

Planner Redding stated that this request is for a rezoning recommendation and land use plan amendment from B-1 zoning to R-4 zoning. The site currently has a single-family home which was built in 1860 and the owners wish to make improvements to the home but are limited by the 50% value because the use is non-conforming. She noted there is a chart included in the staff report which outlines the comparisons of the B-1 and R-4 zoning district standards and the existing conditions on site. The rezoning will bring the structure closer to being in conformance and the use will also be brought into conforming. Staff recommends approval of the rezoning and land use plan amendment.

Action

Ald. Strzelczyk made a motion to approve the item.

Commissioner Choren seconded the motion.

A voice vote was taken; vote passed (8-0)

RESULT: APPROVED [8 TO 0]
MOVER: Robert Strzelczyk, Alderman
SECONDER: Martin Choren, Commissioner
AYES: Nerbun, Strzelczyk, Barnes, Choren, Hawley, Schaefer, Stoker, Urbani

5) Policy

- 1) Lake Michigan Bluff

Action

Commissioner Schaefer made a motion to remove the item from the table.

Commissioner Stoker seconded the motion.

A voice vote was taken; vote passed (8-0)

Asst. Dir. Zader stated there is a letter from the city attorney included in the packet stating that the city would not be liable for any structures on the bluff. The onus would be on the property owner to hire a licensed engineer.

There was discussion amongst the Commission regarding how to best protect the city from any liability and include a timeline to enforce repair to bluff structures.

The general manager and partner, Andrzej Sitarski, from About Nature Company LLC., provided some feedback about the bluff structures and how repairs are made to damaged structures.

Action

Commissioner Choren made a recommendation of the policy item to the Common Council with the addition of a condition of a timeline to amendment condition #9 requiring a plan to repair the bluff structure if it is dilapidated, in disrepair or there is debris/unsafe conditions within 60 days of notice of noncompliance.

Ald. Strzelczyk seconded the motion.

A roll call vote was taken; vote passed (8-0)

RESULT:	RECOMMENDED [UNANIMOUS]
MOVER:	Martin Choren, Commissioner
SECONDER:	Robert Strzelczyk, Alderman
AYES:	Nerbun, Strzelczyk, Parrish, Barnes, Choren, Hawley, Schaefer, Stoker, Urbani

2) **ORDINANCE 2025-1680** - An Ordinance Amending Chapter 58 of the Mequon Municipal Code, Relating to the Imposition of Impact Fees.

Director of Public Works/City Engineer Kristen Lundeen stated The Parks and Open Space Board unanimously approved the amended ordinance. The amended ordinance addresses two key items:

1. An updated Park Impact fee of \$1,793.
2. Clean up of language in the ordinance.

Action

Ald. Strzelczyk made a motion to recommend the amended ordinance to the Common Council Commissioner Barnes seconded the recommendation.

A voice vote was taken; vote passed (7-1)(No vote: Stoker)

RESULT:	APPROVED [8 TO 0]
MOVER:	Robert Strzelczyk, Alderman
SECONDER:	Bruce Barnes, Commissioner
AYES:	Nerbun, Strzelczyk, Barnes, Choren, Hawley, Schaefer, Urbani
NO:	Stoker

3) Port Washington Road Zoning

Asst. Dir. Zader stated that this topic has been discussed for several years and now that the market analysis has been completed, the Economic Development Board (“EDB”) has recommended several zoning changes for the study corridor including:

Attachment: PC_04.21.25_DRAFT (10360 : Meeting Minutes from April 21, 2025)

- To allow larger square footage and 3-story buildings on the east side of Port Washington Road.
- Consolidating zoning districts as much as possible.
- Identified appropriate locations for future residential development.
- Eliminate a majority of office uses in the shopping center and retail/service zoning districts.

He showed the map (included in the packet) of the proposed new zoning districts along the Port Washington Road corridor and highlighted a few of the details of the different zoning.

All the different uses also needed to be reviewed and consolidated and the Use Chart has now been updated (chart included in packet). He commented on some of the specific uses in the varying zoning districts.

There was some discussion among the Commission and the overall feedback was approval of the recommended changes. Any additional feedback can be sent to Asst. Dir. Zader. He answered that the whole process will take about 3-6 months to complete.

The Use Chart will be back before the Commission for final recommendation next month.

RESULT: **RECOMMENDED [UNANIMOUS]**
MOVER: John Stoker, Commissioner
SECONDER: Nancy Urbani, Commissioner
AYES: Nerbun, Strzelczyk, Parrish, Barnes, Choren, Hawley, Schaefer, Stoker, Urbani

6) Announcements

The next meeting is Monday, May 19, 2025, at 6:00 p.m.

7) Adjourn

Action

Commissioner Stoker made a motion to adjourn the meeting.
 Commissioner Urbani seconded the motion.
A voice vote was taken; vote passed (8-0)

The meeting was adjourned at 8:00 p.m.

Respectfully Submitted,

Jac Zader

Attachment: PC_04.21.25_DRAFT (10360 : Meeting Minutes from April 21, 2025)



11333 N. Cedarburg Rd
 Mequon, WI 53092-1930
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Department of Community Development

TO: Planning Commission
FROM: JAC ZADER, ASSISTANT DIRECTOR COMMUNITY DEVELOPMENT
DATE: May 19, 2025
SUBJECT: Thompson Project Management for Fromm Family Food. The applicant is seeking conditional use grant amendment and building and site plan amendment approval to allow for an approximately 16,500 sq. ft, 3 1/2-story office building for the property located at 11050 N. Weston Drive.

Applicant: Stephen Perry Smith
 Status of Applicant: Agent
 Requested: Conditional Use Grant Amendment
 Building and Site Plan Amendment
 Existing Zoning: TC (Town Center)
 Existing Land Use Plan: TC (Town Center)
 Lot size: 2.25 Acres
 Location: 11050 N. Weston Drive
 Tax Key Number: #14-027-01-029.00
 District: #4

Background:

The applicant requests building and site plan amendment and conditional use grant amendment for a three and a half-story building located at 11050 N Weston Drive. This will be the third building on the parcel which currently includes the two three story buildings with uses such as Foxtown Market and Eric Trailside Bike shop. The building is 16,290 square feet in area and includes offices, conference rooms, private pickle ball courts and a green house. The use of office is permitted, but since the building is over two stories, a conditional use grant is required. This will be the last building that is part of the Foxtown Development. The Common Council approved the mixed-use PUD on January 9, 2018.

Land Use Plan and Arrival Corridor (TC) District Standards:

The Land Use Plan map designates the site as Town Center and the zoning district is Town Center (TC). The following table compares the proposed plan based on the land division to the TC district standards:

District Regulations:	TC:	Proposed Use:
Minimum Lot Area (site):	.5 acres	2.7 acres
Maximum FAR (site):	100%	60%
Building West Side Setback:	10 feet max	6 feet
Building East Side Offset:	10 feet	75 feet
Building North Side Offset:	10 feet	660 feet
Building South Side Offset:	10 feet	15 feet

Minimum Parking Offset North:	10 feet	670 feet
Minimum Parking Offset South:	10 feet	7 feet
Minimum Parking Offset East:	10 feet	3 feet
Total Parking Stalls (site):	221 stalls	146 surface 68 underground

Site Plan:

The proposed site plan shows the building located along Weston Drive with 23 parking stalls to the east. The plan complies with all setbacks and offsets except for the east and south parking lot offset. The reduced offset to the east lines up with the existing parking lot that serves E1 and E2 buildings. Staff has no issues with the reduced offset provided that the existing street trees are protected during development and there is additional landscaping installed to screen the lot from public view to the east. The south parking offset is also short of the required 10 feet offset. Staff is supportive of the reduction due to the fact that the adjacent parcel to the south is an outlot that is part of overall development so there is ample greenspace that will remain undeveloped. The site overall includes 146 surface stalls and 68 underground stalls which is short by 7 stalls from what is required by code. Staff does not believe this is an issue since there are 40 stalls available on Weston Drive and the entire development has a parking agreement to allow for shared parking among all of the Foxtown parcels.

The building is shown to be located in the 50-foot access easement along Foxtown Drive. One option to address this would be to reduce the easement width by 10 feet, which would still allow the ability to accommodate vehicles and pedestrians. While staff does not object to the reduction in the easement width, the current layout show a six foot jog in the sidewalk due to the building location. Staff recommends shifting the building to the south or reducing the length of the building so that the sidewalk is straight as it goes east. In order to shift the building south, a WE Energies easement will need to be modified. Staff is also recommending the curb ramps at the corner of the site match the pattern on the north side of the street. While there is currently not a sidewalk across the street, staff anticipates redevelopment of the parcel in the future.

Building Design:

The proposed building plan includes brick, stone, fiber cement, cedar shake and aluminum storefront windows. The design is similar to what currently exists on buildings E1 and E2. The primary difference is the proposed building is approximately at the same elevation as the sidewalk along Weston Drive. Staff feels that the location of the building will provide a more enhanced pedestrian connection along the front façade as required by the Town Center zoning district. Due to the slope of the sidewalk, a small portion of the base of the building at the northwest corner will be exposed. Staff will require this area to be finished with the same materials as the rest of the building. The primary materials of the building (brick and stone) are 56% of the façade which is less than the required 80% code requirement. The 56% is consistent with other buildings approved in the Town Center including the E1 and E2 buildings and the apartment building across the street. As a condition of approval, staff will require the door on the west façade to be in use when the building is open and that all first-floor windows comply with Section 58-301 (1) (2) with regard to obstructions

Lighting Plan:

The proposed lighting plan shows parking lot pole lights, wall packs, and wall sconces. The parking lot lights are the same Town Center decorative fixture used throughout the development and along Weston Drive. The wall packs are shown to be full cutoff in accordance with the lighting code. The goose neck lights will be used to illuminate the signage and the façade on the first floor. These are the same fixtures that were used on Buildings E1 and E2. The dispersion plan shows the

parking lot light levels in compliance with the lighting code. The plan does not include any bollards or any other site lighting. Staff is recommending an additional pole light along Weston Drive at the corner with Foxtown Drive to match the pattern that exists on the north side of the street and at the furthest point south at the termination of the sidewalk.

Landscape Plan:

The applicant has a landscaping plan for the development. Staff will require the applicant to submit an updated plan that will address the following issues:

- Deciduous trees shall be a minimum of 3" dbh
- The east parking lot shall be screened from public view.
- The two entrance islands shall include a shade tree to match the pattern on the opposite side of the street.
- There shall be two Spring Snow Crab trees added along Weston Drive. One on each end of the development.

Conditional Use Grant:

Since the structure exceeds 2.5 stories in height, the project requires conditional use grant approval. The building is height for the first three stories of the building matches the height of buildings E1 and E2. The addition of the greenhouse, which occupies approximately 20% on the fourth floor, brings the height of the building to 57' 1" which is roughly one foot higher than the MTC 1 building which is also 3.5 stories. The applicant has provided a shadow line study to show the impact of the increased height on the surrounding properties (see attached). The study shows that the building height has little impact on surrounding properties that are not part of the Foxtown PUD. The shadow study shows that the greatest impact to adjacent parcels is in December. The morning shadow will impact the corner of the Westhouse apartment building, and the afternoon shadow will impact the furthest west dwelling on the north side of the street on Foxtown Drive. Based on this limited impact, staff believes, the additional story will not have a negative impact on the overall value of the adjacent parcels or adjacent public spaces.

Engineering Report

Access is provided through a shared private roadway on Weston Drive. The private roadways are shared with the parcels to the east of the development. There is a recorded shared access agreement on file that was required with the original development.

The sidewalk along Weston Drive shall extend along their frontage and terminate with a curb ramp into Weston Drive. See attached Exhibit A.

The site is located within the City's sewer service area and connection to the public utility is required. There is currently sanitary sewer service and water service available to the site, and the civil plans show connection.

The agent has submitted a grading plan as part of their proposed site plan submittal. A filling, excavation, and berms permit is required. The total amount of filling and excavation is anticipated to be less than 1,000 cubic yards. As a condition of approval, the applicant shall provide documentation of the proposed haul route.

The PUD and previous Planning Commission conditional approvals required a shared stormwater management plan. The overall stormwater management plan has been submitted and approved by the City of Mequon and MMSD. The proposed site plan appears to be in general conformance with the approved plans. A technical memo comparing the site plan to the approved SWMP is

required prior to building permit issuance. A shared stormwater maintenance and easement agreement has been recorded.

A City erosion control permit is required. The erosion control permit shall be obtained prior to building permit issuance.

Wetlands do not appear to be present on site. The Wisconsin DNR surface water data viewer and aerial photos were used to confirm that there are no wetlands present.

Staff Recommendation: Planning staff recommends approval of the building and site plan and conditional use grant subject to the following conditions:

1. All requirements of the PUD (Ord#2017-1512) remain in effect.
2. Staff review and approval of final plans prior to issuance of permits. The applicant shall submit such plan within 180 days of Planning Commission action, or the required plan(s) shall be submitted to Planning Commission for additional review and action and subject to all necessary fees.
3. The lighting plan shall be updated to show a TC light fixture on the north and south end of the development between the sidewalk and the street.
4. No public use of the pickle ball courts are permitted.
5. The sidewalk along the south side of Foxtown Drive shall be straight and match into the existing curb ramp on the corner to the east.
6. The access easement shall be reduced to a width that does not include the proposed building.
7. The curb ramps at the corner of the site match the pattern on the north side of the street.
8. The door on the west façade to be in use when the building is open.
9. All first-floor windows shall comply with Section 58-301 (1) (2) with regard to obstructions.
10. Final staff review and approval of site, landscaping, elevations, floor plans, dumpster screening and lighting plans prior to the issuance of permits.
11. A landscaping escrow equal to 125% of the improvement costs for installation of landscaping by a licensed contractor and an escrow equal to 25% of the landscape contract cost to insure that landscaping that dies within three (3) years of installation will be replaced by the applicant.
12. All ground-level and roof top mechanical equipment shall be well screened from public view with screening or landscaping.
13. The landscaping plan shall be updated to include the following changes:
 - Deciduous trees shall be a minimum of 3” dbh
 - The east parking lot shall be screened from public view.
 - The two entrance islands shall include a shade tree to match the pattern on the opposite side of the street.
 - There shall be two Spring Snow Crab trees added along Weston Drive. One on each end of the development.
14. Engineering Division review and approval of the individual grading, drainage, erosion control, and utility plans in conformance to City ordinances and the Standard Specifications for Land Development. The applicant shall request in writing review from the Engineering Division when plans are ready for review.
15. The sidewalk along Weston Drive shall extend along their frontage and terminate with a curb ramp into Weston Drive.

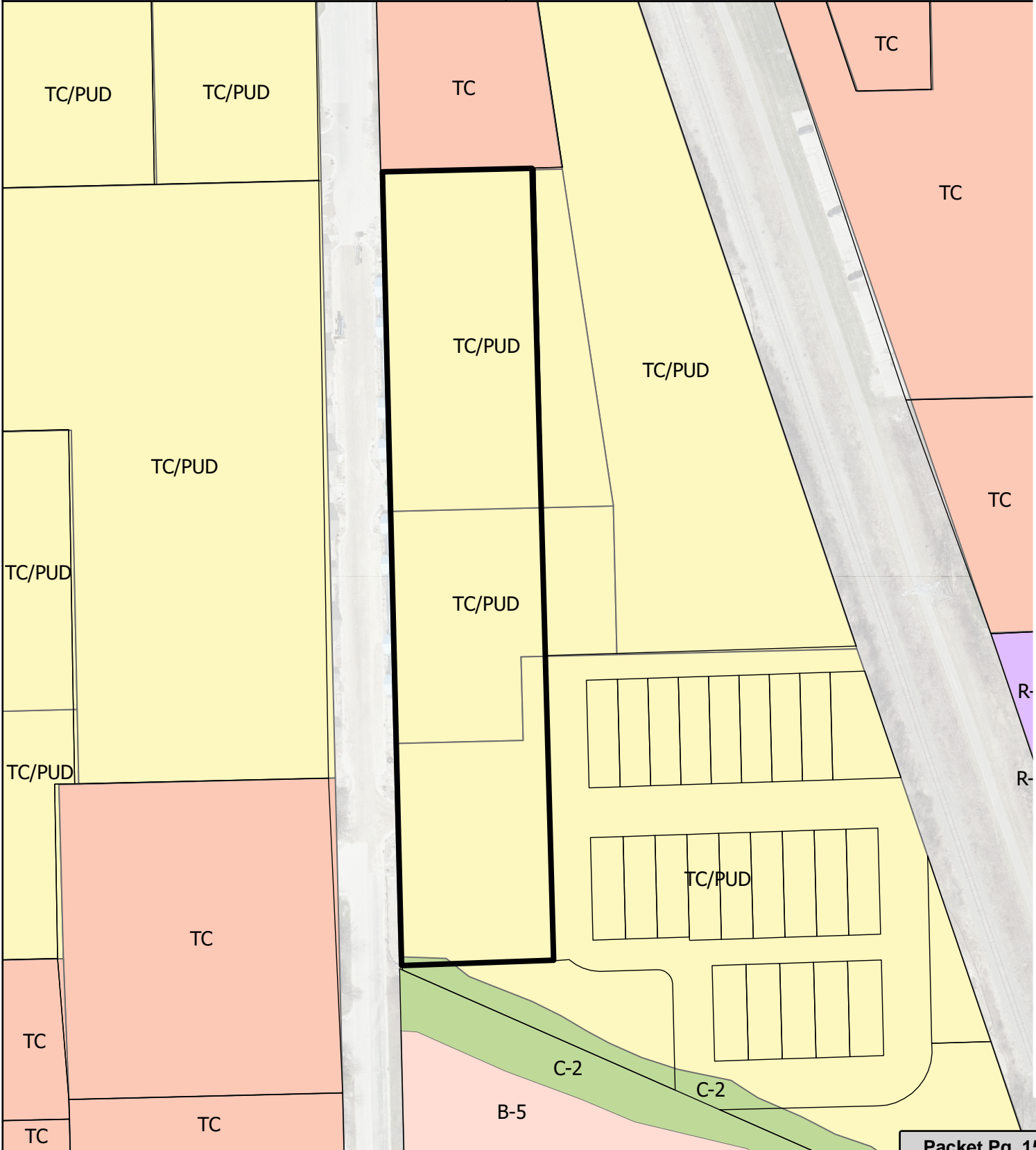
16. Connection to public sewer, and connection to public water, in conformance with the Water Connection Policy.
17. Submittal of a stamped memo from a registered Professional Engineer that the proposed site plans conform with the existing stormwater management plan for the site.
18. Application for and approval of a City Filling, Excavation, and Berms Permit. The permit is required prior to the issuance of a building permit.
19. Application for and approval of a City erosion control permit, subject to applicable fees, and conditioned upon WDNR issuance of a WRAPP permit, if applicable. The permit is required prior to the issuance of a building permit and site disturbance.

Attachments:

Packet Docs_05.19.25(PDF)

THOMPSON PROJECT MANAGEMENT FOR FROMM FAMILY FOOD

AC	Arrival Corridor	IPS	Institutional & Public Service
A-1	Agricultural Preserve	NC	Neighborhood Commercial
A-2	General Agricultural	OA	Agricultural Overlay
B-1	Neighborhood Business	PUD	Planned Unit Development Overlay
B-2	Community Business	P-1	Park & Recreation
B-3	Office & Service Business	R-1	Single-Family Residential (5 Ac. Min.)
B-4	Business Park	R-1B	Single-Family Residential (2.5 Ac. Min.)
B-5	Light Industrial	R-2	Single-Family Residential (2 Ac. Min.)
B-6	Rural Industrial	R-2B	Single-Family Residential (1.5 Ac. Min.)
B-7	Rural Business	R-3	Single-Family Residential (1 Ac. Min.)
C-1	Shoreland/Wetland Conservancy	R-4	Single-Family Residential (3/4 Ac. Min.)
C-2	General Conservancy	R-5	Single-Family Residential (1/2 Ac. Min.)
CGO	Central Growth Overlay	R-6	Single-Family Residential (4 DU/Ac.)
FFO	Flood Fringe Overlay	RM	Multi-Family Residential
FW	Floodway	TC	Town Center
IPS	Institutional & Public Service	TDR	Transfer of Development Rights



PROJECT:
FOXTOWN BUILDING E3
 N WESTON DRIVE, MEQUON, WI 53092



215 N. WATER STREET, SUITE 250
 MILWAUKEE, WI 53202
 414.277.9700
 spsarchitects.com

PROJECT

PROPOSED BUILDING FOR:

FOXTOWN BUILDING E3

N WESTON DRIVE
 MEQUON, WI 53092

**PROGRESS DOCUMENTS
 NOT FOR CONSTRUCTION**

THESE DOCUMENTS REFLECT PROGRESS AND INTENT AND MAY BE SUBJECT TO CHANGE, INCLUDING ADDITIONAL DETAIL. THESE ARE NOT FINAL CONSTRUCTION DOCUMENTS AND SHALL NOT BE USED FOR FINAL BIDDING OR CONSTRUCTION RELATED PURPOSES.

OWNER



REVISIONS

NO.	DESCRIPTION	DATE

INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	240909
ISSUED FOR	CITY REVIEW
DATE	APRIL 17, 2025

SHEET

TITLE PAGE

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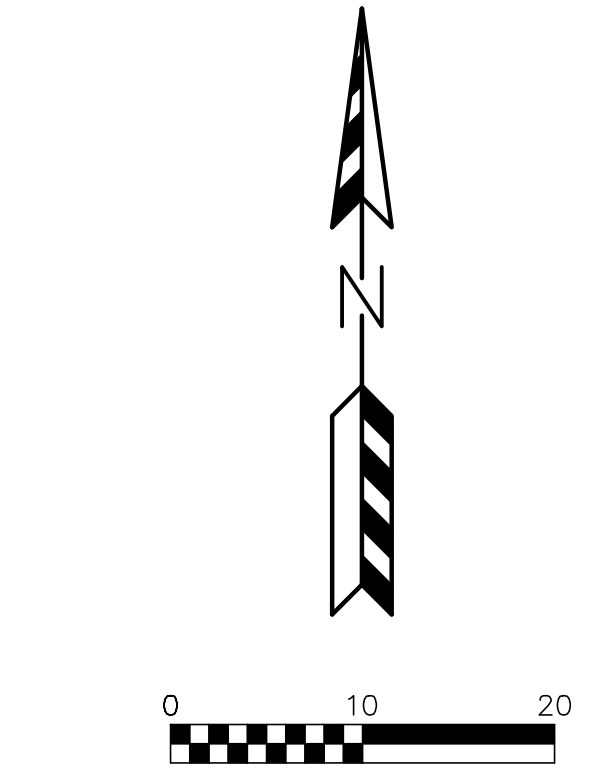
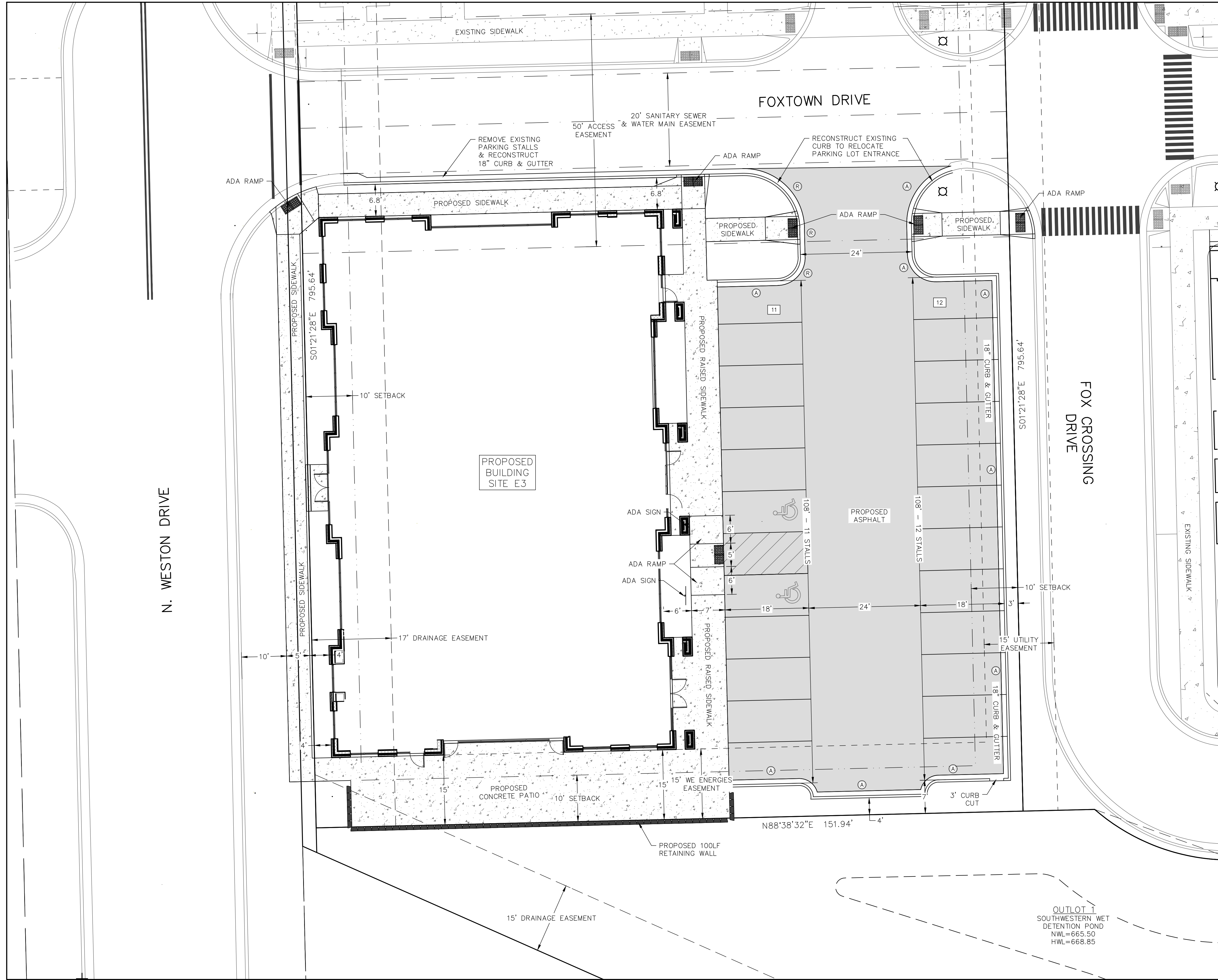
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ISSUED FOR: CITY REVIEW

ARCHITECT:
STEPHEN PERRY SMITH ARCHITECTS, INC.
 MILWAUKEE, WISCONSIN

Attachment: Packet Docs_05.19.25 (10362 : Thompson Project Management for Fromm Family Food)



- LEGEND:**
- # - PARKING STALLS IN A ROW
 - R - REJECT CURB
 - A - ACCEPT CURB

- PAVING LEGEND**
- ASPHALT PAVEMENT
 - 8" CRUSHED AGGREGATE BASE COURSE
 - 2 1/4" ASPHALTIC BINDER 3 LT 58-28 S
 - 1 3/4" ASPHALTIC SURFACE 4 LT 58-28 S
 - LIGHT ASPHALT PAVEMENT
 - 8" CRUSHED AGGREGATE BASE COURSE
 - 1 3/4" ASPHALTIC BINDER 4 LT 58-28 S
 - 1 1/4" ASPHALTIC SURFACE 5 LT 58-28 S
 - CONCRETE SIDEWALK
 - 6" CRUSHED AGGREGATE BASE COURSE
 - 4" CONCRETE

SITE INFORMATION BLOCK	
Site Address:	11050N Weston Drive
Legal Description:	Lot 1 of CSM No. 4054
Site Acreage	2.67 Acres
Current Zoning:	TC/PUD
Building Setback Requirements	
Front	10 feet
Side	10 feet
Rear	10 feet
Parking	
Stalls Provided:	21
ADA Stalls Provided:	2
Total Stalls:	23

Proposed Site Areas		
Description	Area (sf)	% Impervious
Building	8,290	38.87
Concrete	3,017	14.15
Asphalt	7,350	34.47
Total Impervious	18,657	87.49
Lawn	2,668	12.51
Total	21,325	100.00

- SITE PLAN NOTES:**
- DIMENSIONS ARE TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - WHERE CURB ENDS AT CONNECTIONS SMOOTHLY TRANSITION FROM FULL CURB HEIGHT TO ZERO CURB HEIGHT WITHIN A 3' LENGTH.
 - ALL STRIPING AND SIGNAGE SHALL COMPLY WITH THE WISCONSIN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

NO.	DATE	DESCRIPTION



PROJECT TITLE:
FOXTOWN - BUILDING E3
WESTON DRIVE
MEQUON, WI 53092

PLAN TITLE:
PROPOSED
SITE PLAN

DRAWN BY:
KJP

DESIGNED BY:
KJP

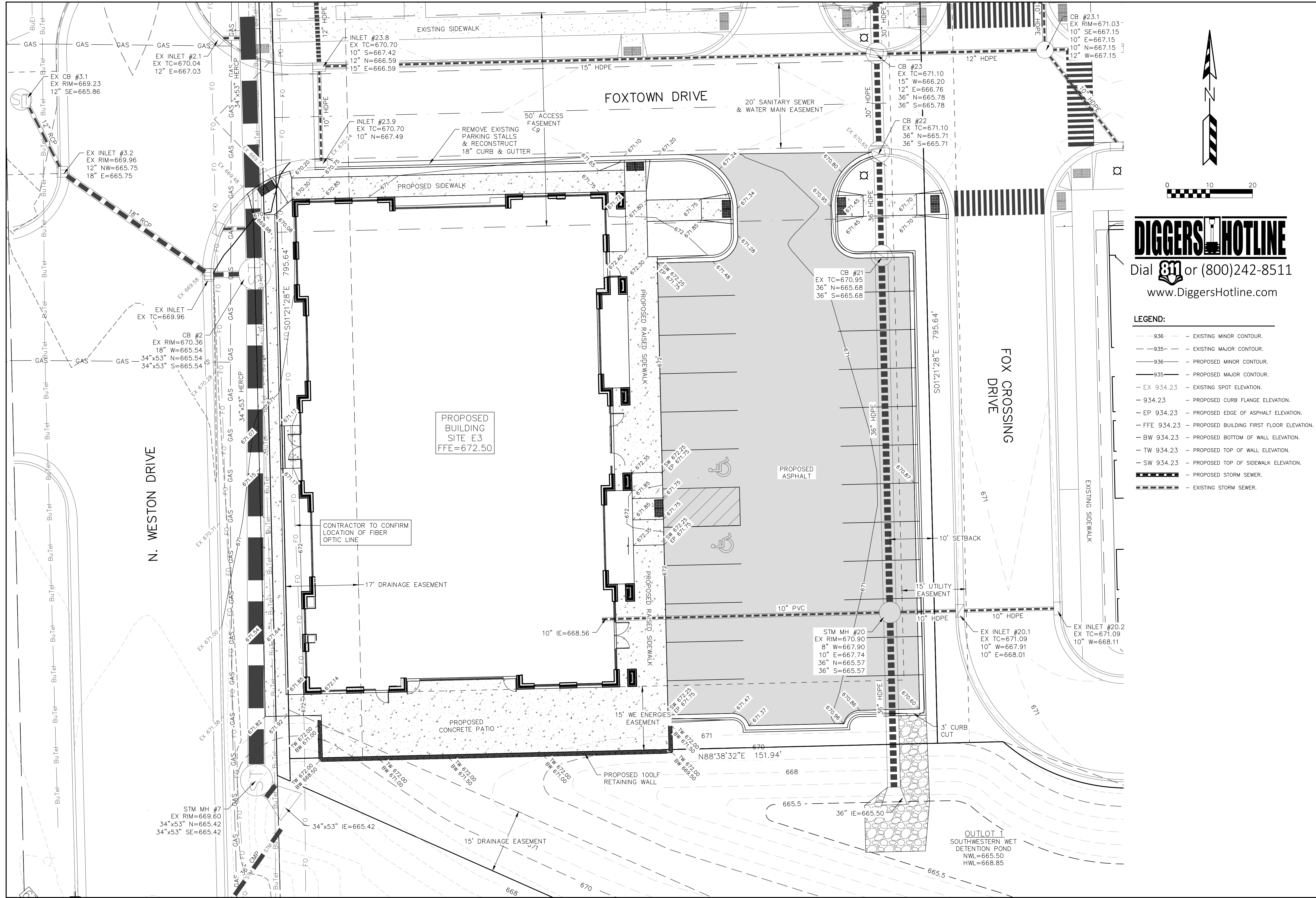
CHECKED BY:
KJP

PLAN DATE:
4/14/2025

PROJECT NO.:
IPD-04-16

CITY REVIEW

SHEET NO.:
C1.02



DIGGERS HOTLINE
 Dial 811 or (800)242-8511
 www.DiggersHotline.com

- LEGEND:**
- 936 --- EXISTING MINOR CONTOUR.
 - 935 --- EXISTING MAJOR CONTOUR.
 - 936 --- PROPOSED MINOR CONTOUR.
 - 935 --- PROPOSED MAJOR CONTOUR.
 - EX 934.23 - EXISTING SPOT ELEVATION.
 - 934.23 - PROPOSED CURB FLANGE ELEVATION.
 - EP 934.23 - PROPOSED EDGE OF ASPHALT ELEVATION.
 - FFE 934.23 - PROPOSED BUILDING FIRST FLOOR ELEVATION.
 - BW 934.23 - PROPOSED BOTTOM OF WALL ELEVATION.
 - TW 934.23 - PROPOSED TOP OF WALL ELEVATION.
 - SW 934.23 - PROPOSED TOP OF SIDEWALK ELEVATION.
 - --- PROPOSED STORM SEWER.
 - --- EXISTING STORM SEWER.

NO.	DATE	DESCRIPTION

PSE
 PARISH SURVEY & ENGINEERING
 122 Wisconsin Street, West Bend, WI 53095
 262.346.7800
 www.parishse.com

PROJECT TITLE:
**FOXTOWN - BUILDING E3
 WESTON DRIVE
 MEQUON, WI 53092**

PLAN TITLE:
GRADING PLAN

DRAWN BY:
KJP

DESIGNED BY:
KJP

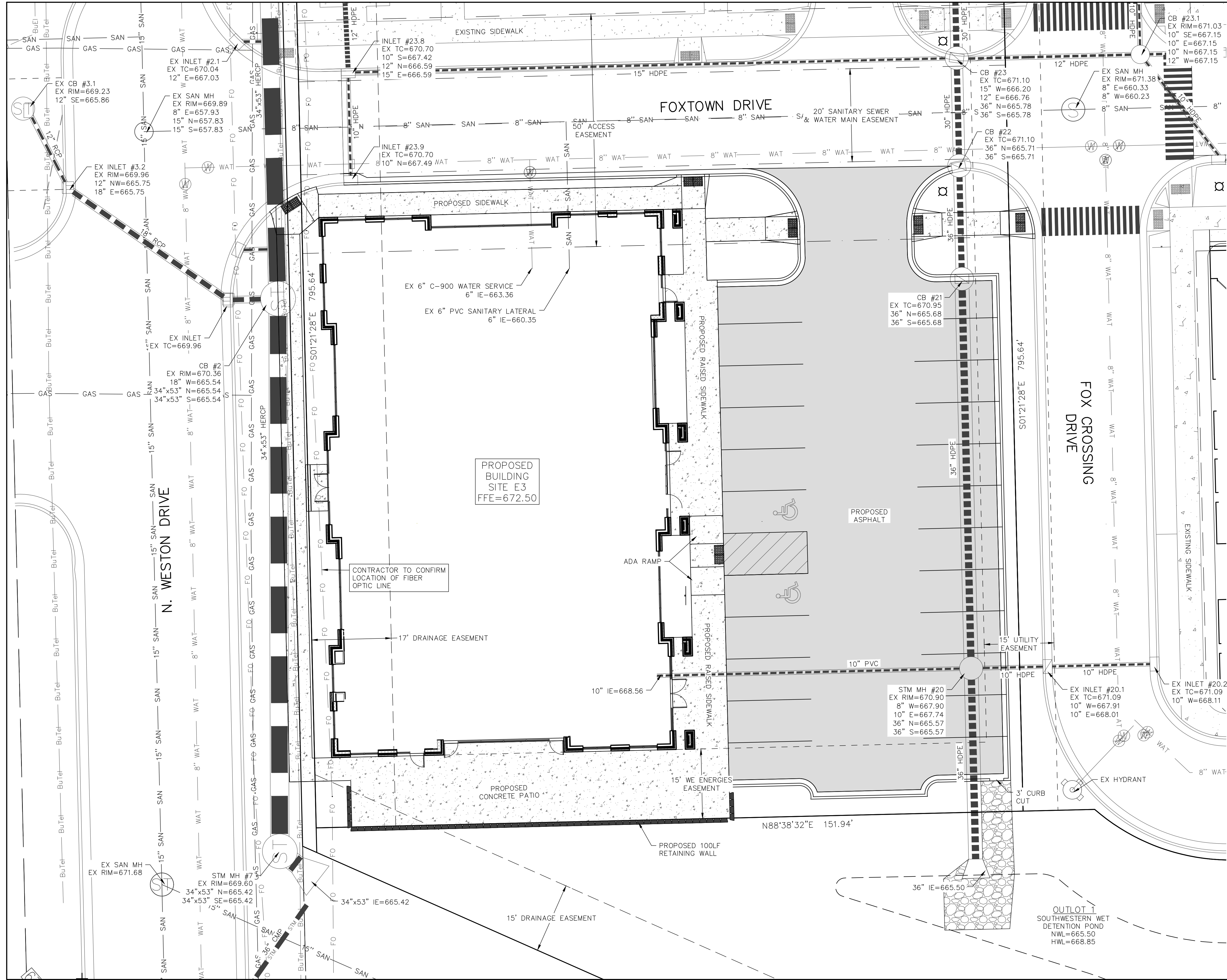
CHECKED BY:
KJP

PLAN DATE:
4/14/2025

PROJECT NO:
VPD-04-16

CITY REVIEW

SHEET NO:
C1.04



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- LEGEND:**
- OVERHEAD ELECTRIC LINE.
 - BuEl — BURIED ELECTRIC LINE.
 - BuTel — BURIED TELEPHONE LINE.
 - FO — FIBER OPTIC LINE.
 - GAS — GAS LINE.
 - SAN — SANITARY SEWER.
 - WAT — WATER MAIN OR SERVICE.
 - STORM SEWER LINE.
 - (G) — GAS VALVE.
 - (FH) — FIRE HYDRANT.
 - (PP) — POWER POLE.
 - (SN) — SANITARY SEWER MANHOLE.
 - (ST) — STORM SEWER MANHOLE.
 - (SI) — STORM SEWER INLET.
 - (TP) — TELEPHONE PEDESTAL.
 - (TRN) — TRANSFORMER.
 - (WV) — WATER VALVE.
 - SAN — PROPOSED SANITARY SEWER.
 - WAT — PROPOSED WATER MAIN.
 - ST — PROPOSED STORM SEWER.
 - GAS — PROPOSED GAS MAIN.

NO.	DATE	DESCRIPTION

PSE
 PARISH SURVEY & ENGINEERING
 122 Wisconsin Street, West Bend, WI 53095
 www.parishse.com
 262.346.7800

PROJECT TITLE:
**FOXTOWN - BUILDING E3
 WESTON DRIVE
 MEQUON, WI 53092**

PLAN TITLE:
UTILITY PLAN

DRAWN BY:
KJP
 DESIGNED BY:
KJP
 CHECKED BY:
KJP

PLAN DATE:
4/14/2025

PROJECT NO:
IPD-04-16

CITY REVIEW

SHEET NO:
C1.05



215 N. WATER STREET, SUITE 250
MILWAUKEE, WI 53202
414.277.9700
spsarchitects.com

PROJECT

PROPOSED BUILDING FOR:

FOXTOWN BUILDING E3

N WESTON DRIVE
MEQUON, WI 53092

PROGRESS DOCUMENTS
NOT FOR CONSTRUCTION

THESE DOCUMENTS REFLECT PROGRESS AND INTENT AND MAY BE SUBJECT TO CHANGE, INCLUDING ADDITIONAL DETAIL. THESE ARE NOT FINAL CONSTRUCTION DOCUMENTS AND SHALL NOT BE USED FOR FINAL BIDDING OR CONSTRUCTION RELATED PURPOSES.

OWNER



REVISIONS

NO.	DESCRIPTION	DATE
-----	-------------	------

INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	240909
ISSUED FOR	CITY REVIEW
DATE	APRIL 17, 2025

SHEET

ARCHITECTURAL SITE PLAN

A050

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PROPOSED BUILDING INFORMATION:

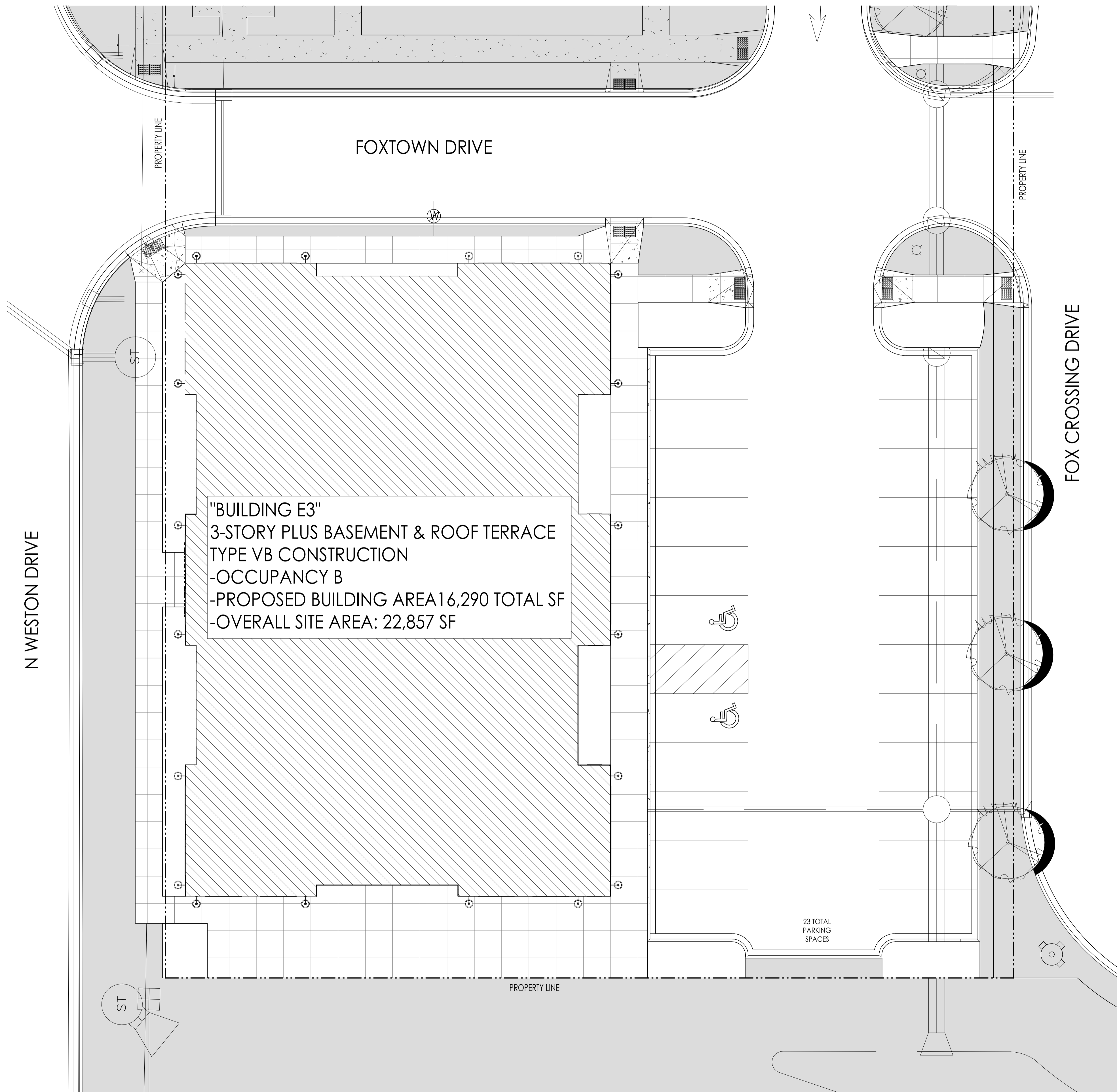
CONSTRUCTION TYPE: VB
TOTAL BUILDING AREA: 16,290 SF
TOTAL SITE AREA: 23,412 SF
TOTAL BUILDING AREA: 8,281 SF 35%
F.A.R. = 15,131 SF 65%

OCCUPANCY:
BASEMENT (STORAGE S-1) = 7,181 SF
FIRST FLOOR (ASSEMBLY - BUSINESS ACCESSORY USE) = 7,181 SF
SECOND FLOOR (ASSEMBLY - BUSINESS ACCESSORY USE) = 2,014 SF
THIRD FLOOR (BUSINESS) = 7,181 SF
ROOF TOP (BUSINESS) = 1,494 SF

FULLY SPRINKLERED

EXIT ACCESS TRAVEL DISTANCE
A & S-1 = 250'
B = 300'

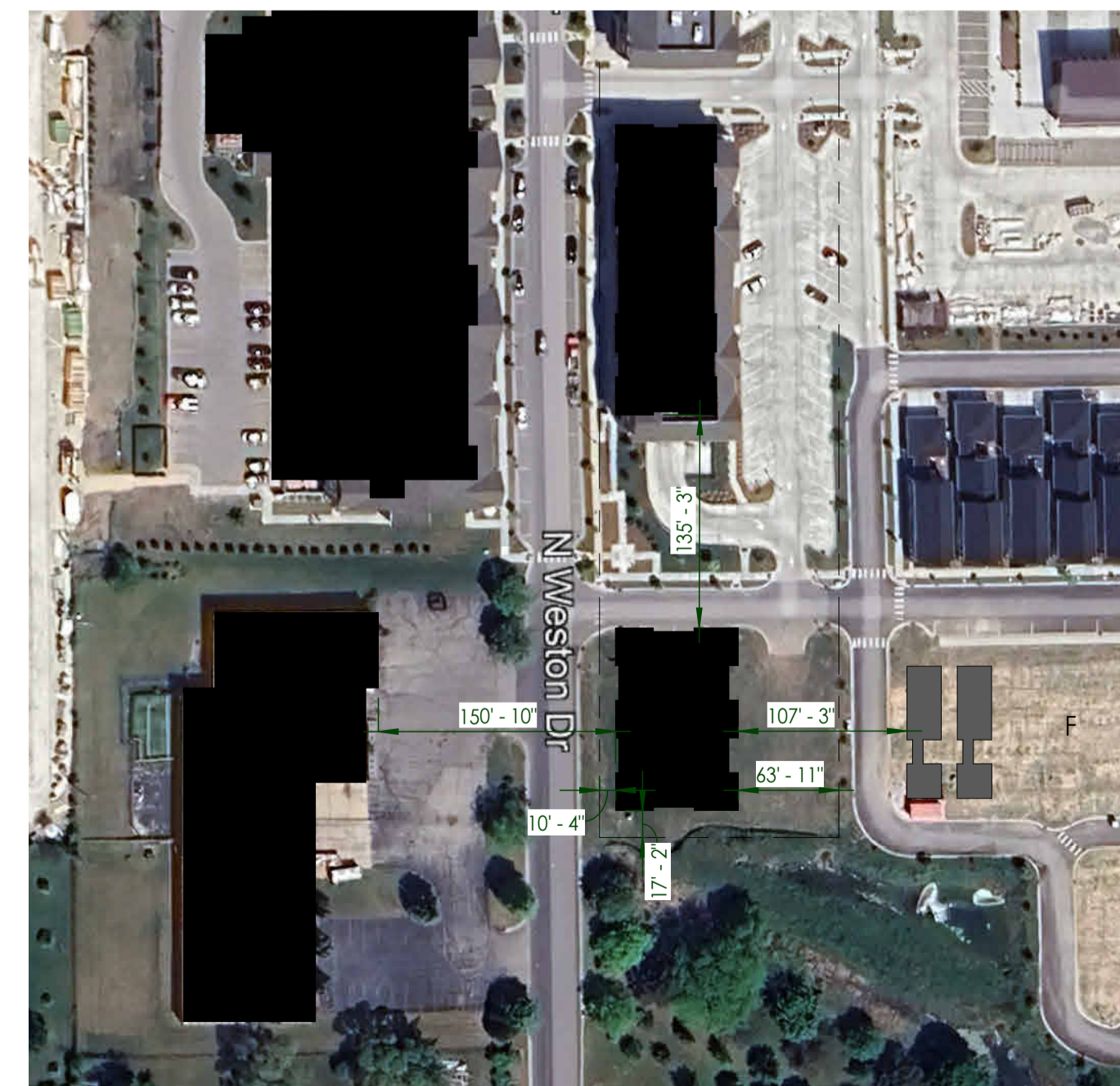
DEAD END CORRIDORS NOT TO EXCEED 50'
MIN. CORRIDOR WIDTH - 44"
CORRIDOR FIRE-RESISTANCE RATING = 0



1 ARCHITECTURAL SITE PLAN -
SCALE 1" = 10'-0"



2 VACINITY MAP
SCALE 1" = 100'-0"



Attachment: Packet Docs_05-19-25 (10362 : Thompson Project Management for Fromm Family Food)



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PROJECT

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N WESTON DRIVE
MEQUON, WI 53092

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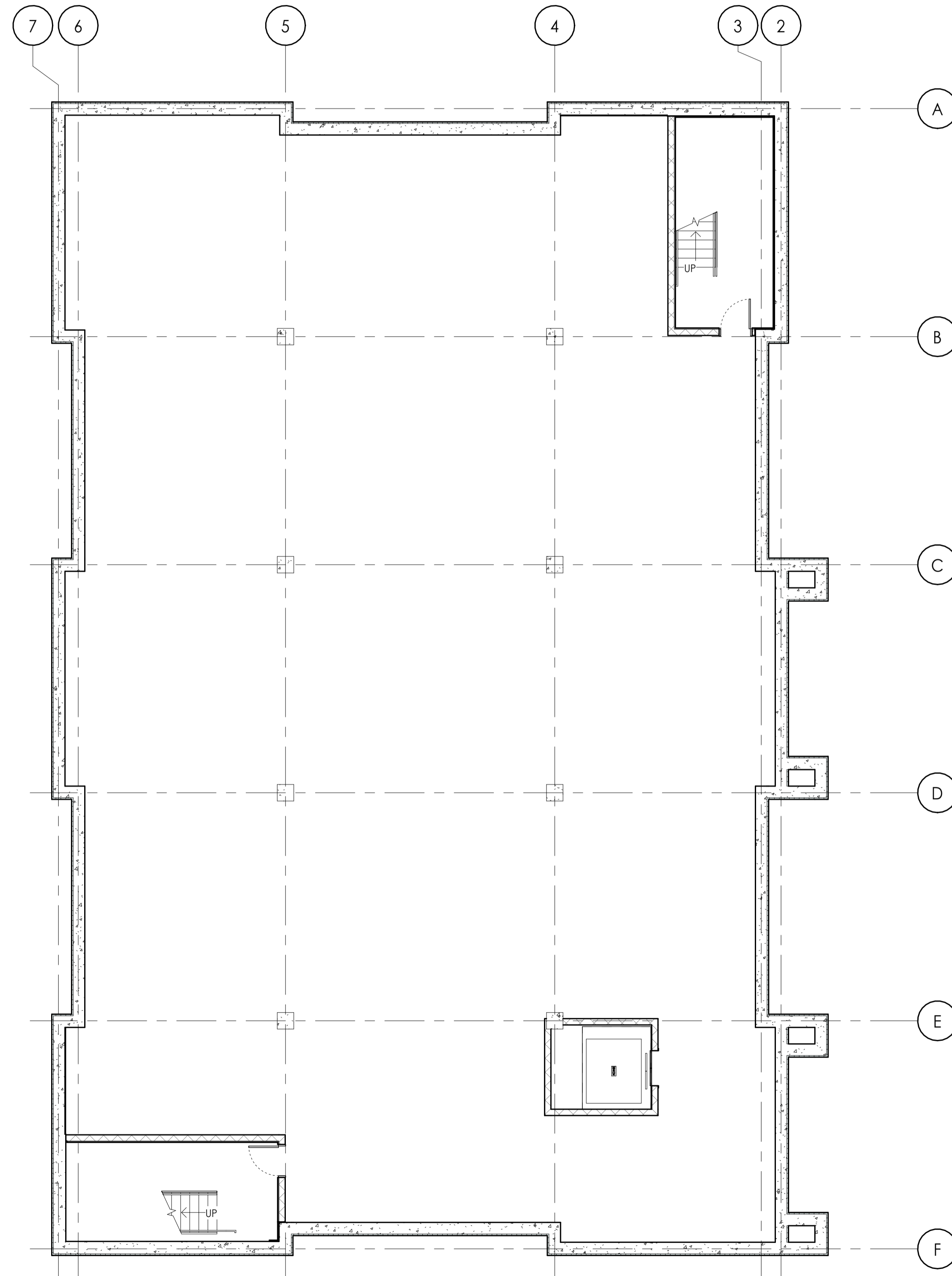
SHEET

CONSTRUCTION PLAN - BASEMENT & 1ST FLOOR

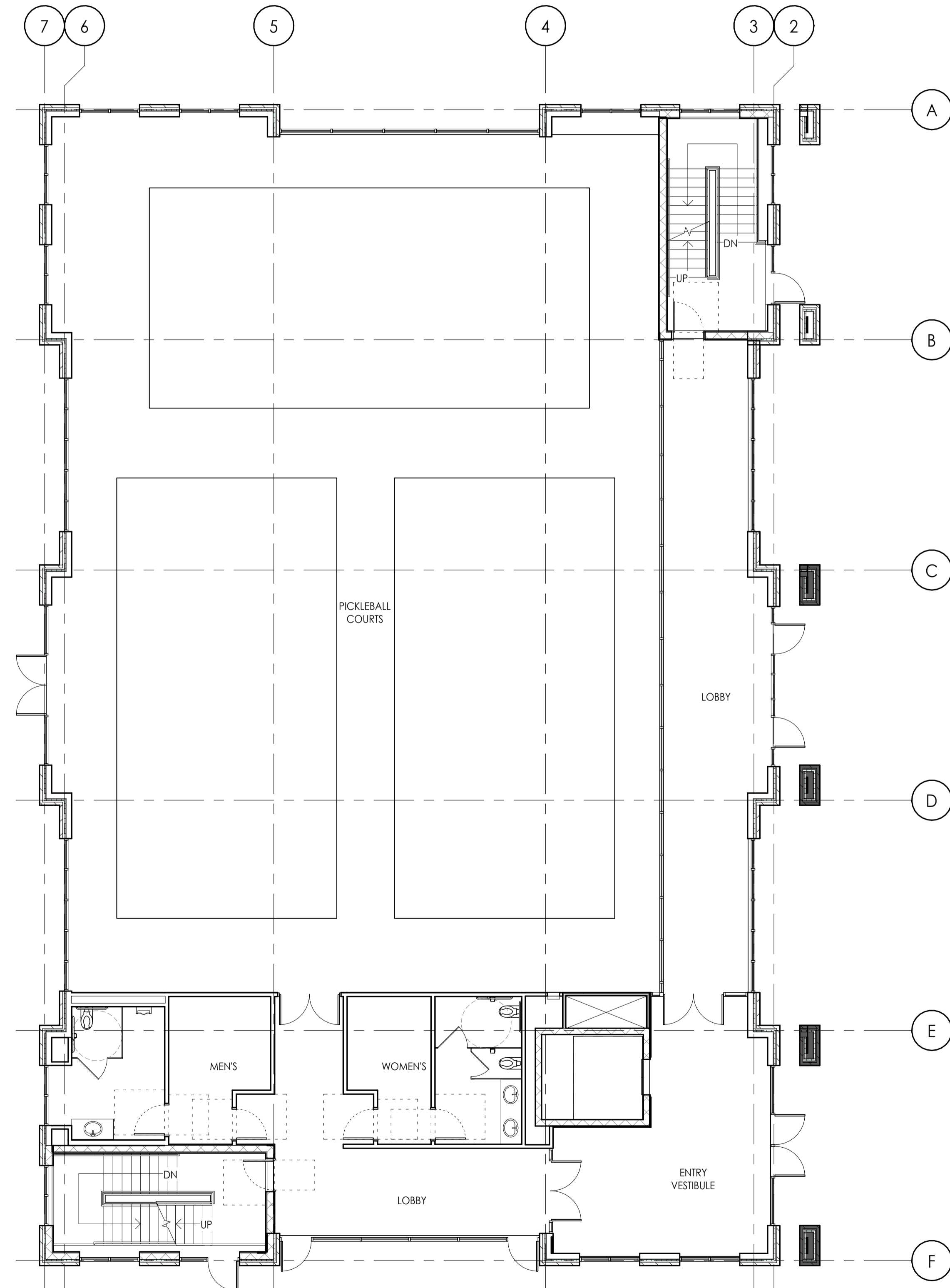
A101

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2 BASEMENT
SCALE 1/8" = 1'-0"



1 1ST FLOOR PLAN
SCALE 1/8" = 1'-0"





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PROJECT

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N WESTON DRIVE
MEQUON, WI 53092

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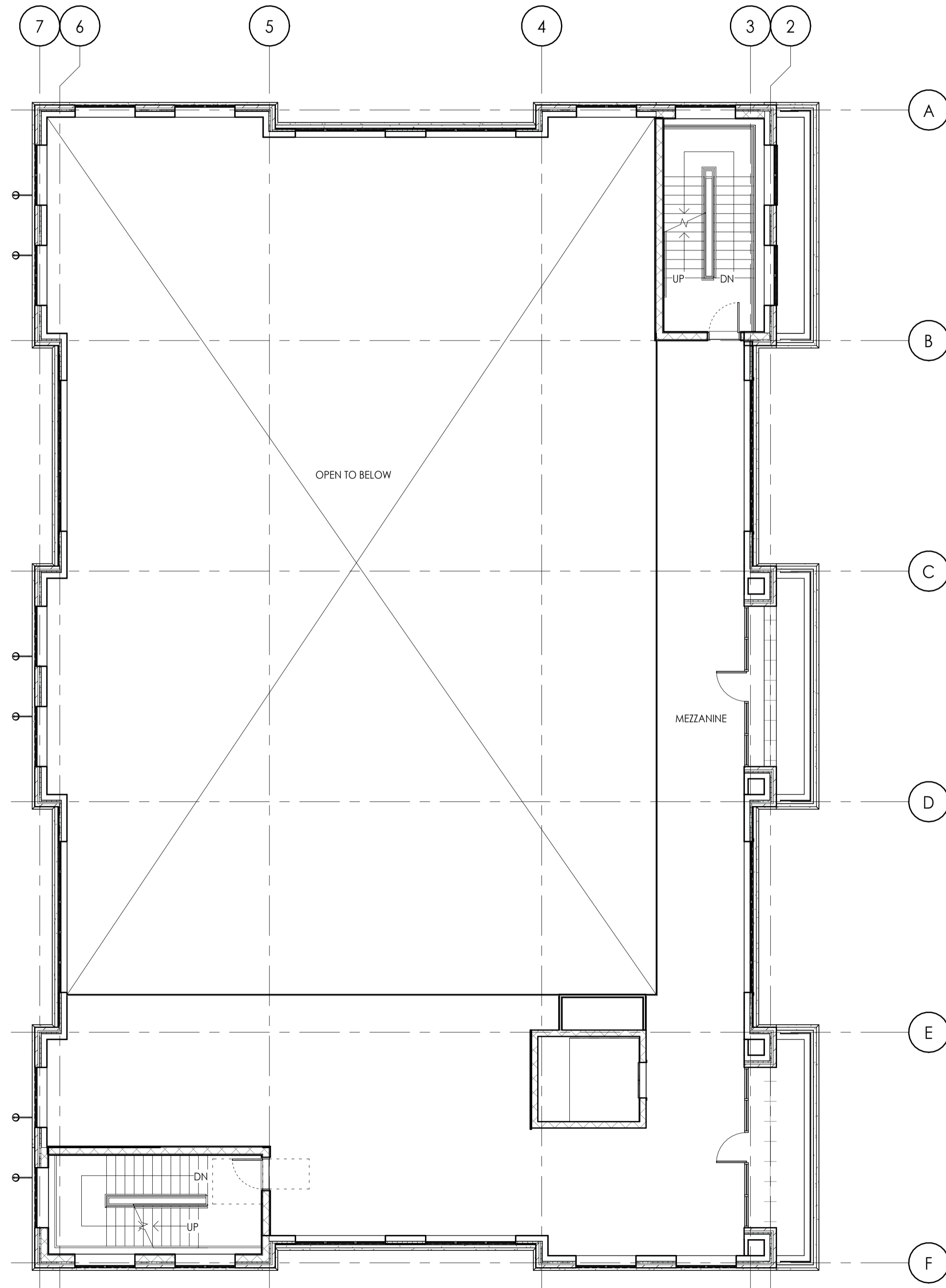
SHEET

CONSTRUCTION PLAN - 2ND & 3RD FLOOR

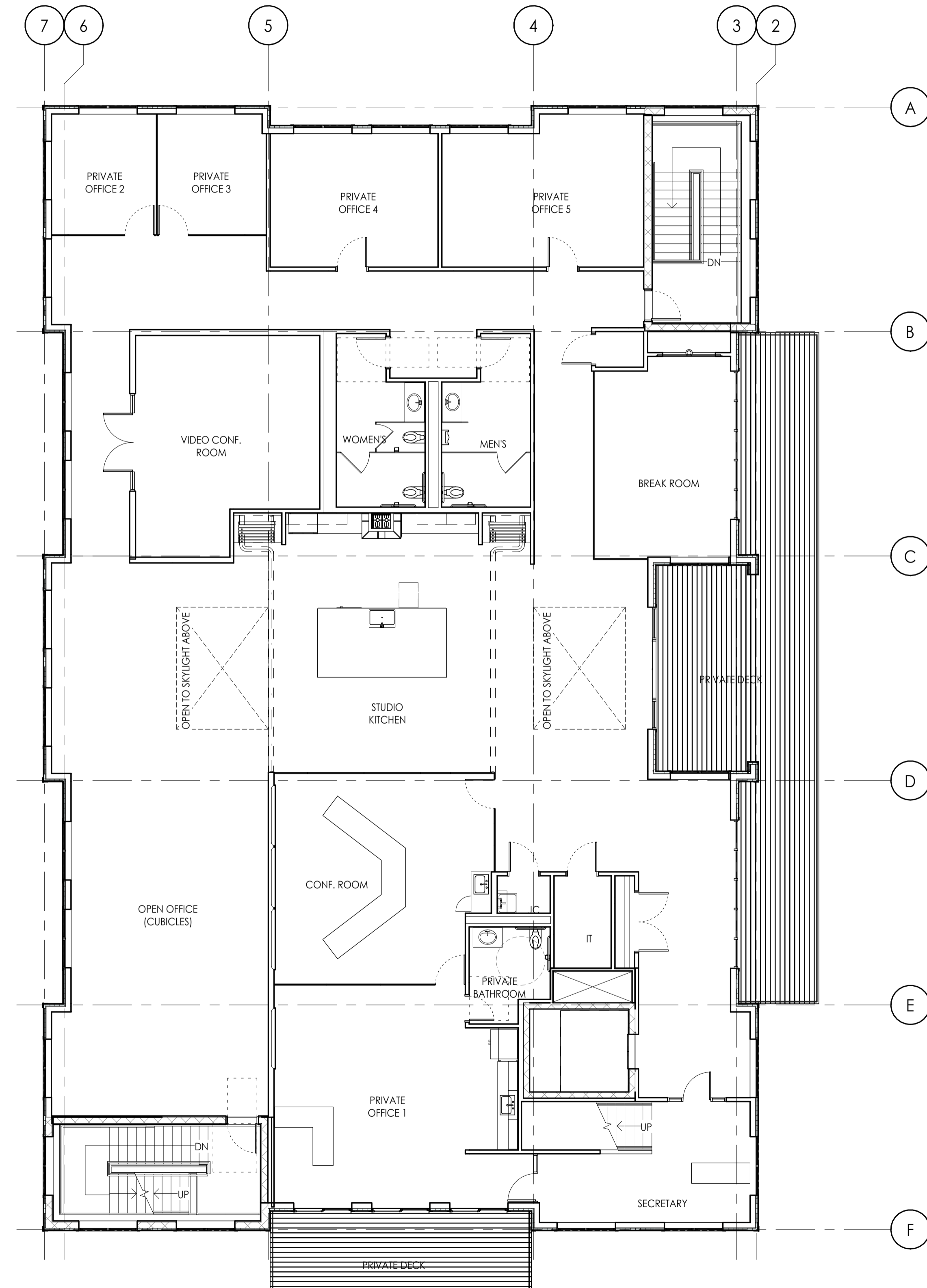
A102

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1 2ND FLOOR PLAN
SCALE 1/8" = 1'-0"



2 3RD FLOOR PLAN
SCALE 1/8" = 1'-0"





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PROJECT

PROPOSED BUILDING FOR:

**FOXTOWN BUILDING
E3**

N WESTON DRIVE
MEQUON, WI 53092

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PROJECT NUMBER	240909
ISSUED FOR	CITY REVIEW
DATE	APRIL 17, 2025

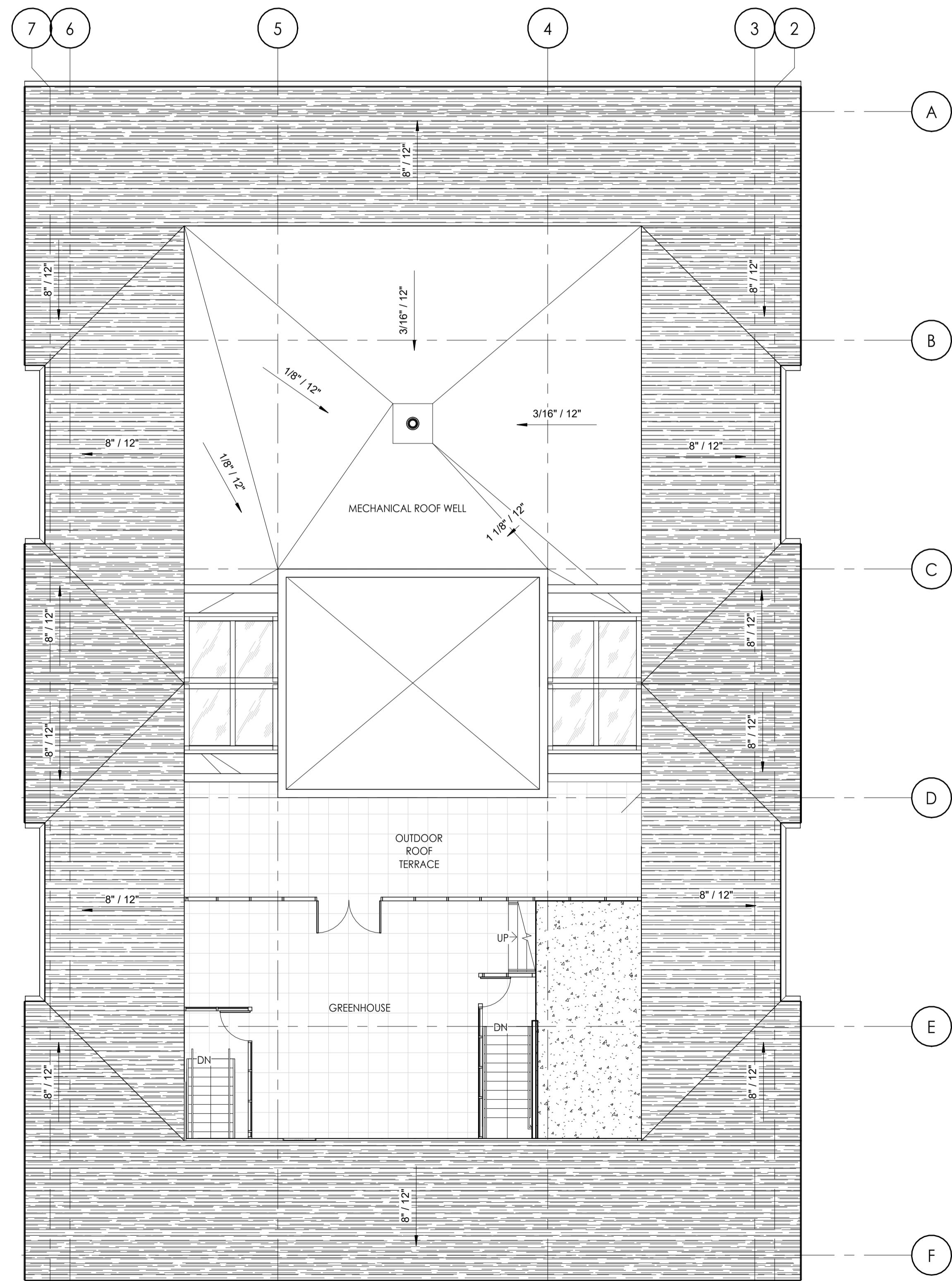
SHEET

ROOF PLAN

A103

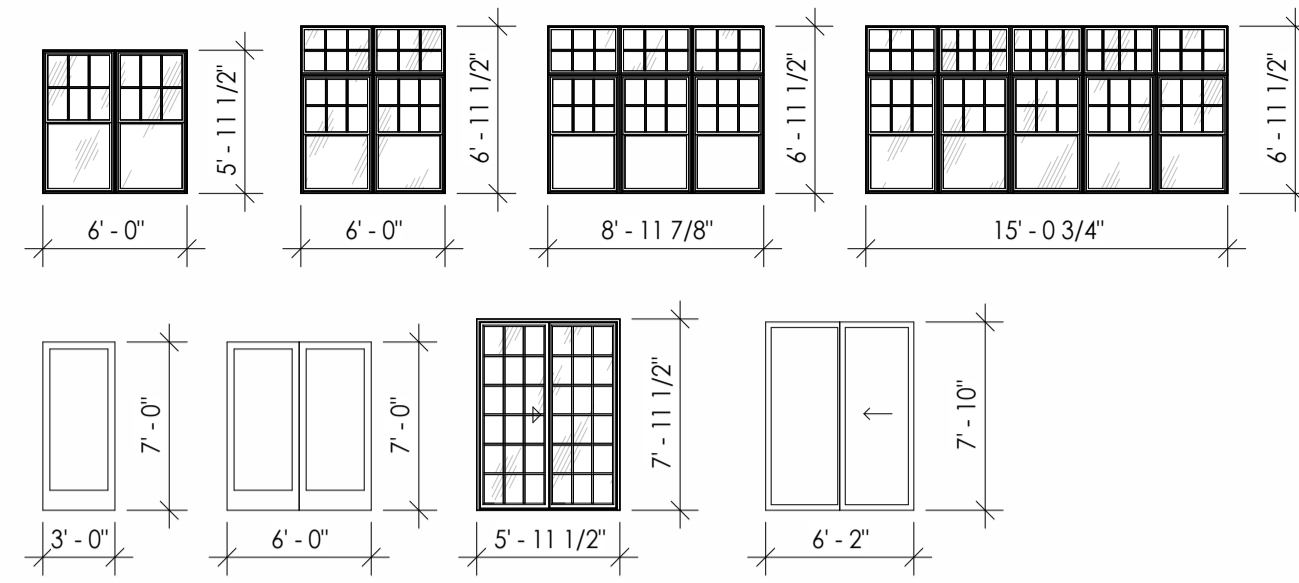
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1 ROOF PLAN - E3
SCALE 1/8" = 1'-0"





6 DOORS AND WINDOWS - DIMS

SCALE 1/8" = 1'-0"

MATERIAL AREAS

	N	S	E	W	TOTALS (SF)
BRICK:	367	411	719	815	2312
STONE:	490	543	648	712	2393
LAP SIDING:	117	100	180	207	604
SHAKE SIDING:	547	467	1090	434	2538
WINDOWS:	546	582	354	822	2304
STOREFRONT:	500	500	1460	710	3170

ELEVATION KEYNOTES

- ① DARK ANODIZED STOREFRONT WINDOW
- ② FIBERGLASS DOUBLE HUNG WINDOW WITH INSULATED, LOW-E GLASS
- ③ FIBER CEMENT HORIZONTAL SIDING
- ④ CEDAR SHAKE SIDING
- ⑤ FULL DEPTH STONE
- ⑥ BRICK
- ⑦ CAST STONE COPING
- ⑧ CAST STONE BAND
- ⑨ CAST STONE LINTEL
- ⑩ COMPOSITE TRIM
- ⑪ COMPOSITE CORBEL
- ⑫ COMPOSITE FASCIA
- ⑬ COMPOSITE PANEL
- ⑭ BUILDING SIGNAGE
- ⑮ BUILDING LIGHTING
- ⑯ FIBERGLASS STOREFRONT SLIDING DOOR
- ⑰ FIBERGLASS PATIO DOOR
- ⑱ PREFINISHED ALUMINUM RAILING ON DECK
- ⑲ FABRIC AWNING AND PREFINISHED ALUMINUM FRAME
- ⑳ TIMBER BEAM DECK FRAMING



215 N. WATER STREET, SUITE 250
MILWAUKEE, WI 53202
414.277.9700
spsarchitects.com

PROJECT

PROPOSED BUILDING FOR:

FOXTOWN BUILDING E3

N WESTON DRIVE
MEQUON, WI 53092

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NO.	DESCRIPTION	DATE
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INFORMATION

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PROJECT MANAGER	EJN
PROJECT NUMBER	240909
ISSUED FOR	CITY REVIEW
DATE	APRIL 17, 2025

SHEET

BUILDING ELEVATIONS

A401

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2 NORTH ELEVATION E3

SCALE 1/8" = 1'-0"

5 GOOSE NECK LIGHTING

SCALE 6" = 1'-0"



4 GOOSE NECK SIGN LIGHTING

SCALE 1/2" = 1'-0"



3 EXTERIOR BUILDING SIGN, TYP

SCALE 1/2" = 1'-0"

1 EAST ELEVATION E3

SCALE 1/8" = 1'-0"





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PROJECT

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FOXTOWN BUILDING E3

N WESTON DRIVE
MEQUON, WI 53092

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DATE	APRIL 17, 2025

SHEET

BUILDING ELEVATIONS

A402

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ELEVATION KEYNOTES

- ① DARK ANODIZED STOREFRONT WINDOW
- ② FIBERGLASS DOUBLE HUNG WINDOW WITH INSULATED, LOW-E GLASS
- ③ FIBER CEMENT HORIZONTAL SIDING
- ④ CEDAR SHAKE SIDING
- ⑤ FULL DEPTH STONE
- ⑥ BRICK
- ⑦ CAST STONE COPING
- ⑧ CAST STONE BAND
- ⑨ CAST STONE LINTEL
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- ⑰ FIBERGLASS PATIO DOOR
- ⑱ PREFINISHED ALUMINUM RAILING ON DECK
- ⑲ FABRIC AWNING AND PREFINISHED ALUMINUM FRAME
- ⑳ TIMBER BEAM DECK FRAMING



2 SOUTH ELEVATION E3
SCALE 1/8" = 1'-0"



1 WEST ELEVATION E3
SCALE 1/8" = 1'-0"



STEPHEN
PERRY
SMITH
ARCHITECTS, INC.
215 N. WATER STREET, SUITE 250
MILWAUKEE, WI 53202
414.277.9700
spsarchitects.com

PROJECT

PROPOSED BUILDING FOR:

**FOXTOWN BUILDING
E3**

N WESTON DRIVE
MEQUON, WI 53092

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PROJECT MANAGER	EJN
PROJECT NUMBER	240909
ISSUED FOR	CITY REVIEW
DATE	APRIL 17, 2025

SHEET

EXTERIOR RENDERINGS

X1

Attachment: Packet Docs_05.19.25 (10362 : Thompson Project Management for Fromm Family Food)



**STEPHEN
PERRY
SMITH**
ARCHITECTS, INC.

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414.277.9700
spsarchitects.com

PROJECT

PROPOSED BUILDING FOR:

**FOXTOWN BUILDING
E3**

N WESTON DRIVE
MEQUON, WI 53092

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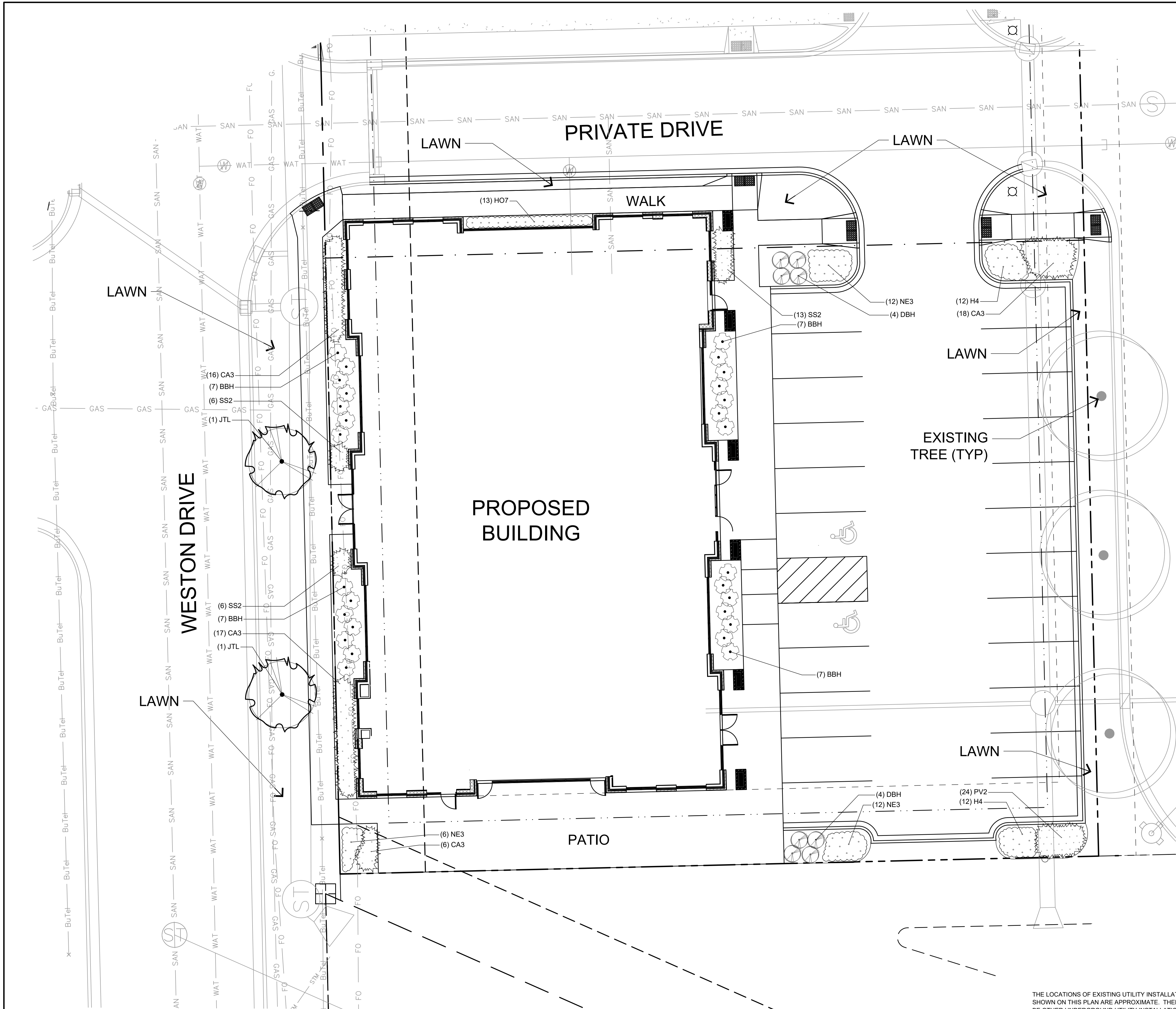
INFORMATION

PROJECT ARCHITECT	SPS
PROJECT MANAGER	EJN
PROJECT NUMBER	240909
ISSUED FOR	CITY REVIEW
DATE	APRIL 17, 2025

SHEET

EXTERIOR RENDERINGS

X2



PLANT SCHEDULE SITE

CODE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	REMARKS
DECIDUOUS TREES						
JTL	2	Ivory Silk Japanese Tree Lilac	Syringa reticulata 'Ivory Silk'	2" CAL DBH	B&B	Full, matching heads
SHRUBS						
DBH	8	Dwarf Bush Honeysuckle	Diervilla lonicera	15' HT	CONT.	
BBH	28	BoBo Hydrangea	Hydrangea paniculata 'LVOBO'	24" HT	CONT.	
ORNAMENTAL GRASSES						
CA3	57	Overdam Feather Reed Grass	Calamagrostis x acutiflora 'Overdam'	1 GAL	POT	24" Spacing
PV2	24	Cheyenne Sky Switch Grass	Panicum virgatum 'Cheyenne Sky'	1 GAL	POT	18" Spacing
SS2	30	The Blues Little Bluestem	Schizachyrium scoparium 'The Blues'	1 GAL	POT	18" Spacing
PERENNIALS						
H4	24	Happy Returns Daylily	Hemerocallis x 'Happy Returns'	1 GAL	POT	24" Spacing
H07	13	August Moon Hosta	Hosta x 'August Moon'	1 GAL	POT	24" Spacing
NE3	30	Walkers Low Catmint	Nepeta x faassenii 'Walkers Low'	1 GAL	POT	24" Spacing

GENERAL LANDSCAPE NOTES

- ALL LANDSCAPE DETAILS AND SPECIFICATIONS ON SHEET L200.
- ALL PLANTINGS SHALL COMPLY WITH STANDARDS AS DESCRIBED IN AMERICAN STANDARD OF NURSERY STOCK - ANSI Z60.1 (LATEST VERSION)
- MULCH: ALL PLANTING BEDS TO RECEIVE 3" DEEP LAYER OF SHREDDED HARDWOOD BARK MULCH, SEE SHEET L200.
- TURF SEED: DURABLE, PREMIUM COMMERCIAL BLEND, SEE SHEET L200.
- LANDSCAPE LIGHTS: DESIGN & INSTALLATION BY LIGHTING OR LANDSCAPE CONTRACTOR. FINAL FIXTURE LOCATIONS, STYLE & QUANTITY TO BE APPROVED BY OWNER.
- RIGHT-OF-WAY PLANTINGS TO BE DETERMINED PENDING FINAL MEQUON TOWN CENTER REQUIREMENTS.
- DUE TO SITE CONSTRAINTS NOT ALL LANDSCAPE REQUIREMENTS HAVE BEEN SATISFIED PER MEQUON CODE.

DATE	DESCRIPTION

221 South 2nd Street
Milwaukee, WI 53204-1412
(262) 781-1000
rasmith.com

raSmith
CREATIVITY BEYOND ENGINEERING

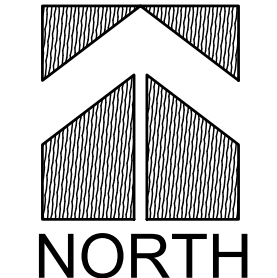
Brookfield, WI | Appleton, WI | Madison, WI | Cedarburg, WI | Mount Pleasant, WI
Naperville, IL | Pittsburgh, PA | Irvine, CA

**FOXTOWN - BUILDING E3
MEQUON ROAD, MEQUON, WI
LANDSCAPE PLAN**

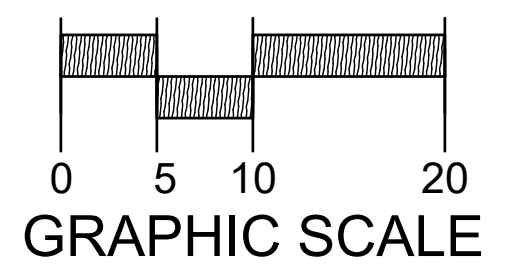
© COPYRIGHT 2025 R.A. Smith, Inc.
DATE: 04/14/2025
SCALE: 1" = 10'
JOB NO. 3170118
PROJECT MANAGER: TOM MORITSEN PLA, ALSA
DESIGNED BY: REW
CHECKED BY: REW
SHEET NUMBER L100



Know what's below.
Call before you dig.



NORTH



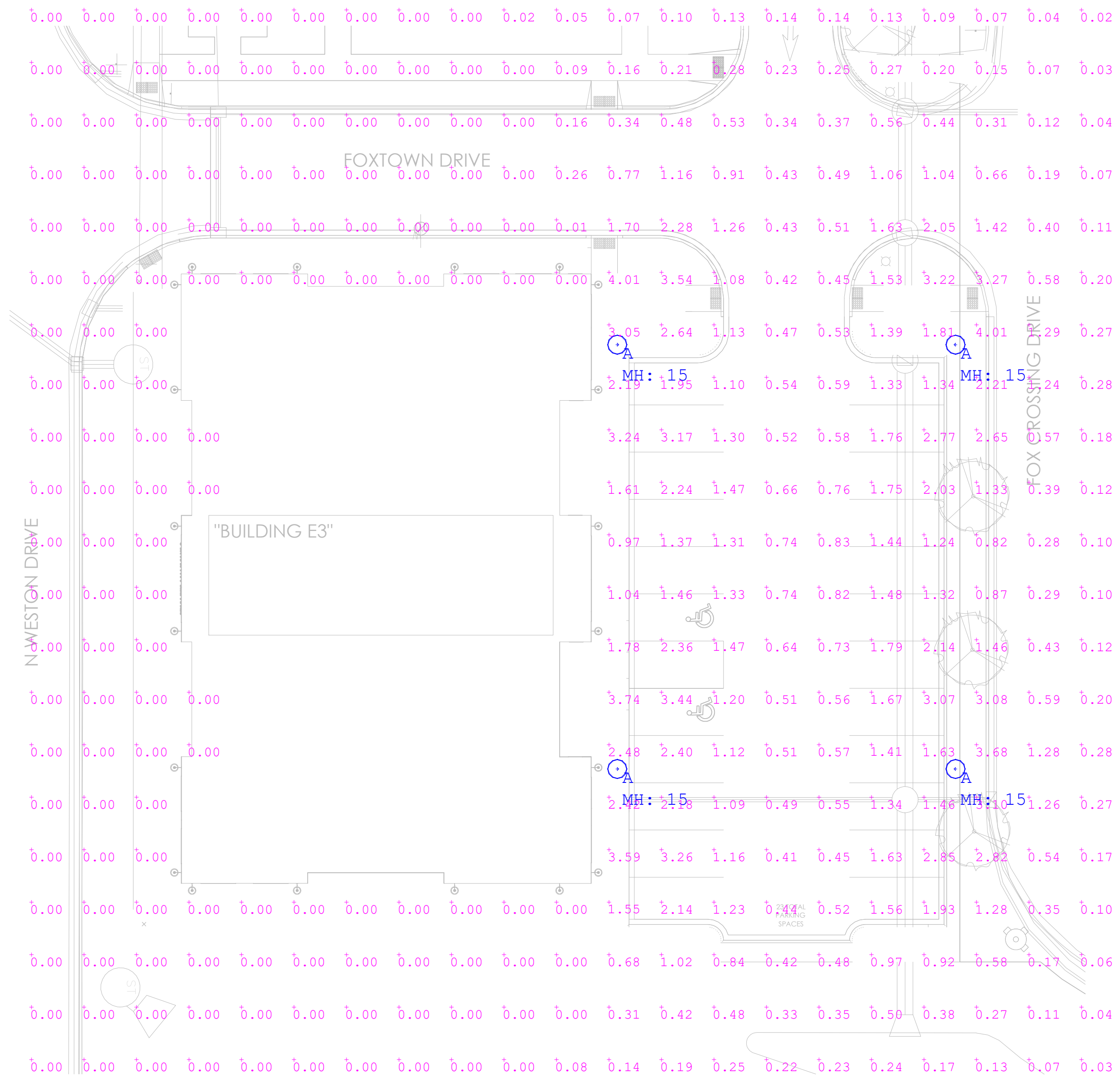
THE LOCATIONS OF EXISTING UTILITY INSTALLATIONS AS SHOWN ON THIS PLAN ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES.

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NOTES:

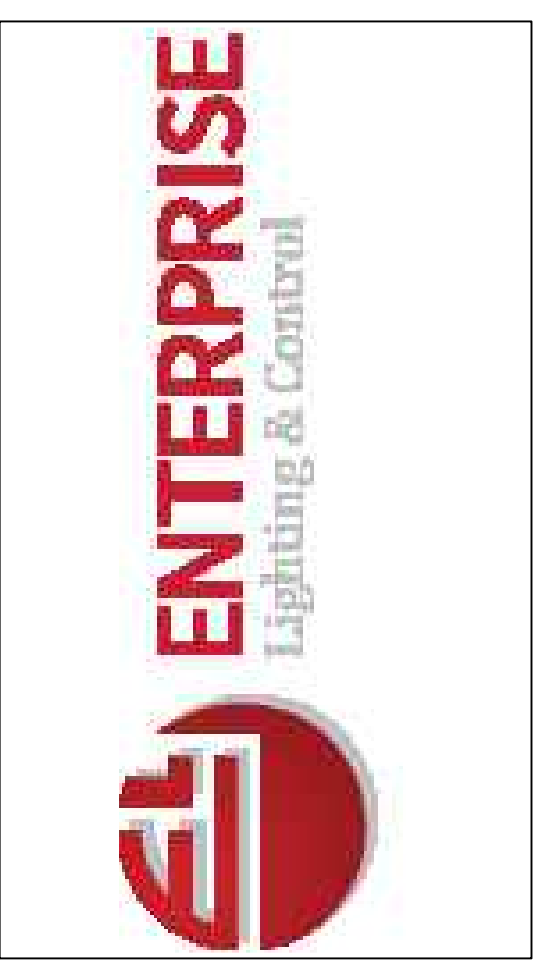
- Customers are responsible for confirming mounting heights, fixture suspension types/ lengths, color temperature, CRI, linear fixture lengths, pole lengths, and bollard heights/ lengths prior to ordering.
- Mounting height (MH) is measured from the bottom of the fixture to the floor.
- This Lighting layout assumes the following unless values are specified and must be confirmed by the customer prior to ordering.
 - Room reflectance of 80, 50, 20 for standard ceilings and 50, 50, 20 for exposed ceilings
 - Wall sconces are mounted at 7' for calculation purposes. Customer must confirm desired mounting height before rough in.



Qty	Label	LLF	MFG	Description	Lum. Watts	Total Watts	Lum. Lumens
4	A	0.900	SPRING CITY	ALMRCHLE08B-EVX-2F2-30-GPLO-FBR-CU + 12' POLE	80	320	6665

*NEED TO VERIFY POLE STYLE AND EXACT HEIGHT/SPECS

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Parking Area	Illuminance	Fc	1.39	3.4	0.4	3.48	8.50



DATE	COMMENTS
#	REVISIONS

DRAWN BY : JT
DATE : APRIL 23 2025
SCALE : 1/16" = 1'

FOXTOWN E3 BUILDING
MEQUON, WISCONSIN
SITE LIGHTING LAYOUT



215 N. WATER STREET, SUITE 250
MILWAUKEE, WI 53202
414.277.9700
spsarchitects.com

PROJECT

PROPOSED BUILDING FOR:

FOXTOWN BUILDING E3

N WESTON DRIVE
MEQUON, WI 53092

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OWNER



REVISIONS

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PROJECT NUMBER	240909
ISSUED FOR	CITY REVIEW
DATE	APRIL 29, 2025

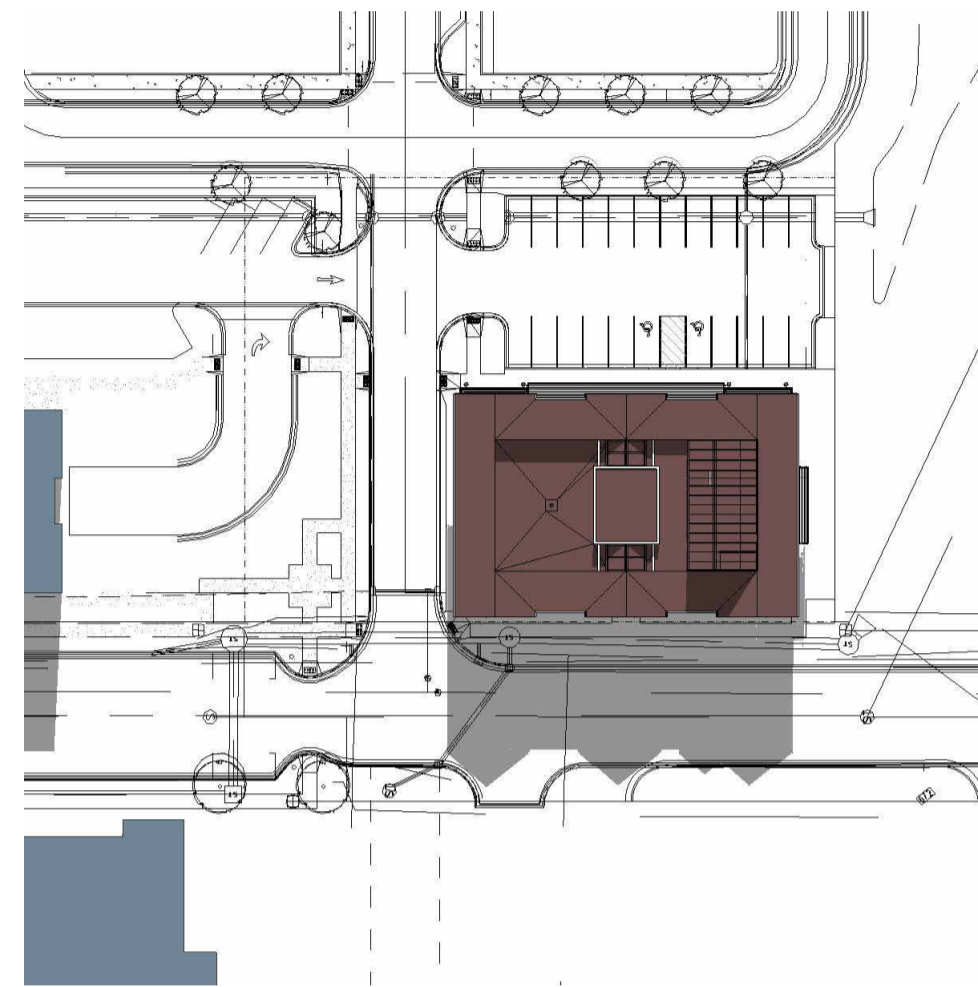
SHEET

SITE SHADOW STUDY

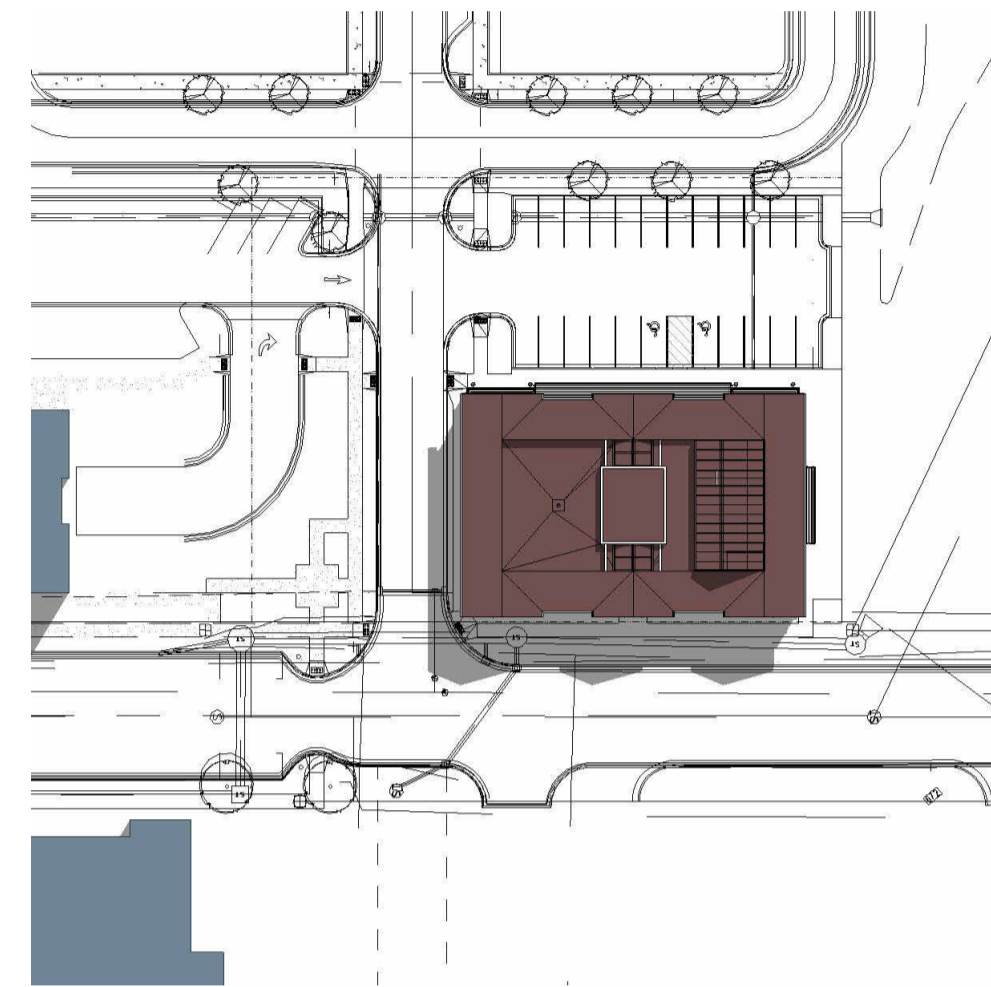
A051

© STEPHEN PERRY SMITH ARCHITECTS, INC.

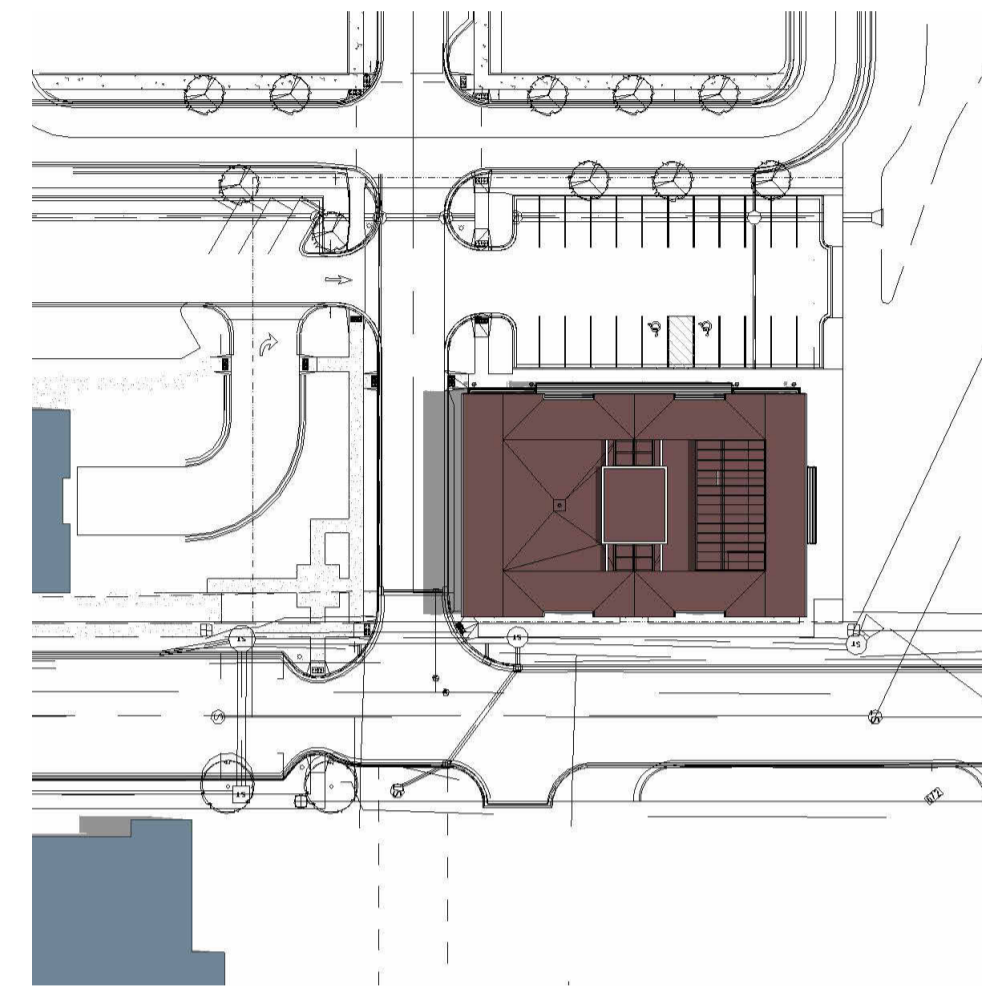
JUNE 21ST



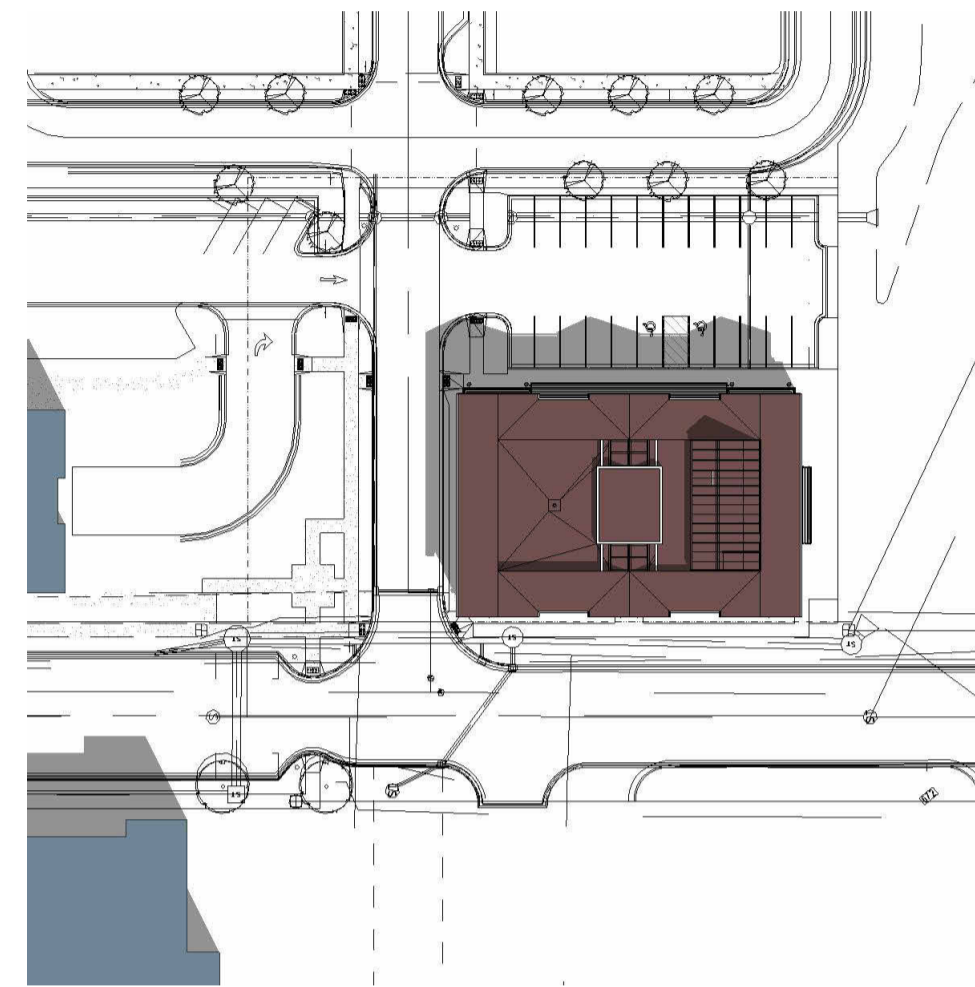
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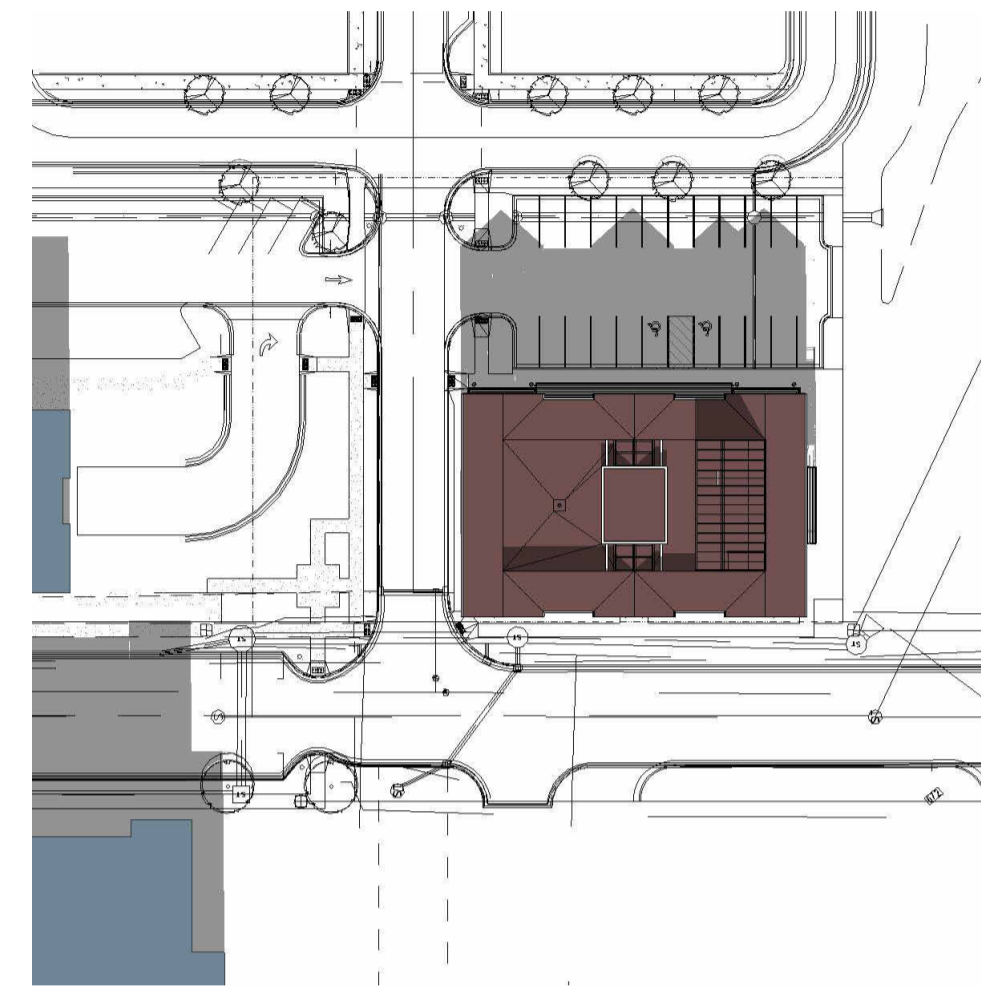
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12:00 PM

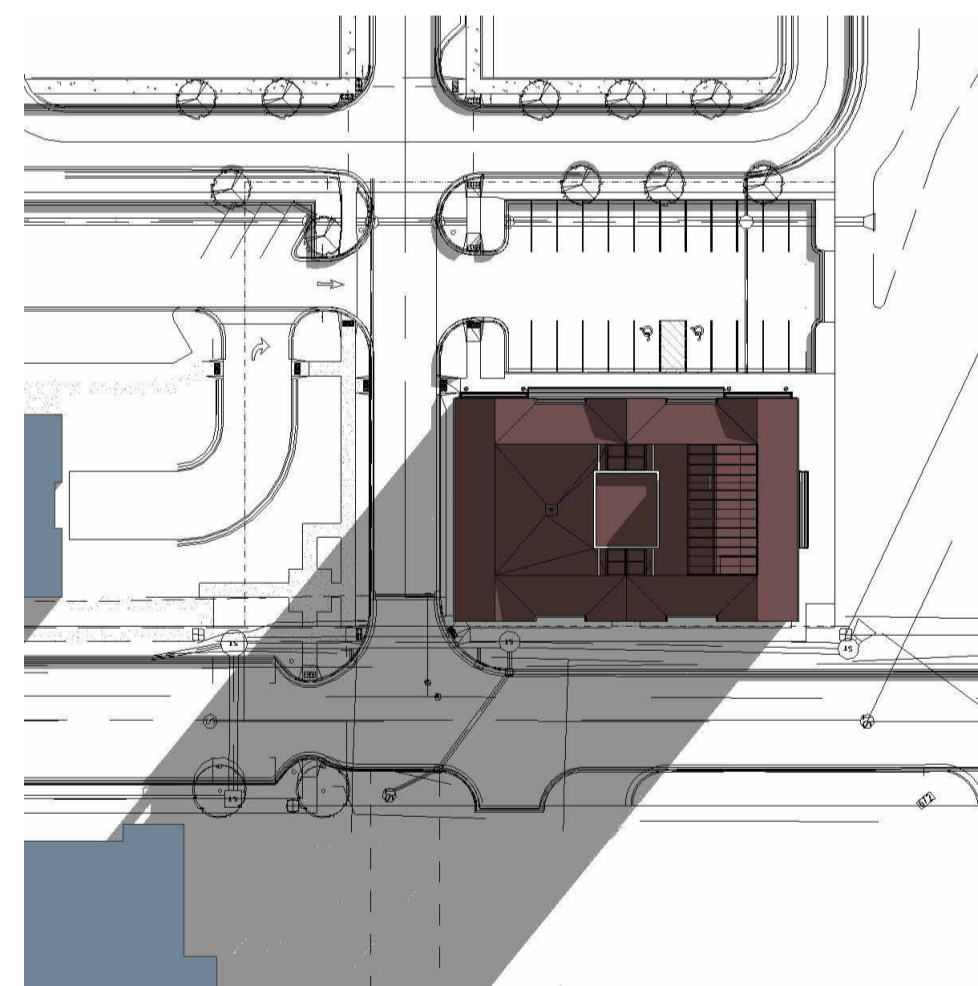


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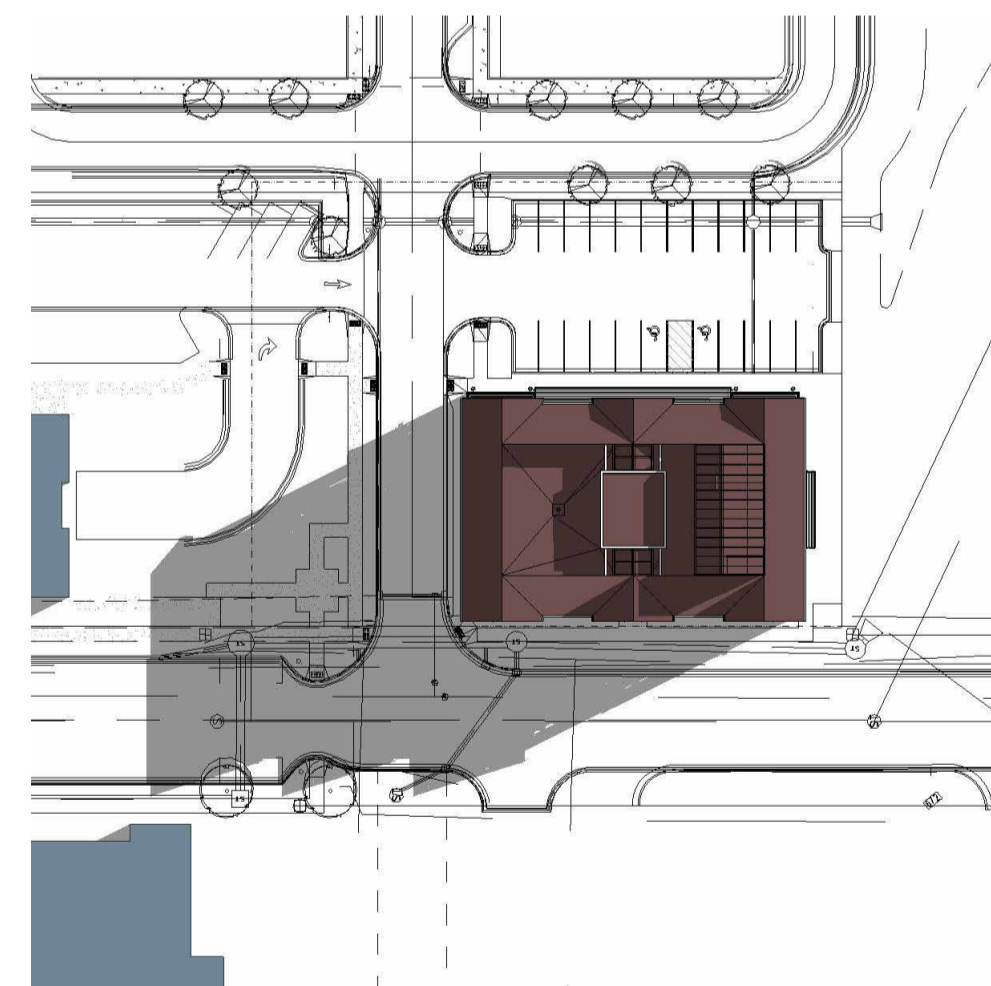


4:00 PM

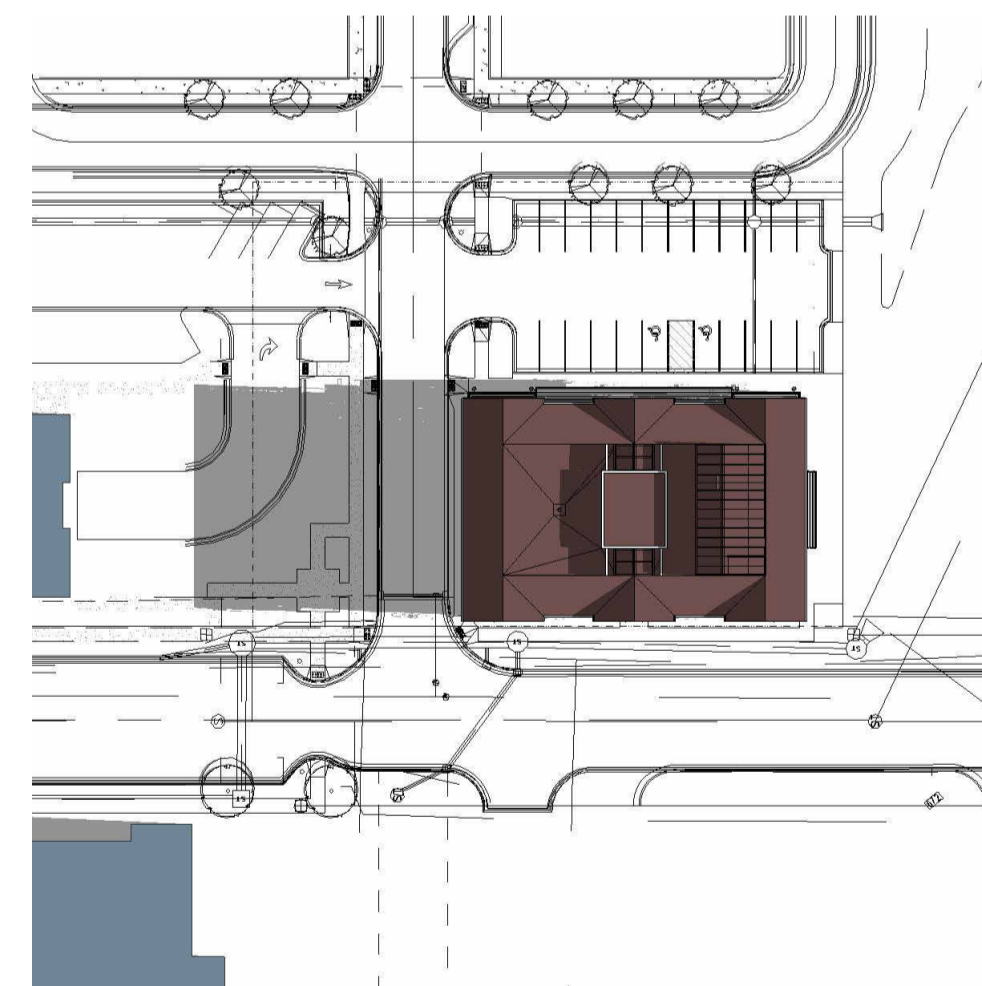
DECEMBER 21ST



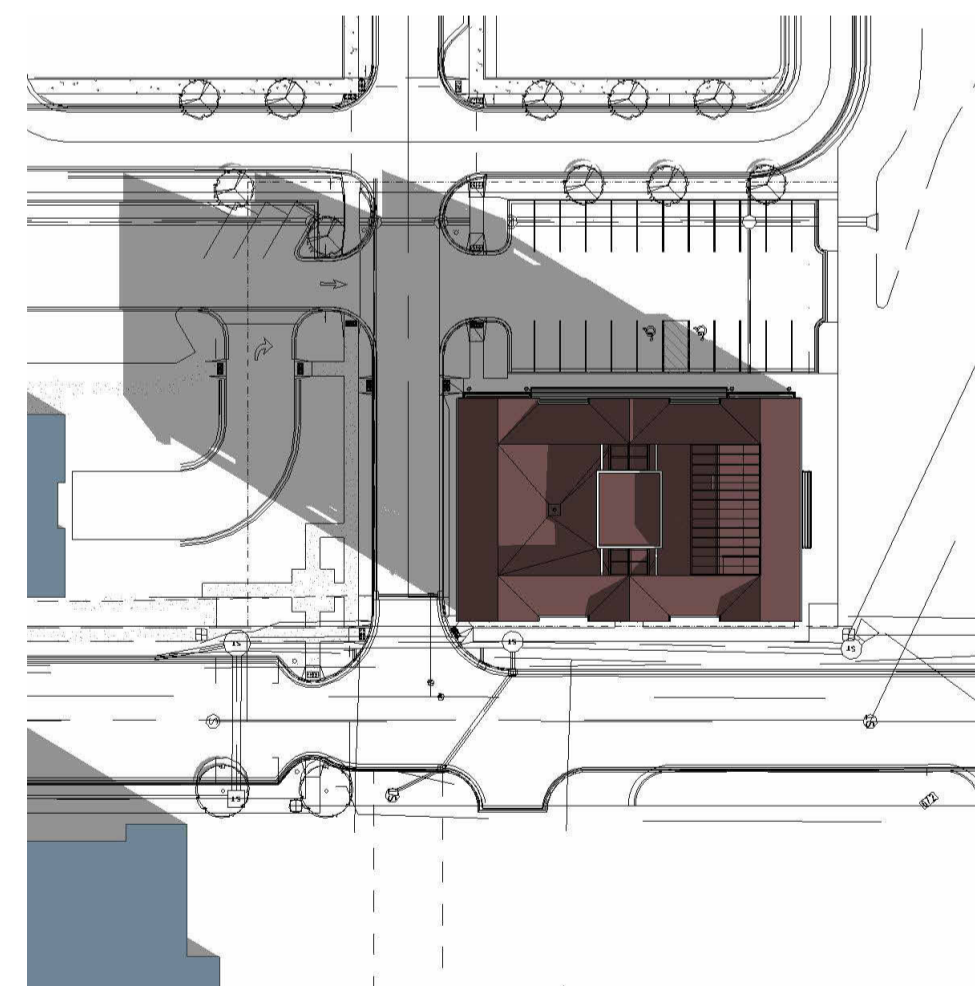
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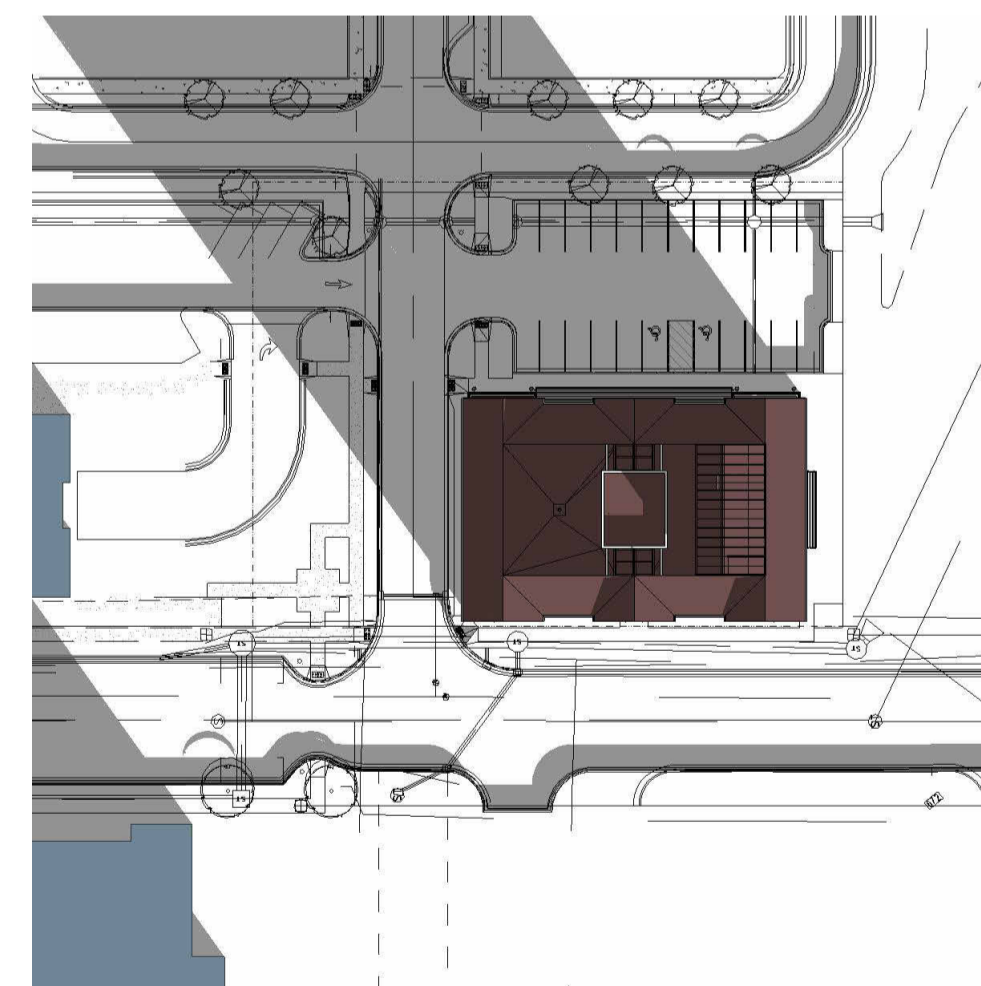
10:00 AM



12:00 PM



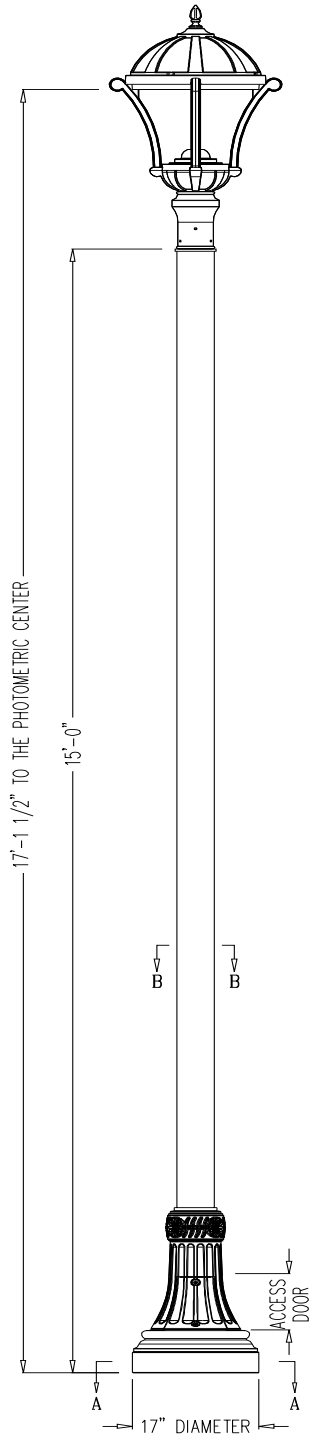
2:00 PM



4:00 PM



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LUMINAIRE SPECIFICATIONS

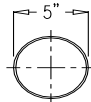
STYLE: RICHMOND LED
 HEIGHT: 39"
 WIDTH: 23 1/8"
 MATERIAL: CAST ALUMINUM ALLOY ANSI 356 PER A.S.T.M. B26-95
 FINISH: POWDER COAT - RIVER TEXTURE GLOSS BLACK
 LAMPING: 80 WATT LED
 VOLTAGE: ELECTRONIC WIRED AT 120-277 VOLTS
 COLOR TEMP: 3000K (WARM WHITE)
 DISTRIBUTION: TYPE III (ASYMMETRIC)
 OPTICS: CROSSFIRE REFRACTIVE
 PANEL: FLAT GLASS PANEL

CATALOG NO. **ALMRCH-LE080/EVX/X2-30-CR3-GPLO-FBR-CU**

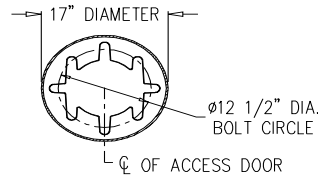
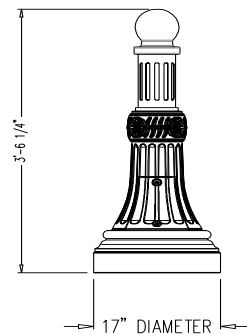
LAMP POST SPECIFICATIONS

STYLE: NORTHAMPTON
 HEIGHT: 15'-0"
 PHOTOMETRIC CENTER: 17'-1 1/2"
 BASE: 17" DIAMETER
 MATERIAL: SHAFT: 5" DIA. 6061 ALLOY ALUMINUM TUBE (0.125" WALL)
 CAST ALUMINUM ALLOY ANSI 356 PER A.S.T.M. B26-95
 FINISH: POWDER COATED - RIVER TEXTURE GLOSS BLACK
 ACCESS DOOR: GROUND STUD
 PROVISIONS: LOCATED IN BASE SECURED WITH TAMPER PROOF HEX SOCKET SECURITY MACHINE SCREWS DRILL AND TAP INSIDE WALL OF BASE OPPOSITE ACCESS DOOR TO ACCOMMODATE A 1/4"-20 GROUND STUD (STUD SUPPLIED BY OTHERS)
 ANCHOR BOLTS: (4) 3/4" (ANCHOR BOLTS BY OTHERS)
 BOLT PROJECTION: 3" REQUIRED
 TENON: 4" DIA. X 4" HIGH


CATALOG NO. **APSNRT-17-15.00-S5-TN4.00/4.00-CU**



SECTION B-B
SMOOTH SHAFT
5" DIAMETER
SMOOTH ALUMINUM
6061-T6 EXTRUSION
N.T.S.



SECTION A-A
BASE PLATE DETAIL
N.T.S.

 Spring City Electrical Mfg. Co. HALL AND MAIN STREETS - P.O. BOX 19 - SPRING CITY, PA. 19475 PHONE (610) 948-4000 - FAX (610) 948-5577 - WWW.SPRINGCITY.CO			
DESCRIPTION		THE RICHMOND LUMINAIRE ATOP THE NORTHAMPTON POST	
CUSTOMER		FOXTOWN	
SCALE	DRAWN BY:	DATE	DRAWING NO.
N.T.S.	W.R.W.	01-10-18	S104



MERU Series

LED GENERAL & EMERGENCY LIGHTING



PROJECT: _____
 FIXTURE TYPE: _____
 LOCATION: _____
 CONTACT/PHONE: _____

PRODUCT DESCRIPTION

The MERU Series is an architectural, low-profile outdoor light, offering “normally On” AC and emergency lighting with powerful LED illumination. The housing is fully sealed and gasketed, and has an IP65 rating. Designed for wall mounting with universal K/O pattern in back-plate for easy installation to most standard size junction boxes. Includes a single 1/2” NPT conduit entry in the top, center of the housing. Illumination provided by 8 high power LEDs which achieve 1,600 lumens in AC and 600 lumens in emergency. LED color at 3000K.

PRODUCT SPECIFICATIONS

CONSTRUCTION

Die cast aluminum housing with superior heat sink • Scratch resistant Polyester powder coat finish • UV resistant polycarbonate lens • Snap-fit housing and mounting plate are held together by four stainless steel clips • Universal mounting pattern molded into the back plate • 1/2" threaded top access for surface conduit installation • Silicone rubber seal with hollow center, shape adaptive design protects the electrical components • Junction box neoprene seal is attached to the back plate for a weather proof installation • Dark Bronze or White textured finish.

ELECTRICAL

Dual voltage 120/277VAC 60Hz input • Solid state charging and switching • Battery low voltage disconnect • AC power indicator and test switch at the bottom of the unit • Standard with Self Diagnostics to monitor proper operation.

LAMPS

Supplied with eight (8) LG SMD 3000K LED'S • L70 > 72,000hours • 17 Watts total (32 Watts with IH option) • 1600 Lumens in AC mode, 600 Lumens in Emergency mode • Full cut-off optics for Dark Sky compliance

BATTERY

Maintenance-free, long-life rechargeable NiCad battery will operate fixture for a minimum of 90 minutes in the event of a power outage • 24 hour recharge after 90 minute discharge.

CODE COMPLIANCE

UL924 • Listed for wet location applications (0°C-50°C) • Optional "IH" cold weather package for (-40°C-50°C) • IP65 Rated • NFPA 101 Life Safety Code compliant • NEC and OSHA compliant • DLC Listed • RoHS Compliant

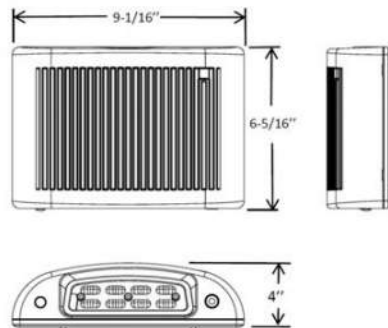
WARRANTY

5-year warranty. Product specifications subject to change without notice.

INSTALLATION

MOUNTING

Suitable for indoor or outdoor wall mounting on junction box, or with surface conduit using the supplied 1/2" threaded top access • Mounting plate has molded universal mounting pattern for simple mounting over junction box.



ACEM Model (NiCad Battery Backup)

Integral photocell: Unit operates as a dusk to dawn luminaire and in the event of a power failure as an emergency light.

Remote Switched: The integral photocell can be defeated to allow remote switching for normal operation. In the event of a power failure unit operates as an emergency light.



ORDERING INFORMATION

model	operation mode	housing color	options
MERU-LED	ACEM = General & Emergency Lighting AC = General Lighting	DB = Dark Bronze WH = White BK = Black (non-stock, special order) NK = Nickel (non-stock, special order)	Self-Diagnostics & Photocell (Included Standard) IH = Internal Heater PIR = Passive Infra-Red Motion Sensor

Ordering Example: MERU-ACEM-DB

Attachment: Packet Docs_05.19.25 (10362 : Thompson Project Management for Fromm Family Food)



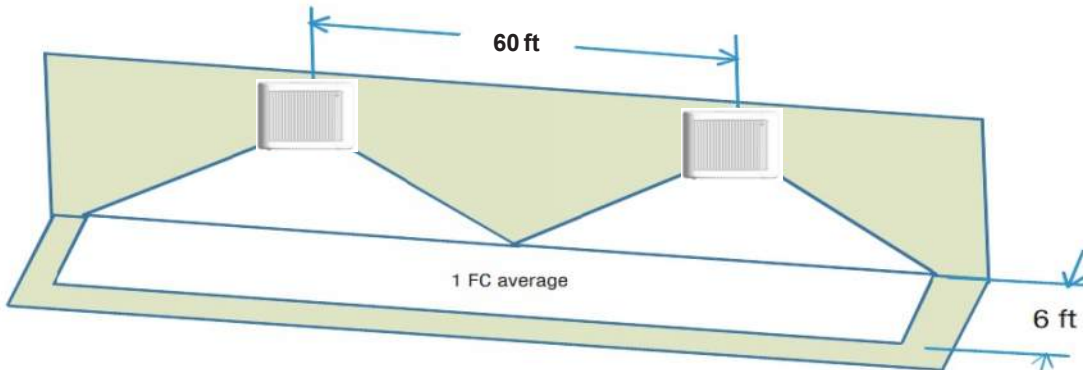
MERU Series

LED GENERAL & EMERGENCY LIGHTING



PROJECT: _____
 FIXTURE TYPE: _____
 LOCATION: _____
 CONTACT/PHONE: _____

PHOTOMETRICS



Note: Meets Life Safety Code standard minimum illuminance of 0.1 FC and average illuminance of 1.0 FC.
 Illustration shown is a guideline for corridor center-to-center with 9 ft mounting height and Minimum 80-50-20 reflectance values.

Mounting Height	Center to center distance
7.2ft	45ft
9ft	60ft
10ft	65ft

SELF DIAGNOSTICS

Included Self Diagnostic

- | | |
|------------------------------------|---|
| Diagnostic Indicator / Test Switch | ● Ready |
| | ● In Test |
| | ● Battery Circuit Fault |
| | ● Battery Capacity Failure |
| | ● Charger Failure |
| | ● Lamp Failure |

- Manual Testing**
- Press button once - 1 minute test
 - Press button twice - 5 minute test
 - Press button 3 times - 30 minute test
 - Press button 4 times - 90 minute test

Full self-test, self-diagnostic system is standard in every unit, performs a monthly, test as well as continuously monitoring all functions to ensure reliability, a manual test may be initiated at any time



Attachment: Packet Docs_05.19.25 (10362 : Thompson Project Management for Fromm Family Food)



REV 05.24.18
FRONTIER/FIRE CHIEF SERIES
 BARN LIGHT SIGN LIGHT COLLECTION
 Max Weight: 10.0 lbs

PROJECT NAME _____

PROJECT TYPE _____

SPS-O177

BLE - G - ASFC12 - 105 - G22 - 105 - - - - -
 A B C D E F G
 - - - LED16 - 3000K
 H I J K
 Order Example: BLE - G - ASFC12 - 995 - G4 - 995 - NA - NA - NA - NA - DCHX - LED11 - 3000K

A - SHADE SIZE

FRONTIER/FIRE CHIEF:

ASFC8	8" Shade ^{1,2}
ASFC10	10" Shade
ASFC12	12" Shade
ASFC14	14" Shade

B - SHADE FINISH (CONTINUED)

NATURAL FINISHES⁵:

995	Raw Copper
996	Weathered Copper
997	Raw Brass
998	Weathered Brass
999	Oil-Rubbed Copper

F - OPTIONAL ACCESSORIES

NA	None
WC	Wire Cage ⁶
TGG	Heavy Duty Guard ^{6,8}
CGG	Cast Guard ^{6,8}
WGG	Wire Guard ^{6,8}

J - LIGHT SOURCE

E26	200 Watt Max ⁸
GU24	24 Bi-Pin, 23W Max ⁸
LED11	11W LED, 850 Lumen ¹¹
LED16	16W LED, 1250 Lumen ¹¹
LED16.8	16W LED, 1600 Lumen ⁸
LED27	27W LED, 2000 Lumen ¹¹
LED38	38W LED, 3000 Lumen ¹¹
LED43	43W LED, 4000 Lumen ¹¹

B - SHADE FINISH

POWDER COAT FINISHES³:

100	Black
105	Textured Black
200	White
300	Dark Green
307	Emerald Green
311	Jadite
370	Mint
380	Chartreuse
390	Teal
400	Barn Red
420	Orange
470	Watermelon
480	Blush Pink
490	Magenta
500	Buttery Yellow
570	Sunflower
600	Bronze
601	Chocolate
605	Rust
615	Oil-Rubbed Bronze
700	Royal Blue
705	Navy
710	Cobalt Blue
715	Delphite Blue
800	Industrial Grey
805	Charcoal Granite
810	Graphite
975	Galvanized

C - GOOSENECK ARMS

GOOSENECK OPTIONS:

G1 ⁶	G16 ⁶
G2 ⁶	G17
G3 ^{6,13}	G19 ^{6,7}
G4	G22
G5 ⁶	G24
G6	G25
G7	G26 ⁶
G8	G32
G9	G34 ⁶
G10	G35 ⁶
G11 ⁶	G36 ⁶
G12 ⁶	G40 ^{6,7}
G13	G64 ⁶
G14	G65 ⁶
G15	

G - GLASS OPTIONS⁹

NA	Not Applicable
CLR	Clear Glass ¹⁰
FST	Frosted Glass
RIB	Ribbed Glass
CCR	Clear Crackle Glass
SMK	Smoke Crackle Glass
HCR	Honey Crackle Glass

K - COLOR TEMPERATURE¹²

NA	Not Applicable
2700K	2700K, Warm White
3000K	3000K, Neutral White
3500K	3500K, Bright White
4000K	4000K, Cool White

D - GOOSENECK ARM FINISH

Please Note: See **Section B** for all applicable Gooseneck Arm Finish Options. Gooseneck arms are also available in 980-Brushed Aluminum.

(I) If Porcelain Finish selected, gooseneck arm will be powder coat painted-to-match.

980	Brushed Aluminum
-----	------------------

H - OPTIONAL ACCESSORY FINISH

Please Note: See **Section B** for all applicable Accessory Finish Options.

(I) Wire Cage and Guards not available in Natural Finishes.

(II) If Porcelain Finish is selected, accessory will be powder coat painted-to-match.

(III) If no accessory selected in Section F, select NA.

NA	Not Applicable
----	----------------

I - MOUNTING ACCESSORY

NA	None
HDBP	Heavy Duty Backing Plate ^{6,7}
DD	Dusk-to-Dawn Photocell ⁷
DBPC	Decorative Backing Plate Cover
DCHX	Decorative Backing Plate Cover & Hex Cover
LDCHX	LED Decorative Backing Plate Cover & Hex Cover

PORCELAIN FINISHES⁴:

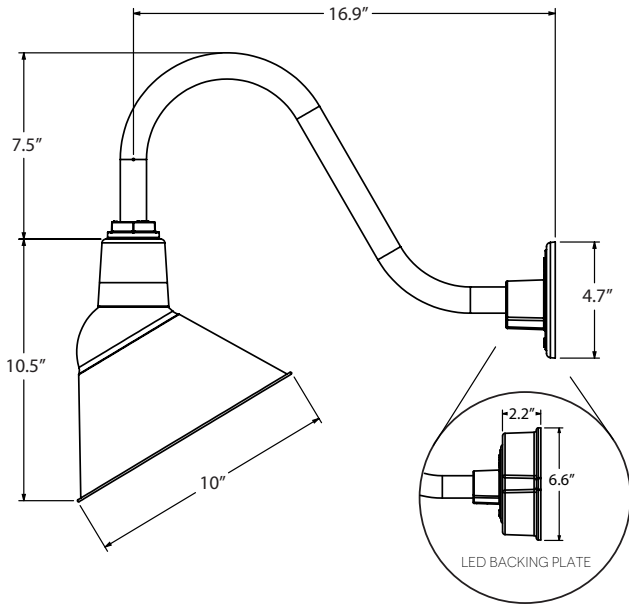
150	Black
250	White
350	Vintage Green
355	Jadite
455	Cherry Red
550	Yellow
650	Bronze
750	Cobalt Blue
765	Delphite Blue
850	Graphite
950	Metallic Chrome

IMPORTANT: (1) Optional guard accessory in Section F not available with select shade size (2) Select shade size not available in LED (3) All Powder Coat finished shades, Galvanized excluded, feature a white interior (4) All Porcelain Enamel finished shades feature a white interior and a black outer rim (5) Natural Finishes have a longer estimated manufacturing time, please check the website for exact lead time. There are no returns accepted on Natural Finishes (6) Not available in Natural Finishes (7) Not available if LED Light Source is selected in Section J (8) Guard and Glass accessory reduces incandescent wattage to 100W Max, GU24 Bi-Pin to 18W Max and LED Max to 1600 Lumens (9) Selection only applicable if a guard is selected in Section F, select NA if no guard is selected (10) Not recommended if LED Light Source is selected in Section J (11) Light Source not applicable if TGG, CGG and WGG Guard is selected in Section F (12) Selection only applicable if LED Light Source selected in Section J (13) Gooseneck Arm not applicable if ASFC12 or ASFC14 shade selected in Section A

Attachment: Packet Docs_05.19.25 (10362 : Thompson Project Management for Fromm Family Food)

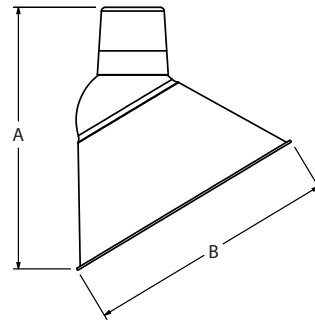
DIMENSIONAL DRAWING

Galvanized steel shades are crafted from 20 Ga Sheet metal while 1100-0 Aluminum—ranging from 0.050" to 0.125"—is used for all other shades. All shades have their edges rolled, and the result is highly durable and stylish lighting.



SHOWN WITH: G15 GOOSENECK ARM & 10" SHADE

AVAILABLE SHADE SIZES



SHADE CODE	HEIGHT (A)	DIAMETER (B)
ASFC8	8"	8"
ASFC10	10.5"	10"
ASFC12	12"	12"
ASFC14	14.5"	14"

LIGHT SOURCE

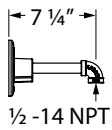
All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. To obtain an IES file specific to your project, please contact the factory.

OPTION	WATTAGE	LUMENS	CRI	VOLTAGE	DIMMING
LEDS					
LED11	11W	850	>90	120 VAC	TRIAC
LED16	16W	1250	>90	120 VAC	TRIAC
LED16.8	16W	1600	>90	120 VAC	TRIAC
LED27	27W	2000	>90	120-277 VAC	0-10V
LED38	38W	3000	>90	120-277 VAC	0-10V
LED43	43W	4000	>90	120-277 VAC	0-10V
INCANDESCENT (MED E26)					
E26	200W Max	1400	100	120 VAC	Bulb Dependant
COMPACT FLOURESCENT (GU24 CFL)					
GU24	23W Max	1400	75	120 VAC	Bulb Dependant

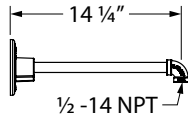
GOOSENECK LIGHTING

REV 09.26.18

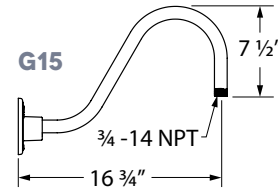
Timeless and practical, our vast selection of gooseneck arms provides the perfect angle and style for any setting. The curved arms evoke classic light styles while helping the shade direct light onto sidewalks, signs and more. Each gooseneck arm is crafted in our Florida-based manufacturing facility! Please Note: Select gooseneck arms cannot be used with certain designs and shades. For additional information, please visit the individual product listing. Additionally, gooseneck arms indicated with an asterisk are not available in copper and brass finishes.



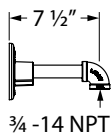
G3*



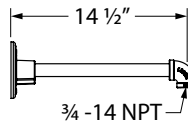
G1*



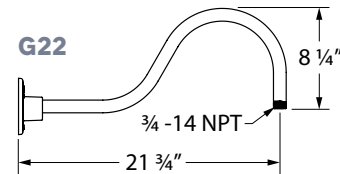
G15



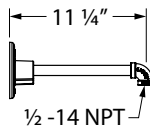
G4



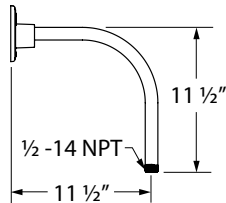
G14



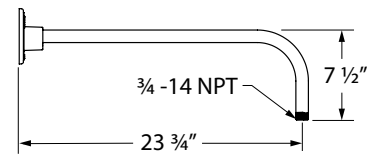
G22



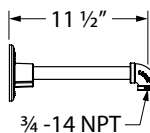
G16*



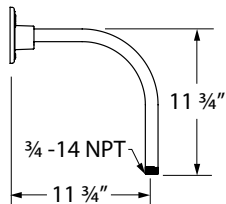
G12*



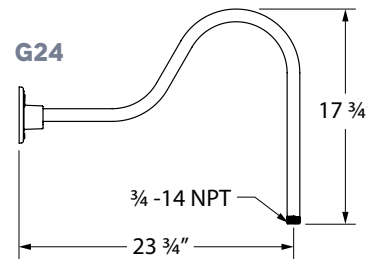
G8



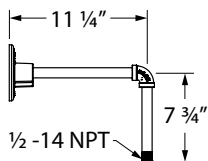
G17



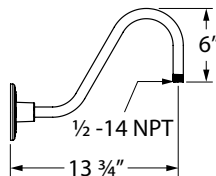
G13



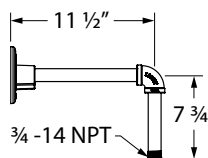
G24



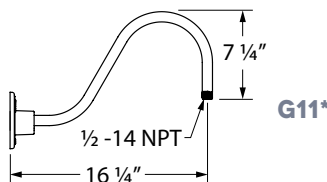
G35*



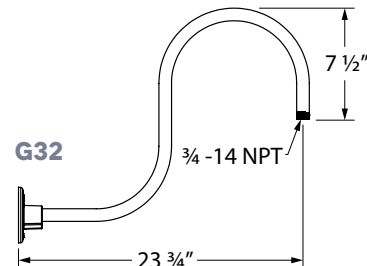
G26*



G34*



G11*



G32



REV 10.02.18
ORIGINAL™/SKY CHIEF SERIES
 BARN LIGHT RLM FIXTURE FAMILY
 Max Weight: 10.0 lbs

PROJECT NAME _____

PROJECT TYPE _____

SPS-O111

BLE - G	-	WHS12	-	105	-	G19	-	105	-	-	-	-
		A		B		C		D		E		F
								E26				G
												H
												I
												J
												K
												L
												M

Order Example: BLE - G - WHS - 600 - 980 - NA - CGG - 975 - CCR - HDBP - E26 - NA - NA

A - MOUNTING STYLE

C	Cord Hung
CN	Chain Hung
F	Flush Mount
G	Gooseneck
S	Stem Mount

B - SHADE SIZE

ORIGINAL™/SKY CHIEF:

WHS12	WHS20¹
WHS14	WHS24^{1,2,9}
WHS16	WHS28^{1,2,9}
WHS18	

C - SHADE FINISH

POWDER COAT FINISHES³:

100	Black
105	Textured Black
200	White
300	Dark Green
307	Emerald Green
311	Jadite
370	Mint
380	Chartreuse
390	Teal
400	Barn Red
420	Orange
470	Watermelon
480	Blush Pink
490	Magenta
500	Buttery Yellow
570	Sunflower
600	Bronze
601	Chocolate
605	Rust
615	Oil-Rubbed Bronze
700	Royal Blue
705	Navy
710	Cobalt Blue
715	Delphite Blue
800	Industrial Grey
805	Charcoal Granite
810	Graphite
975	Galvanized

PORCELAIN FINISHES⁴:

150	Black
250	White
350	Vintage Green
355	Jadite
455	Cherry Red
550	Yellow
650	Bronze
750	Cobalt Blue

C - SHADE FINISH (CONTINUED)

PORCELAIN FINISHES⁴:

765	Delphite Blue
850	Graphite
950	Metallic Chrome

NATURAL FINISHES¹¹:

995	Raw Copper
996	Weathered Copper
997	Raw Brass
998	Weathered Brass
999	Oil-Rubbed Copper

D - MOUNTING

CSA LISTED CORD OPTIONS:

SBK	Standard Black
SWH	Standard White
CSB	Black Cloth
CSW	White Cloth
CSR	Red Cloth
CSBB	Black & Brown Cloth
CSRW	Red & White Cloth
CSGW	Gold & White Cloth
CSBG	Black & Gold Cloth
CSBW	Black & White Cloth
CSBP	Black & Pink Cloth
CSUW	Blue & White Cloth

NON-CSA LISTED CORD OPTIONS:

CBK	Black Cotton
CMG	Grey Cotton
CRZ	Red Chevron
TBK	Black Cotton Twist ⁵
TWH	White Cotton Twist ⁵
TBR	Brown Cotton Twist ⁵
TRD	Red Cotton Twist ⁵
TPT	Putty Cotton Twist ⁵
TBW	Black & White Twist ⁵
TRW	Red & White Twist ⁵
TBB	Brown & Beige Twist ⁵

CHAIN MOUNT OPTIONS:

CN36	3' of Chain ¹
CN48	4' of Chain ¹
CN60	5' of Chain ¹
CN72	6' of Chain ¹

FLUSH MOUNT OPTIONS:

FM ¹	
-----------------	--

GOOSENECK OPTIONS:

G1 ¹	G16 ¹
G2 ¹	G17
G3 ¹	G19 ^{1,5}
G4	G22

D - MOUNTING (CONTINUED)

GOOSENECK OPTIONS:

G5 ¹	G24
G6	G25
G7	G26 ¹
G8	G32
G9	G34 ¹
G10	G35 ¹
G11 ¹	G36 ¹
G12 ¹	G40 ^{1,5}
G13	G64 ¹
G14	G65 ¹
G15	

STEM MOUNT OPTIONS:

ST506	.5" Stem Mount, 6" ¹
ST512	.5" Stem Mount, 12" ¹
ST518	.5" Stem Mount, 18" ¹
ST524	.5" Stem Mount, 24" ¹
ST536	.5" Stem Mount, 36" ¹
ST548	.5" Stem Mount, 48" ¹
ST706	.75" Stem Mount, 6"
ST712	.75" Stem Mount, 12"
ST718	.75" Stem Mount, 18"
ST724	.75" Stem Mount, 24"
ST736	.75" Stem Mount, 36"
ST748	.75" Stem Mount, 48"

E - MOUNTING FINISH

Please Note: See Section C for Finish Options. 980-Brushed Aluminum is also available for Gooseneck and Stem mounting styles. If Porcelain Finish is selected, mounting will be powder coat painted-to-match.

(I) If Cord Hung [C] or Flush Mount [F] Mounting Style, selection identifies canopy finish

(II) If Chain Hung [CN] Mounting Style, selection identifies chain and canopy finish

(III) If Stem Mount [S] Mounting Style, selection identifies stem and canopy finish

980	Brushed Aluminum
-----	------------------

F - CORDS¹⁰

NA	Not Applicable
----	----------------

Please Note: See Section D for all applicable CSA Listed Cord Options. Non-CSA Listed Cord Options for Chain Hung Mounting Style limited to: Black Cotton [CBK], Red Chevron [CRZ] and Grey Cotton [CMG]

G - SHADE ACCESSORIES

NA	None
WC	Wire Cage ¹⁹
TGG	Heavy Duty Guard ¹⁶
CGG	Cast Guard ¹⁶
WGG	Wire Guard ¹⁶

H - SHADE ACCESSORY FINISH

Please Note: See Section C for Finish Options. Natural Finishes not applicable with Wire Cage or Guard. If Porcelain Finish is selected, accessory will be powder coat painted-to-match

NA	Not Applicable
----	----------------

I - GLASS OPTION

NA	Not Applicable
CLR	Clear Glass ^{6,12}
FST	Frosted Glass ⁶
RIB	Ribbed Glass ⁶
CCR	Clear Crackle Glass ⁶
SMK	Smoke Crackle Glass ⁶
HCR	Honey Crackle Glass ⁶

J - MOUNTING ACCESSORY

NA	None/Not Applicable
HSC	Hang Straight Canopy ¹⁴
HDSMC	Heavy Duty Stem Mount Canopy ^{15,14}
HDBP	Heavy Duty Backing Plate ¹⁵
DD	Dusk-to-Dawn Photocell ⁵
DBPC	Decorative Backing Plate Cover
LDBPC	LED Decorative Backing Plate Cover
DCHX	Decorative Backing Plate Cover & Hex Cover
LDCHX	LED Decorative Backing Plate Cover & Hex Cover

K - LIGHT SOURCE

E26	200 Watt Max⁶
GU24	24 Bi-Pin, 23W Max ⁶
LED11	850 Lumen, 11W LED ⁷
LED16	1250 Lumen, 16W LED ⁷
LED16.8	1600 Lumen, 16W LED ⁶
LED27	2000 Lumen, 27W LED ⁷
LED38	3000 Lumen, 38W LED ⁷
LED43	4000 Lumen, 43W LED ⁷

L - COLOR TEMPERATURE⁸

NA	Not Applicable
2700K	2700K, Warm White
3000K	3000K, Neutral White
3500K	3500K, Bright White
4000K	4000K, Cool White

M - LED LENS^{8,13}

NA	Not Applicable
DL	Domed Lens
FL	Flat Lens

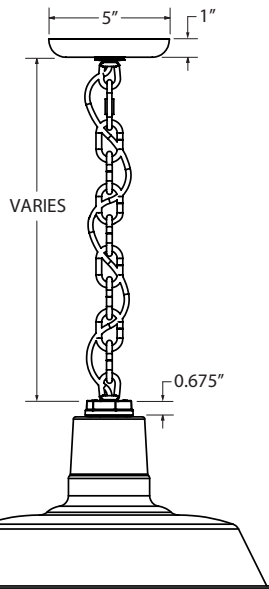
IMPORTANT: (1) Not available in Natural Finishes (2) Not available in Porcelain Enamel (3) All Powder Coat finished shades, Galvanized excluded, feature a white interior (4) All Porcelain Enamel finished shades feature a white interior and a black outer rim (5) Not available in LED (6) Guard and Glass accessory reduces incandescent wattage to 100W Max, GU24 Bi-Pin to 18W Max and LED Max to 1600 Lumens (7) Not available with the Guard & Glass Accessory (8) Only applicable if an LED Light Source is selected in Section K, select NA if another light source is selected (9) Wire Cage not available with select size (10) Only applicable if Chain Hung Mounting Style selected in Section A, select NA if another Mounting Style is selected (11) Natural Finishes have a longer estimated manufacturing time, please check the website for exact lead time. There are no returns accepted on Natural Finishes (12) Not recommended if LED Light Source is selected in Section K (13) Not applicable if LED16.8 Light Source selected in Section K (14) Only applicable if Stem Mounting Style is selected in Section A

Attachment: Packet Docs_05.19.25 (10362 : Thompson Project Management for Fromm Family Food)

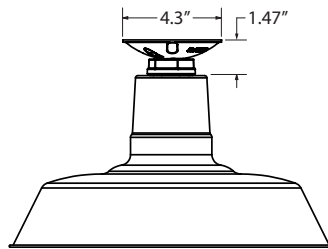
MOUNTING STYLE

Galvanized steel shades are crafted from 20 Ga Sheet metal while 1100-0 Aluminum—ranging from ranging from 0.050" to 0.125"—is used for all other shades. All shades have their edges rolled, and the result is highly durable and stylish lighting.

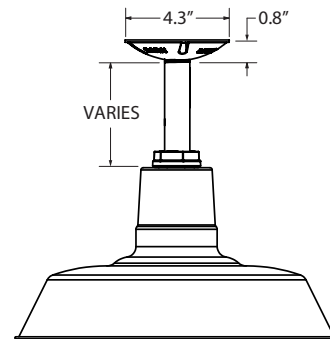
CHAIN HUNG PENDANT (CN)



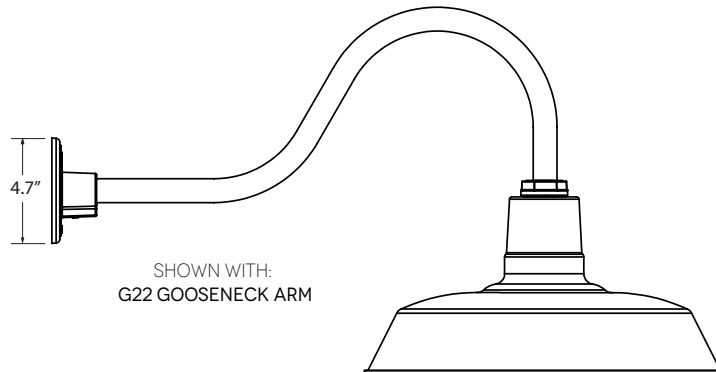
FLUSH MOUNT (F)



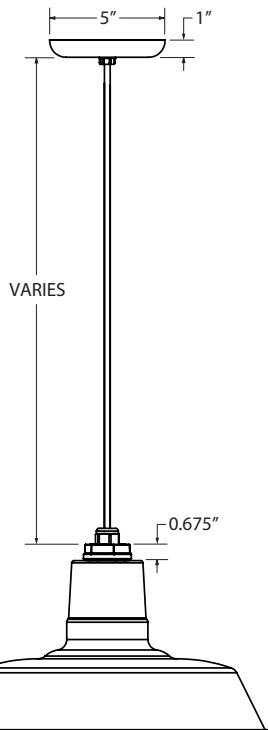
STEM MOUNT PENDANT (S)



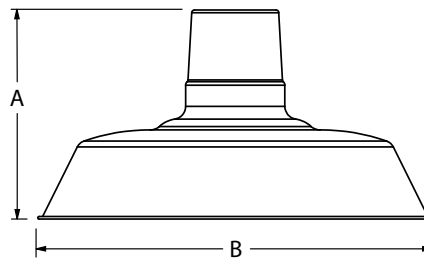
GOOSENECK (G)



CORD HUNG PENDANT (C)



AVAILABLE SHADE SIZES



SHADE CODE	HEIGHT (A)	DIAMETER (B)
WHS12	7"	12"
WHS14	7.5"	14"
WHS16	7.75"	16"
WHS18	8.5"	18"
WHS20	9.25"	20"
WHS24	10.75"	24"
WHS28	11"	28"

LIGHT SOURCE

All published luminaire photometric testing performed to IESNA LM-79-08 standards by a NVLAP accredited laboratory. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. To obtain an IES file specific to your project, please contact the factory.

OPTION	WATTAGE	LUMENS <small>*Avg. value, actual value dependent on bulb used</small>	CRI	VOLTAGE	DIMMING
LEDS					
LED11	11W	850	>90	120 VAC	TRIAC
LED16	16W	1250	>90	120 VAC	TRIAC
LED16.8	16W	1600	>90	120 VAC	TRIAC
LED27	27W	2000	>90	120-277 VAC	0-10V
LED38	38W	3000	>90	120-277 VAC	0-10V
LED43	43W	4000	>90	120-277 VAC	0-10V
INCANDESCENT (MED E26)					
E26	200W Max	*3000	*100	120 VAC	Bulb Dependant
COMPACT FLOURESCENT (GU24 CFL)					
GU24	23W Max	*1600	*75	120 VAC	Bulb Dependant

SPECIFICATIONS

MOUNTING

STEM
1/2" Nominal (0.84" Actual) or 3/4" Nominal (1.05" Actual) Sch 40, 6063 Aluminum Mounting Stem. Custom Lengths Available upon Request.

GOOSENECK
1/2" Nominal (0.84" Actual) or 3/4" Nominal (1.05" Actual) Sch 40, 6063 Aluminum Gooseneck

CORD
Cord-hung Pendants Include 7' Of Standard Cord Or 5' Of Cotton Cord, +/- For Socket Orientation

SHADE & FINISHES

ORIGINAL™ SHADE
Hand-Spun from High Purity 0.050" Thick 3003-O Temper Aluminum

SKY CHIEF PORCELAIN SHADE
Hand-Spun from 20 Guage Sheet Metal

POWDER COAT FINISHES
Polyester Powder Coat Finishes Are Electro-Statically Applied and Thermocured

PORCELAIN FINISHES
Applied by Hand and Fired in a High Temperature Oven

LED SPECIFICATIONS

LUMEN MAINTENANCE
L90(6K) > 36,300 Hours, LED16.8 Source is L90(11K) > 61,000 Hours.

COLOR TEMPERATURES
Standard Color Temperatures Available Include 2700K, 3000K, 3500K and 4000K. Custom Temperatures Available upon Request.

CRI
Minimum 90 CRI. Consult Factory for Other CRI Options.

EFFICACY
Up to 100 LPW Based on Wattage/Lumens in the Table

DRIVER & DIMMING OPTION
850 and 1250 Lumen, Relient on Triac Dimming 12W / 120V Mounted in Canopy, up to 5% Dimming.
2000, 3000 & 4000 Lumen Reliant on 0-10V Dimmer, Generally up to 10% Dimming.
Requires Compatible Dimming Switch.

CERTIFICATIONS, LISTINGS & WARRANTY

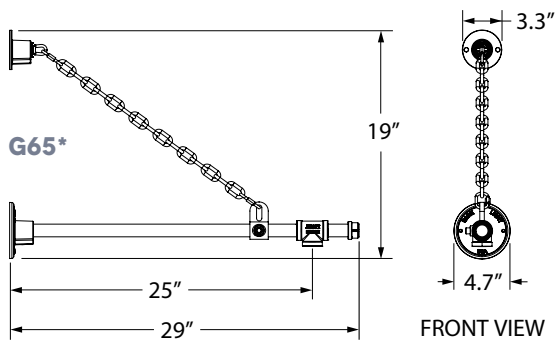
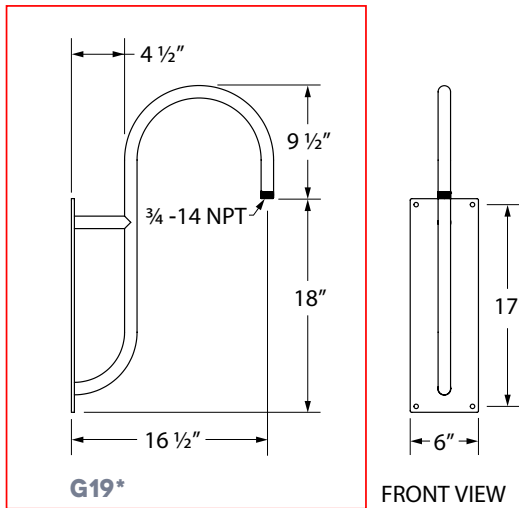
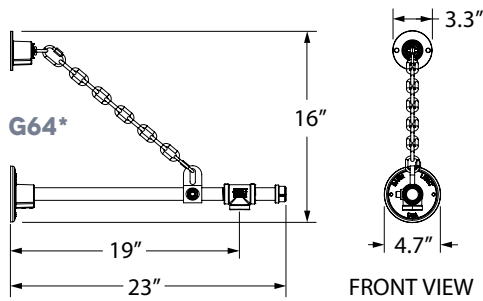
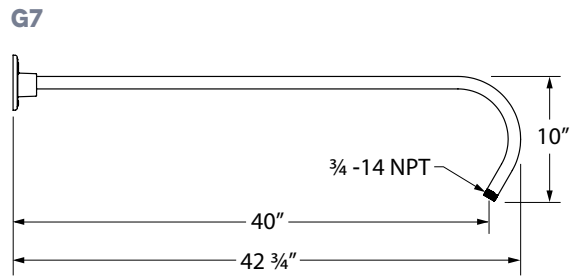
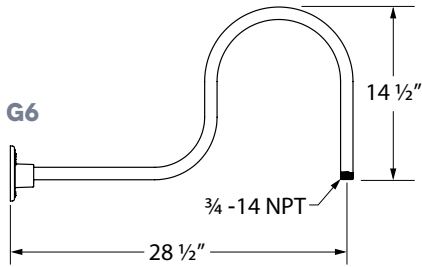
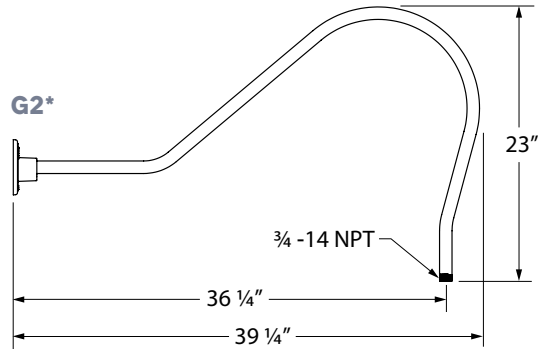
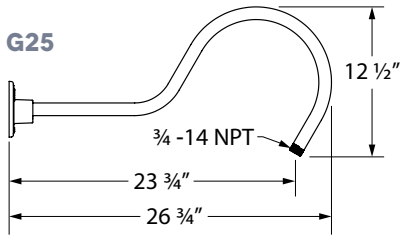
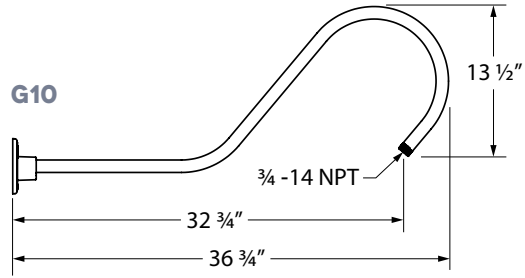
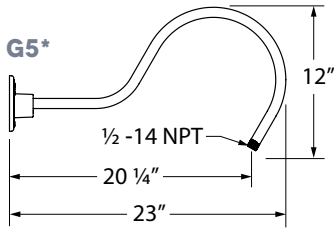
MADE IN THE USA
Manufactured and Hand-Crafted in Our 60,000 Square Foot Facility Located in Titusville, FL

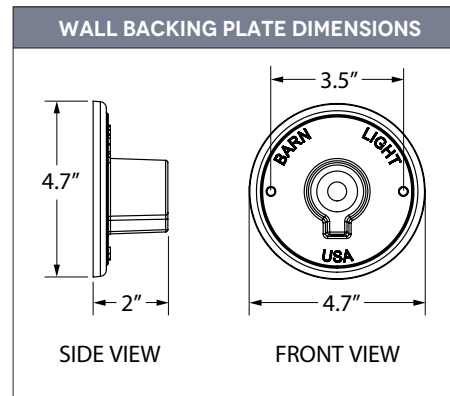
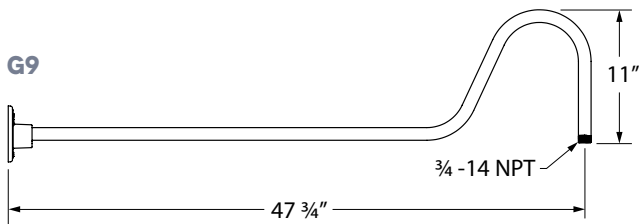
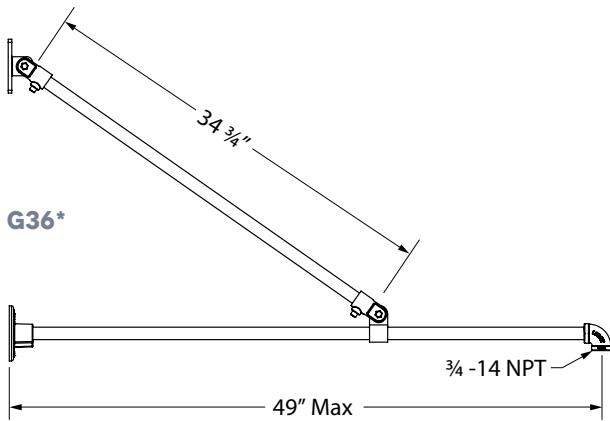
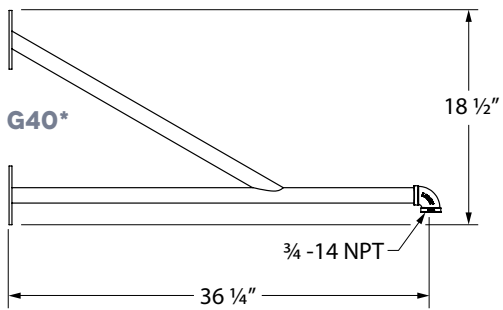
CSA LISTED FOR WET LOCATIONS
CSA Listed for Damp Locations Only If Plug-In Option Selected

CSA LISTED FOR DAMP LOCATIONS
Includes All Chain and Select Cord Hung Mounting Styles

LIMITED WARRANTY
For Additional Information on Our Limited Warranty, Please See Our Terms & Conditions

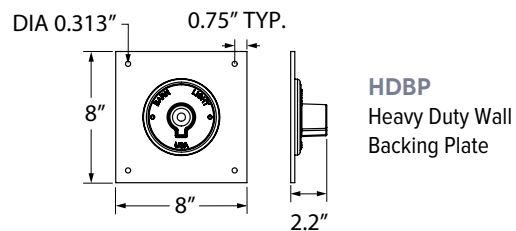
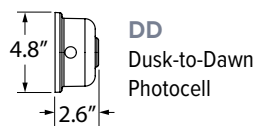
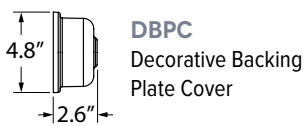
Attachment: Packet Docs_05.19.25 (10362 : Thompson Project Management for Fromm Family Food)





OPTIONAL MOUNTING ACCESSORIES

Please Note: Select gooseneck arms are not applicable with below accessories, reference website for additional information.



LED Tapelight Specifications




Linear LED strips on a flexible polyimide circuit board, mounted onto a 3M thermal dissipation tape, binning according to SDCM3, CRI>80, 24V DC. Equipped with a constant current source for longer maximum runs with constant luminous flux. Discharge protection +/- 2,000Volt, lifetime of LM80>60,000 hours, dimming with most common protocols (0-10Volts, TRIAC), beam angle=120°, dimensions (wxh) = 1/3" x 1/16". From 75-893 lm/ft.

iP66 BILTON helped invent a revolutionary new technology to create IP66 outdoor tape light (damp/wet location). The strips are not coated in silicone but with a specialized hydrophobic, plasma-enhanced, very thin film. This coating is not only extremely durable but features:

- 100% moisture protection
- No lumen loss (silicone coatings ca. 30%)
- No heat increase within the tape, which has negative effects on longevity (silicone coatings do not properly dissipate heat) Very good UV protection and therefore no shift in color temperature, which typically occurs with silicone coatings

Tape Light

Output	IP Rating	Color Temp	Ordering Code
L90 = 90 lumens/ft L180 = 180 lumens/ft L270 = 270 lumens/ft L400 = 400 lumens/ft L610 = 610 lumens/ft L910 = 910 lumens/ft	IP00 = Indoor IP66 = Outdoor	CT27 = 2700k CT30 = 3000k CT40 = 4000k	Example: L90IP00CT27 (90 lm/ft, IP00, 2700K)
	IP00 = Indoor	CT35 = 3500k	
RGB = Color Changing	IP00 = Indoor IP66 = Outdoor	None	
TW = Tunable White	IP00 = Indoor IP66 = Outdoor	CT27-40 = 2700k-4000k	

Technical Information

Output	L90	L180	L270	L400	L610	L910	RGB	Tunable White
LEDs/ft	36	36	36	36	36	36	18	72
Lumens/ft @ 4000K	90	180	270	400	610	910	Max 110	460
Consumption (watt/ft)	0.73	1.62	2.5	3.66	5.85	8.78	2.2	4.12
Efficacy @ 4000k (lm/watt)	123	111	108	109	104	104		111
CRI	>80	>80	>80	>80	>80	>80		>80
Voltage	24	24	24	24	24	24	24	24
Maximum run length	75'	47'	35'	25'	18'	15'	20'	30'
Customization increment	2"	2"	2"	2"	2"	2"	4"	2"

LED Tapelight Specifications

Power Supply

Model	Power	IP	Input	Output	Dimension (Inch) LxWxH
TR = Non-Dimming	50 = 50 watt	IP00	88-264V	24V	3.90 X 3.82 X 1.42
	75 = 75 watt				5.08 X 3.82 X 1.50
	100 = 100 watt				6.26 X 3.82 X 1.50
	150 = 150 watt				7.84 X 3.85 X 1.50
	12 = 12 watt	IP42	90-264V		3.03 X 1.57 X 1.14
	16 = 16 watt				3.03 X 1.57 X 1.14
	25 = 25 watt				3.31 X 2.24 X 1.16
	35 = 35 watt	IP67	90-264V		3.31 X 2.24 X 1.16
	20 = 20 watt				4.65 X 1.38 X 1.02
35 = 35 watt	5.83 X 1.57 X 1.18				
60 = 60 watt	6.40 X 1.67 X 1.26				
100 = 100 watt	7.48 X 2.05 X 1.46				
DTR =Dimming (0-10V)	16 = 16 watt	IP67	90-305V	24V	5.83 X 1.57 X 1.26
	25 = 25 watt				5.83 X 1.57 X 1.26
	40 = 40 watt				6.40 X 1.70 X 1.26
	60 = 60 watt				6.40 X 1.70 X 1.26
	90 = 90 watt				6.34 X 2.40 X 1.42
	100 = 100 watt				8.66 X 2.68 X 1.53
	120 = 120 watt				8.66 X 2.68 X 1.53
	150 = 150 watt				8.97 X 2.68 X 1.58
	185 = 185 watt				8.97 X 2.68 X 1.58
	240 = 240 watt				9.88 X 2.68 X 1.58
	320 = 320 watt				9.92 X 3.54 X 1.72
600 = 600 watt	11.02 X 5.67 X 1.91				
DTR – FP = Dimming (Forward Phase)	20 = 20 watt	IP67	120V	24V	4.92 X 1.97 X 0.77
	40 = 40 watt				4.92 X 1.97 X 0.77
	60 = 60 watt				4.92 X 1.97 X 0.77
	75 = 75 watt				4.92 X 1.97 X 0.77
	96 = 96 watt				4.92 X 1.97 X 0.77

Power Supply Ordering Code

Model	Power	IP	Description
TR	50	IP00	Non-Dimming, 50 watt, IP00, 88-264V output, 24V input
DTR	16	IP67	0-10V Dimming, 16 watt, IP67, 90-305V output, 24V input
DTR-FP	20	IP67	Forward Phase-Dimming, 20 watt, IP67, 120V output, 24V

Customization

Code	Description	Customization
T20-CUST	Tapelight Customizing	Cut tape to exact length (2" increments)
TL20-CUST	Tapelight Customizing + Lead Wires	Cut tape to exact length + solder 4' lead wire
E20-CUST	Extrusion Customizing	Cut tape & extrusion to exact length, installing tape, add strain relief, and solder 4' lead wire
E20-CUST-C	Extrusion Customizing Color	
E20IP68-1-CUST	Extrusion Customizing IP68 for 1-2 feet	
E20IP68-3-CUST	Extrusion Customizing IP68 for 3-4 feet	
E20IP68-5-CUST	Extrusion Customizing IP68 for 5-6 feet	



Attachment: Packet Doc. 06.19.25 10362 Thompson Project Management for Fromm Family Food



STEPHEN
PERRY
SMITH
ARCHITECTS, INC.



**STEPHEN
PERRY
SMITH**
ARCHITECTS, INC.



FOXTOWN CENTER



STEPHEN
PERRY
SMITH
ARCHITECTS, INC.



STEPHEN
PERRY
SMITH
ARCHITECTS, INC.

DOCUMENT NO.

RETURN TO:
City of Mequon
11333 North Cedarburg Road 60W
Mequon, WI 53092
PARCEL NO.:
140270102900

CONDITIONAL USE GRANT AMENDMENT

Legal Description: See attached Exhibit F

11050N-11120N WESTON DRIVE

Following action by the Planning Commission of the City of Mequon approving an amendment of the Conditional Use Grant, these Articles of Agreement are made and entered into this 19th day of May 2025, by and between _____ and the City of Mequon.

It is agreed upon by and between the parties hereto that the Conditional Use Grant for the use of property as a three story mixed use building the original Grant recorded as Document 1078103 on June 10, , 2019 be amended as follows:

- 1. Exhibit A-1 to represent the site plan for building E-3
- 2. Exhibit C -1 shall represent the landscaping plan for building E-3
- 3. Exhibit D-1 shall represent the elevations for building E-3
- 4. Exhibit E -1 shall represent the exterior lighting plan for building E-3

GRANTED by action of the Planning Commission of the City of Mequon this 19th day of May 2025.

Andrew Nerbun, Mayor, Planning Commission Chairperson

Acknowledgment

STATE OF WISCONSIN)

)SS

OZAUKEE COUNTY)

Personally came before me, this ____ day of _____, 2025, the above named _____, Mayor, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, Ozaukee County, Wisconsin My Commission (expires) _____

Planning Commission Secretary

Acknowledgment

STATE OF WISCONSIN)

)SS

OZAUKEE COUNTY)

Personally came before me, this ____ day of _____, 2025, the above named _____, Secretary, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, Ozaukee County, Wisconsin My Commission (expires) _____

Attachment: Packet Docs_05.19.25 (10362 : Thompson Project Management for Fromm Family Food)

Conditional Use Grant

OWNER(S):

By: _____

Acknowledgment

STATE OF _____)

)SS

_____ COUNTY)

Personally came before me, this ____ day of _____, 2025, the above named, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public

My Commission (expires) _____

DRAFTED BY:

City of Mequon
11333 N. Cedarburg Road
Mequon, WI 53092

Attachment: Packet Docs_05.19.25 (10362 : Thompson Project Management for Fromm Family Food)



11333 N. Cedarburg Rd
 Mequon, WI 53092-1930
 Phone: 262-236-2902
 Fax: 262-242-9655

www.cityofmequonwi.gov

Department of Community Development

TO: Planning Commission
FROM: NATALIE REDDING, CITY PLANNER
DATE: May 19, 2025
SUBJECT: FORMA Design Gallery. The applicant is seeking conditional use grant approval to allow for a design showroom for the property located at 12080 N. Corporate Parkway.

Applicant:	Kyle Bentzien
Status of Applicant:	Agent
Requested:	Conditional Use Grant
Existing Zoning:	B-4 (Business Park) C-2 (General Conservancy)
Land Use Plan:	Business Park Critical Environment
Lot size:	6.83 Acres
Location:	12080 N. Corporate Parkway
Tax Key Number:	#15-017-11-011.00
District:	#5

Background: The applicant is requesting conditional use grant approval to allow for a showroom design gallery showcasing home products and furnishing inventory for the property located at 12080 N Corporate Parkway. The parcel is zoned B-4 (business park) and C-2 (general conservancy). At the March 17th Planning Commission meeting, and April 8th Common Council meeting, a text amendment was approved to allow for design showrooms as a conditional use in the B-4 zoning district.

FORMA Design Gallery will be a collection of various showrooms showcasing the products and furnishings involved in home renovation or new home construction, housed all in one place. The design gallery will function as a multi-tenant facility, where each showroom will be independently operated and leased, showcasing different products depending on the seller/designer. The building will be open to the public, with appointments encouraged.

Site Plan/Site Compliance:

The applicant is not proposing any changes to the exterior of the building, parking lot, or site plan in general. Staff conducted a site visit to confirm whether the existing landscaping and lighting on site is compliant. The parking lot lights are full cut-off and compliant with City of Mequon lighting code. As the site visit was observed during the day, staff cannot confirm all lights were functional. A condition of approval requires the applicant to confirm full functionality of the lights. The site does have missing trees and a few that may be dead or dying. Due to spring, it is unclear whether these trees have just yet to bud. Staff will conduct a second site visit, no later than June 30th, to confirm landscaping conditions are compliant. If they are

determined not to be, the applicant shall achieve landscaping compliance prior to the issuance of final occupancy.

Floor Plan:

The submitted floor plan is a conceptual layout of what the applicant anticipates for the space. The showroom sizes and locations are subject to change as leases are finalized. As such, staff will require a review of final floor plans prior to the issuance of building permits.

Conditional Use Grant Findings:

According to Section 3.05(1)(b) of the Zoning Code, the following findings shall be considered when analyzing a conditional use grant application:

1. The proposed use should not endanger the public health, safety or general welfare of the city and the immediate neighborhood.

All activities and interactions of the business will take place within the building and will be monitored by the employees on site and the designers leasing the suites. Because the products on display will be for selection only, customers will not be walking out with in-store inventory. The use should not have a negative impact on public health, safety and general welfare.

2. The proposed use should not injure the value of adjoining or abutting property.

The adjacent uses are also zoned B-4, and primarily other single or multi-tenant office buildings. The use should be low intensity, as most interactions with the space are expected to be by appointment, and customers will not be purchasing anything onsite. The use is compatible with the professional services and offices found in the surrounding properties. Staff does not believe the business will have a negative impact on the value of the surrounding properties.

3. The proposed use shall be harmonious or compatible with the area in which it is located.

The proposed activities of the use are compatible with the area in which it is located. Staff is supportive of the hours set forth - Monday through Friday, 9:00 AM to 5:00 PM - which align with the neighboring uses. The applicant anticipates the peak occupancy to be four persons per 1,000 square feet, this to include one employee, one designer, and two clients/customers. The building is roughly 40,000 square feet in size, and thus the maximum peak occupancy would be 160 people. The applicant anticipates the day-to-day occupancy to be much less, around 2 persons per 1,000 square feet. With 194 parking spaces total at the site, 5 of which are handicapped, the parking demand will be sufficiently met.

Staff Recommendation:

Staff recommend **approval** of the conditional use based on the following conditions:

1. Staff review and approval of final floor plans prior to issuance of permits. The applicant shall submit such plan within 180 days of Planning Commission action, or the required plan(s) shall be submitted to Planning Commission for additional review and action and subject to all necessary fees.
2. The hours of operation are Monday through Friday from 9:00 AM to 5:00 PM.
3. Final staff review and approval of sign permits. I-43 signage will require additional planning commission approval.

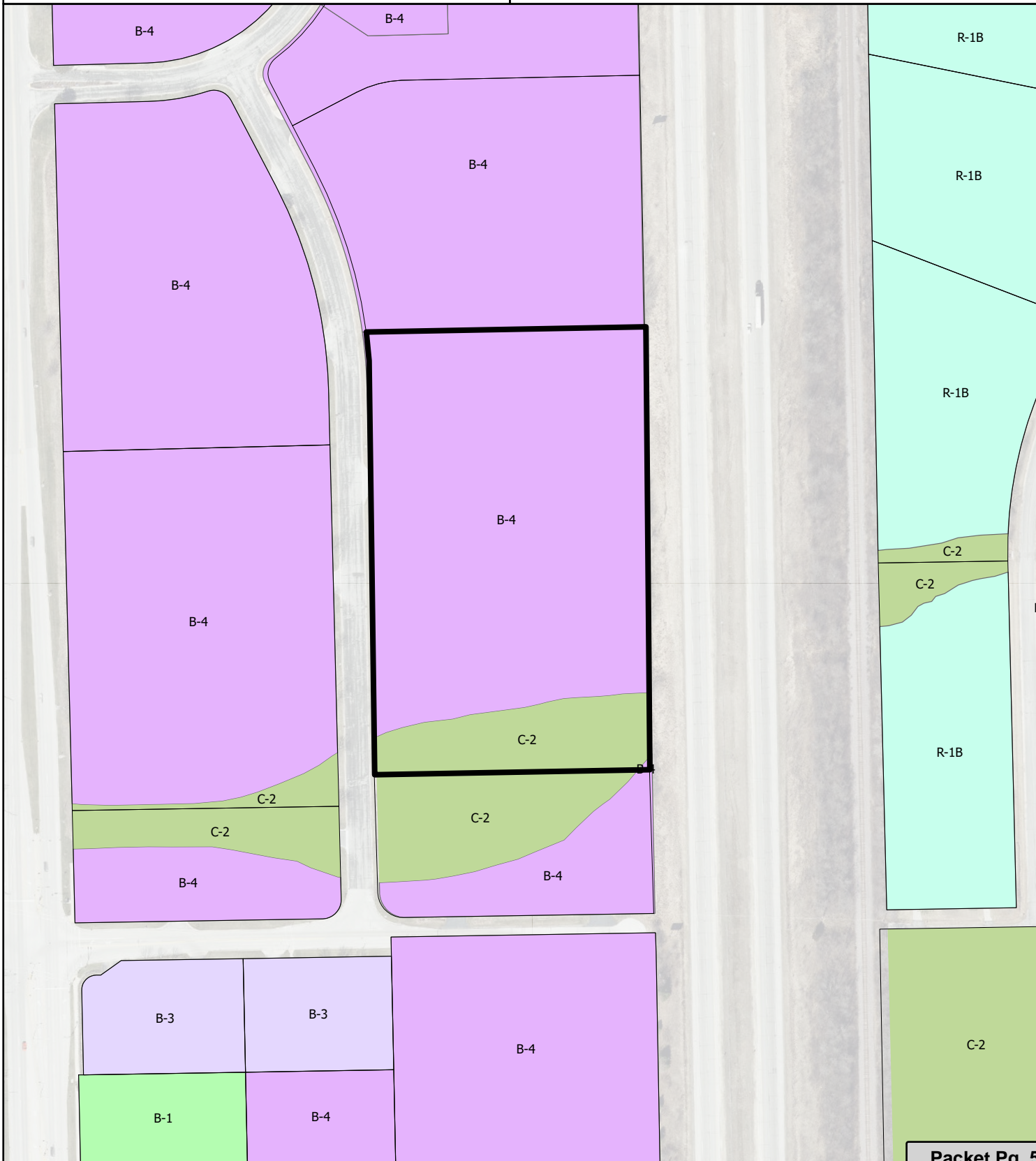
4. Final staff approval of landscaping on site, prior to the issuance of final occupancy.
5. Recording of the conditional grant at Ozaukee County Register of Deeds.

Attachments:

Packet Docs_FORMA_05.19.25 (PDF)

FORMA DESIGN GALLERY

AC	Arrival Corridor	IPS	Institutional & Public Service
A-1	Agricultural Preserve	NC	Neighborhood Commercial
A-2	General Agricultural	OA	Agricultural Overlay
B-1	Neighborhood Business	PUD	Planned Unit Development Overlay
B-2	Community Business	P-1	Park & Recreation
B-3	Office & Service Business	R-1	Single-Family Residential (5 Ac. Min.)
B-4	Business Park	R-1B	Single-Family Residential (2.5 Ac. Min.)
B-5	Light Industrial	R-2	Single-Family Residential (2 Ac. Min.)
B-6	Rural Industrial	R-2B	Single-Family Residential (1.5 Ac. Min.)
B-7	Rural Business	R-3	Single-Family Residential (1 Ac. Min.)
C-1	Shoreland/Wetland Conservancy	R-4	Single-Family Residential (3/4 Ac. Min.)
C-2	General Conservancy	R-5	Single-Family Residential (1/2 Ac. Min.)
CGO	Central Growth Overlay	R-6	Single-Family Residential (4 DU/Ac.)
FFO	Flood Fringe Overlay	RM	Multi-Family Residential
FW	Floodway	TC	Town Center
IPS	Institutional & Public Service	TDR	Transfer of Development Rights



Attachment: Packet Docs_FORMA_05.19.25 (10361 : FORMA Design Gallery)



FORMA

DESIGN GALLERY

Conditional Use Grant (CUG) Submission
Supplemental Materials
April 21, 2025

12080 Corporate Parkway, Mequon, WI



A collection of premium brands for residential home projects, offering homeowners and trade professionals product awareness, access, convenience and community.

Get inspired.

Legal Description

Address: 12080 Corporate Parkway, Mequon, WI 53092

Tax Key: 15-017-11-011.00

PARCEL 1 OF CERTIFIED SURVEY MAP NO. 3375 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR OZAUKEE COUNTY, WISCONSIN, ON AUGUST 19, 2002 IN VOLUME 23 OF CERTIFIED SURVEY MAPS, ON PAGES 393 TO 396, INCLUSIVE, AS DOCUMENT NO. 718324 , AND BEING A PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 17, TOWNSHIP 9 NORTH, RANGE 22 EAST, IN THE CITY OF MEQUON, COUNTY OF OZAUKEE, STATE OF WISCONSIN.



ALTA Survey & Building

For site information, please see attached ALTA survey

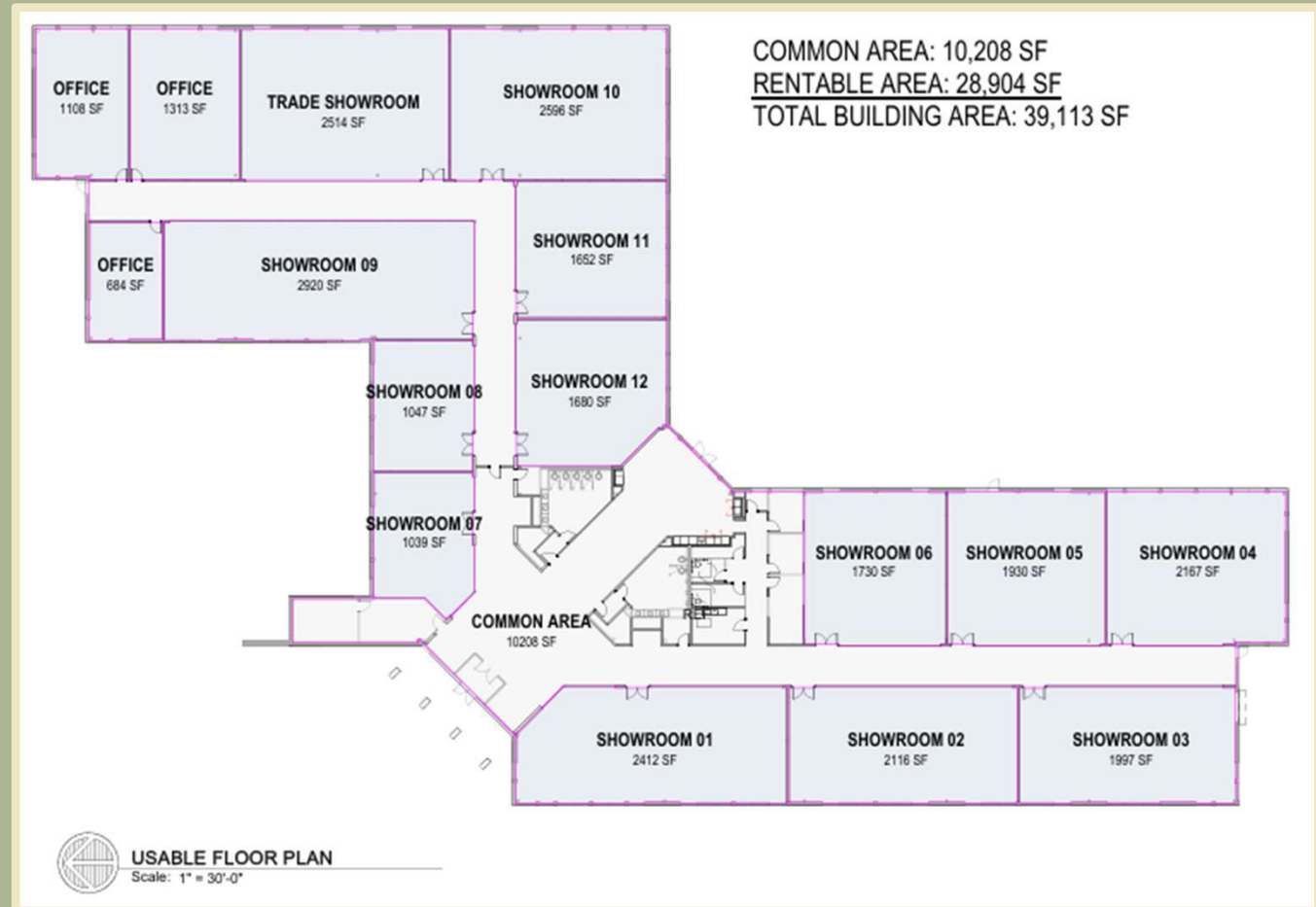
- No proposed changes to the site, building structure or parking lot.
- 194 parking spaces (189 handicap)
- FAR ratio = .135
- Site size: 297,529 SF
- Building Size: 40,066 SF (single story)
- Set-backs on the survey
- No changes to roof or roof slopes/pitches
- No changes to landscaping at this point
- May add exterior lighting in the future but will apply separately with lighting plan and specs



Preliminary Floor Plan

Showroom size and location subject to change as leases are finalized

- Best example of floor plan displayed to the right
- Showroom size and location subject to change as leases are finalized, but placement corridors and lobby entry not likely to change
- Peak occupancy will likely be 4 persons per 1,000 SF, per showroom (one employee, one designer, two end clients)
- Day-to-day occupancy will likely be much less (2 persons per 1,000 SF)
- Construction documents will confirm plans conform with IBC



Renderings

Material and finish selections to still be finalized



Attachment: Packet Docs_FORMA_05.19.25 (10361 : FORMA Design Gallery)



Illustrative Exterior Signage

Exterior signage will replace signage of prior occupant (Finastra)

West Elevation



East Elevation



Attachment: Packet Docs_FORMA_05.19.25 (10361 : FORMA Design Gallery)



Kyle Bentzien

Managing Principal
Birch Point Real Estate

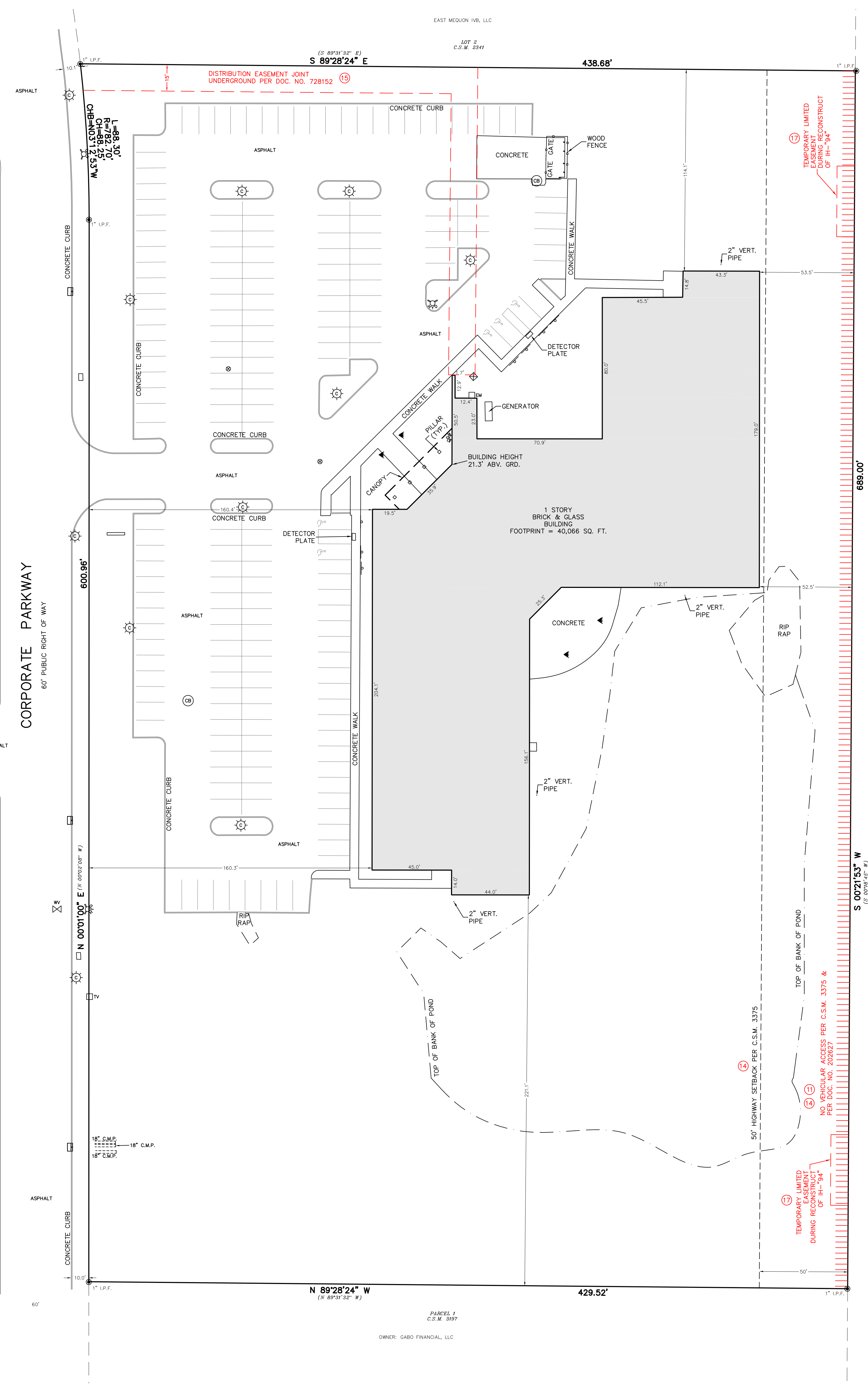
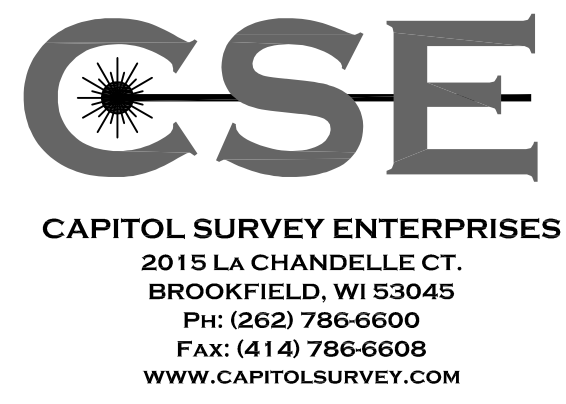
email: kbentzien@birchpointrealestate.com
phone: 262.352.1599



FORMA

DESIGN GALLERY

Attachment: Packet Docs_FORMA_05.19.25 (10361 : FORMA Design Gallery)



LEGEND

— SAN —	SANITARY SEWER	⊠	ELECTRIC TRANSFORMER	⊠	HYDRANT
— ST —	STONE SEWER	⊠	ELECTRIC METER	⊠	WATER VALVE
— W —	WATER MAIN	⊠	ELECTRIC PEDESTAL	⊠	GAS VALVE
— G —	BURIED GAS LINE	⊠	ELECTRIC BOX AT GRADE	⊠	MANHOLE
— TEL —	BURIED TELEPHONE LINE	⊠	TELEPHONE BOX AT GRADE	⊠	STORM MANHOLE
— E —	BURIED ELECTRIC LINE	⊠	TV FEDESTAL	⊠	CATCH BASIN
— FD —	BURIED FIBER OPTIC LINE	⊠	TV FEDESTAL	⊠	CURB INLET
— // —	OVERHEAD UTILITY LINES	⊠	TV FEDESTAL	⊠	METAL LIGHT POLE
— CATV —	BURIED CABLE TELEVISION LINES	⊠	TV FEDESTAL	⊠	CONCRETE LIGHT POLE
— COM —	COMBINATION SEWER	⊠	TV FEDESTAL	⊠	WOOD LIGHT POLE
— WOOD —	WOOD FENCE	⊠	TV FEDESTAL	⊠	WOOD LIGHT POLE
— METAL —	METAL FENCE	⊠	TV FEDESTAL	⊠	FLAG POLE
—	EDGE OF TREES AND BRUSH	⊠	TV FEDESTAL	⊠	BOLLARD
—	DOOR SILL ELEVATION	⊠	TV FEDESTAL	⊠	BOLLARD LIGHT
—	FIRE DEPARTMENT CONNECTION	⊠	TV FEDESTAL	⊠	YARD LIGHT
		⊠	TV FEDESTAL	⊠	MAL BOX
		⊠	TV FEDESTAL	⊠	FIBER OPTIC MARKER
		⊠	TV FEDESTAL	⊠	OUT WIRE

LEGAL DESCRIPTION

PARCEL 1 OF CERTIFIED SURVEY MAP NO. 3375 RECORDED IN THE OFFICE OF THE REGISTER OF DEEDS FOR OZAUKEE COUNTY, WISCONSIN, ON AUGUST 19, 2002 IN VOLUME 23 OF CERTIFIED SURVEY MAPS, ON PAGES 393 TO 396, INCLUSIVE, AS DOCUMENT NO. 718324, AND BEING A PART OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 17, TOWNSHIP 9 NORTH, RANGE 22 EAST, IN THE CITY OF MEQUON, COUNTY OF OZAUKEE, STATE OF WISCONSIN.

FOR INFORMATIONAL PURPOSES ONLY:
 PROPERTY ADDRESS: 12080 NORTH CORPORATE PARKWAY, MEQUON, WI 53092
 TAX KEY NUMBER: 15-017-11-011.00

- SCHEDULE B, PART 2 - EXCEPTIONS**
- (11) ACCESS RESTRICTIONS CONTAINED IN THE INSTRUMENT RECORDED JANUARY 11, 1965 AS DOCUMENT NO. 202827, AFFECTS PROPERTY AS PLOTTED HEREON.
 - (12) DEVELOPMENT AGREEMENT AND OTHER MATTERS CONTAINED IN THE INSTRUMENT RECORDED MARCH 31, 1989 AS DOCUMENT NO. 414502, AFFECTS PROPERTY BY DESCRIPTION - NOT SURVEY RELATED, NOTHING TO PLOT.
 - (13) COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, ASSESSMENTS AND OTHER MATTERS CONTAINED IN DECLARATION OF EASEMENTS, COVENANTS AND RESTRICTIONS FOR EAST MEQUON CORPORATE CENTRE RECORDED NOVEMBER 13, 1991 AS DOCUMENT NO. 452800, AS MODIFIED BY SUPPLEMENTARY DECLARATION RECORDED AUGUST 30, 1993 AS DOCUMENT NO. 498994, AFFECTS PROPERTY BY DESCRIPTION - EASEMENTS ARE GENERAL IN NATURE THEREFORE NOTHING PLOTTED.
 - (14) EASEMENTS, RESTRICTIONS AND OTHER MATTERS SHOWN ON CERTIFIED SURVEY MAP NO. 3375 RECORDED AUGUST 19, 2002 AS DOCUMENT NO. 718324, AFFECTS PROPERTY AS PLOTTED HEREON.
 - (15) DISTRIBUTION EASEMENT UNDERGROUND JOINT GRANTED TO WISCONSIN ELECTRIC POWER COMPANY, A WISCONSIN CORPORATION DOING BUSINESS AS WE ENERGIES, WISCONSIN BELL, INC., A WISCONSIN CORPORATION DOING BUSINESS AS SBC AMERITECH WISCONSIN, AND TIME WARNER ENTERTAINMENT COMPANY, L.P. AND OTHER MATTERS CONTAINED IN THE INSTRUMENT RECORDED NOVEMBER 8, 2002 AS DOCUMENT NO. 728152, AFFECTS PROPERTY AS PLOTTED HEREON.
 - (17) TEMPORARY LIMITED EASEMENT GRANTED TO THE WISCONSIN DEPARTMENT OF TRANSPORTATION RECORDED FEBRUARY 8, 2022 AS DOCUMENT NO. 1132688, AFFECTS PROPERTY AS PLOTTED HEREON.

- MISCELLANEOUS NOTES**
- THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF WISCONSIN.
 - THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN (INSERT TITLE COMPANY NAME HERE) COMMITMENT NO. 2310741, WITH A COMMITMENT DATE: DECEMBER 17, 2024 AT 12:00 AM, LAST REVISED ON DECEMBER 19, 2024 AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
 - THE UNDERGROUND UTILITY INFORMATION AS SHOWN HEREON IS BASED, IN PART, ON INFORMATION FURNISHED BY THE UTILITY COMPANIES, DIGGERS HOTLINE AND THE LOCAL MUNICIPALITY. WHILE THIS INFORMATION IS BELIEVED TO BE RELIABLE, ITS ACCURACY AND COMPLETENESS CANNOT BE GUARANTEED NOR CERTIFIED TO.
 - NO ZONING INFORMATION PROVIDED BY INSURER AT THE TIME OF SURVEY.
 - THE ABOVE DESCRIBED PROPERTY AS SHOWN HEREON CONTAINS: 297,527 SQUARE FEET OR 6.8303 ACRES.
 - THE TOTAL NUMBER OF STRIPED PARKING SPACES ON THE PROPERTY IS 194, OF WHICH 189 ARE REGULAR PARKING SPACES AND 5 ARE DESIGNATED DISABLED SPACES, AND TO THE EXTENT POSSIBLE, ARE GRAPHICALLY SHOWN HEREON.
 - SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN PER INFORMATION FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), ON FLOOD INSURANCE RATE MAP NO. 55089C02566, WITH A DATE OF IDENTIFICATION OF JULY 31, 2024, IN COMMUNITY NO. 555564, THE CITY OF MEQUON, WHICH IS THE COMMUNITY IN WHICH THE SUBJECT PROPERTY IS SITUATED.
 - THERE IS OBSERVED EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS ON THE PROPERTY AT TIME OF SURVEY.
 - THERE IS NO INFORMATION AVAILABLE FROM THE CITY OF MEQUON REGARDING PROPOSED CHANGES IN STREET RIGHT OF WAY LINES ADJOINING THE PROPERTY AT THE TIME OF SURVEY.
 - ALL BEARINGS REFER TO THE WISCONSIN COUNTY COORDINATE SYSTEM, OZAUKEE COUNTY.

TO: BIRCH POINTE REAL ESTATE, LLC, A WISCONSIN LIMITED LIABILITY COMPANY, VS. 765, LLC, A WISCONSIN LIMITED LIABILITY COMPANY AND KNIGHT BARRY TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6(C)(1), 7(A)(1)(C)(1), 8, 9, 13, 16 AND 17 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON APRIL 3, 2025.

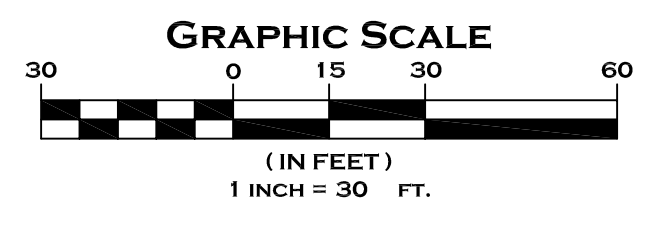
APRIL 7, 2025
 DATE

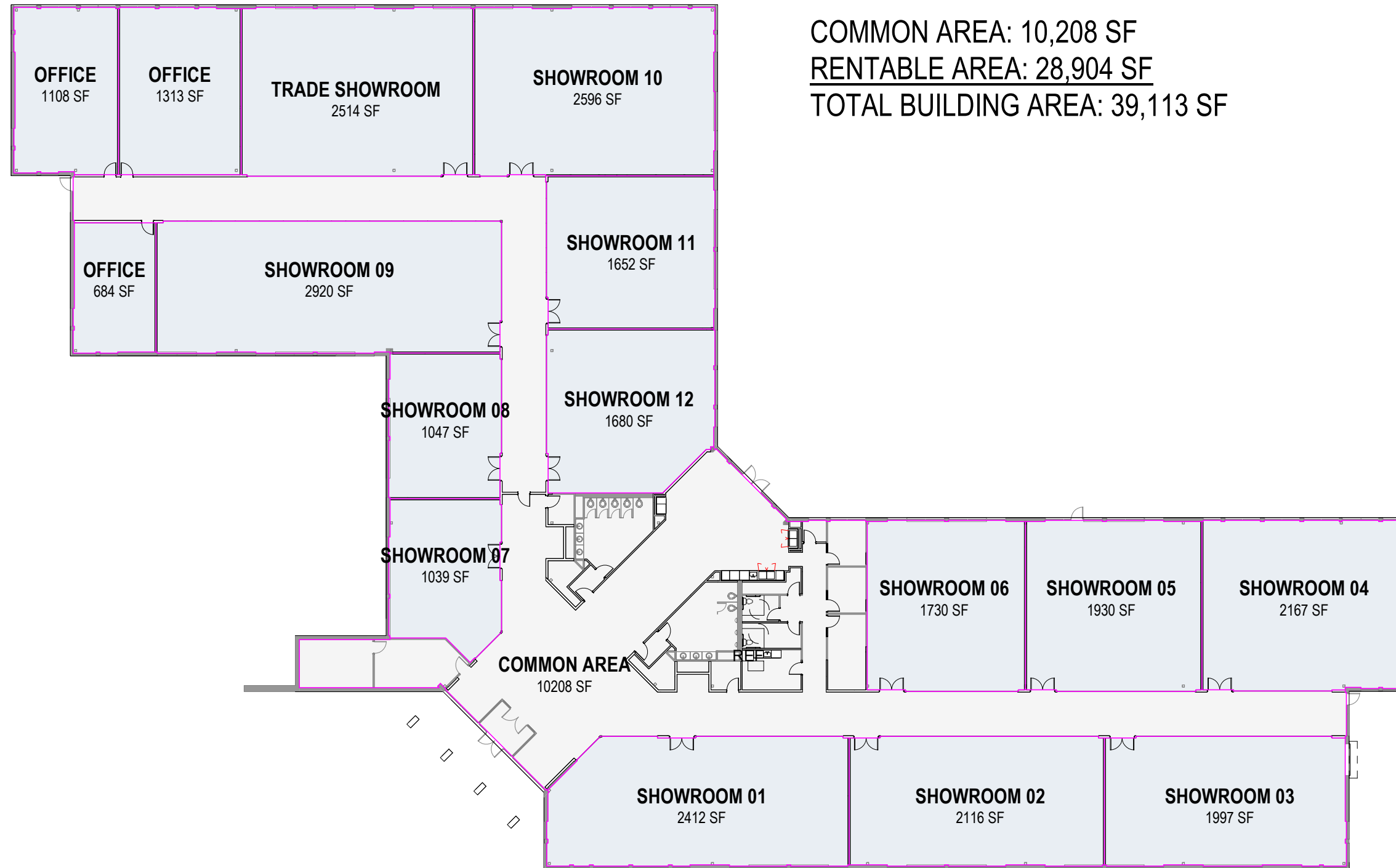
Michael J. Berry
 MICHAEL J. BERRY, P.L.S.
 PROFESSIONAL LAND SURVEYOR S-2545

WISCONSIN LAND SURVEYOR
 MICHAEL J. BERRY
 S-2545
 BROOKFIELD, WI

ALTA/NSPS LAND TITLE SURVEY
 FOR
BIRCH POINTE REAL ESTATE
 12080 CORPORATE PKWY
 MEQUON, WI

DRAWN BY:	DHS	DATE:	APRIL 7, 2025
CHECKED BY:	MJB	DRAWING NO.:	AL - 0
CSE JOB NO.:	25-034	SHEET	1 OF 1



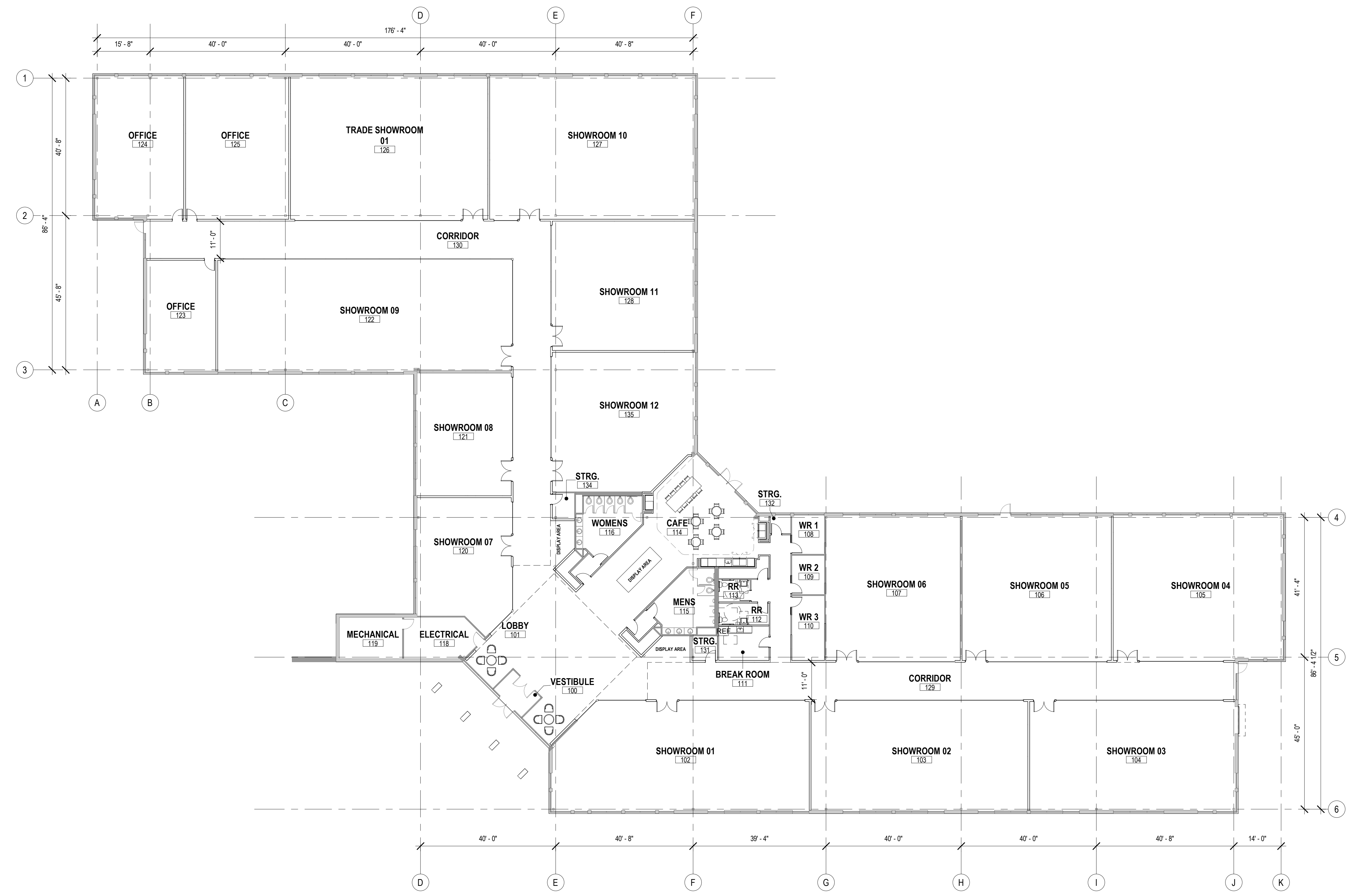


 **USABLE FLOOR PLAN**
 Scale: 1" = 30'-0"

Attachment: Packet Docs_FORMA_05.19.25 (10361 : FORMA Design Gallery)

FORMA - DESIGN GALLERY - RENOVATION

12080 CORPORATE PKWY
 MEQUON, WI 53092



1 NEW WORK PLAN - FLOOR PLAN
Scale: 1/16" = 1'-0"

NOT FOR CONSTRUCTION
THESE DRAWINGS ARE RELEASED FOR DESIGN DEVELOPMENT PURPOSES ONLY. THEY ARE NOT TO BE USED FOR REGULATORY APPROVAL, PERMIT, OR CONSTRUCTION PURPOSES.

FORMA DESIGN GALLERY - RENOVATION

12080 CORPORATE PKWY
MEQUON, WI 53092

SHEET TITLE:
FLOOR PLAN

REVISIONS:

NO.	DATE	DESCRIPTION

SCALE	VARIES
PROJECT NUMBER	2412-005
SET TYPE	PRICING SET
DATE ISSUED	0X/XX/2024
SHEET NUMBER	A600

CONDITIONAL USE GRANT

Articles of Agreement made and entered into this 19th day of May, 2025 by and between _____ owner of the property located at 12080 N Corporate Parkway and the City of Mequon Planning Commission.

Before the Planning Commission of the City of Mequon, Ozaukee County, Wisconsin, in regard to the premise located in Section 17, Range 22 East, in Township 9 North, Ozaukee County, State of Wisconsin, further described as follows:

LEGAL DESCRIPTION

Exhibit A-1

WHEREAS, the Zoning Code and Zoning District Map of the above named municipality, pursuant to State Statues, provide that the premises may not be used of right for the purpose hereinafter described but that upon petition such use may be approved by the municipality as a Conditional Use Grant in particular circumstances as defined by the standards in the Zoning Ordinance; and

Petition therefore having been made, and public hearing held thereon, and the Planning Commission of the City of Mequon having determined that by reason of the particular nature, character, and circumstances of the proposed use, grant of such use upon the terms and conditions hereinafter prescribed would be consistent with the requirements of the Zoning Ordinance.

Now, therefore, **IT IS GRANTED**, subject to compliance with the terms and conditions hereinafter stated, that the Premises may be used for the purpose of a design showroom.

GRANTED by action of the Planning Commission of the City of Mequon this 19th day of May, 2025.

Andrew Nerbun, Mayor, Planning Commission Chairperson

Acknowledgment:

STATE OF WISCONSIN)
)SS
OZAUKEE COUNTY)

Personally came before me, this ____ day of _____, 2025, the above named Mayor, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, Ozaukee County, Wisconsin
My Commission (expires) _____

Planning Commission Secretary

Acknowledgment:

STATE OF WISCONSIN)
)SS
OZAUKEE COUNTY)

Personally came before me, this ____ day of _____, 2025, the above named _____, Planning Commission Secretary, to me known to be the person who executed the foregoing instrument and acknowledged the same.

Notary Public, Ozaukee County, Wisconsin
My Commission (expires) _____

RETURN TO:

City of Mequon
11333 North Cedarburg Road 60W
Mequon, WI 53092

PARCEL NO.:
15-017-11-011.00

Attachment: Packet Docs_FORMA_05.19.25 (10361 : FORMA Design Gallery)

Conditional Use Grant

The **CONDITIONS** of this Grant are:

1. This grant shall become effective upon the execution and recording by the owners and operators of the Premises of an acceptance hereof in such form as to constitute an effective covenant running with the land.
2. This grant shall expire and become void unless, pursuant to the building and zoning codes of the City, the approved use is commenced or the building permit is obtained within twelve (12) months of the date of Planning Commission approval noted above, or actual construction is commenced within twelve (12) months of the date on which the building permit was issued.
3. This grant shall be void unless, pursuant to the building and Zoning Codes of the City, the approved use is commenced or the building permit is obtained within twelve (12) months of the date of Planning Commission approval noted above.
4. Construction and operation of the use granted shall be in strict conformity to the approved site, building, and operations plans filed in connection with the Petition for this Grant, and annexed hereto.
5. Any of the conditions of this Grant which would normally be the responsibility of tenants of the Premises shall be made a part of their lease by the Owner, which lease shall contain provisions for posting of the pertinent conditions to notify employees thereof.
6. This grant shall automatically be null and void if this use is discontinued for a period of twelve (12) months.
7. The City of Mequon shall be held harmless from any claims or losses to the City or its residents including reasonable attorney fees arising from or related to use of the facilities.
8. Any change to the approved use or change to the building or site plan will require an amendment to the Conditional Use. Minor changes to the building and site plan shall be approved by the Department of Community Development.

Conditions on the Operations:

- a. Hours of operation: Monday-Friday 9:00AM-5:00PM
- b. Performance standards relating to parking, noise, vibration, odor, smoke, dust, and light: As per City ordinance and as further designated under letter (e.) below.
- c. Water supply requirements:
Public
- d. Provisions for sewage disposal:
Public sewer
- e. Other:
 - If the conditional use shall become hazardous, harmful, noxious, offensive or a nuisance to the surrounding neighborhood, or if material problems shall arise with respect to noise, traffic circulation, ingress and egress, parking, unenclosed storage, lighting, maintenance, or any other condition which shall materially threaten health or safety or to become a nuisance condition, the Grantee shall correct or improve such condition, and toward that end, the Planning Commission, after public hearing, may alter, amend or add reasonable additional Conditional User Grant conditions in order to ameliorate such effects, or in the case of violation of the Conditional Use Permit, may revoke the Conditional Use Grant.
 - If, despite efforts to prescribe conditions which render the conditional use harmonious in the surrounding neighborhood, problems shall arise with respect to noise, traffic circulation, ingress and egress, parking, unenclosed storage, lighting, maintenance, or any other condition which shall materially threaten the peace and enjoyment of neighboring properties, or shall become hazardous, harmful, noxious, offensive or a nuisance to the surrounding neighborhood, or shall threaten health or safety, the Grantee shall correct or improve such condition, and toward that end, the Planning Commission, after public hearing, may alter, amend or add reasonable additional Conditional User Grant conditions in order to ameliorate such effects, and in the case of violation of the Conditional Use Permit, may revoke the Conditional Use Grant.
9. **Conditions of the structure:**
 - a. Site Plan: As per attached Exhibit A
 - b. Landscaping Plan: As on file with Community Development Department, City of Mequon
 - c. Elevations: N/A
 - d. Floor Plan: As per attached Exhibit B
 - e. Exterior lighting of the building: N/A
 - f. Fence / Wall / Dumpster plan details: As on file with Community Development Department, City of Mequon



11333 N. Cedarburg Rd
Mequon, WI 53092-1930
Phone: 262-236-2902
Fax: 262-242-9655

www.cityofmequonwi.gov

Department of Community Development

TO: Planning Commission
FROM: NATALIE REDDING, CITY PLANNER
DATE: May 19, 2025
SUBJECT: Arch Solar C&I for Frank L. Weyenberg Library. The applicant is seeking building and site plan amendment to allow for solar panels for the property located at 11345 N. Cedarburg Road.

Applicant: Daruis White
Status of Applicant: Agent
Requested: Building and site plan amendment
Existing Zoning: IPS (Institutional and Public Service)
Land Use Plan: Park
Lot size: 12.38 Acres
Location: 11345 N. Cedarburg Road
Tax Key Number: #14-050-02-090.01
District: #2

Background: The applicant is requesting building and site plan amendment to allow for the installation of a photovoltaic system on the Frank L Weyenberg Library, located at 11345 N Cedarburg Road. The project aims to reduce the library's carbon footprint and help save on utility costs, thus allowing for funding to be directed towards books, technology, and programs for all ages. The City of Mequon is limited by State Statutes to what conditions can be placed on alternative energy systems. Any restriction imposed by the city must satisfy one of the following conditions:

- Preserve or protect the public health
- Does not decrease efficiency or increase cost
- Allows for an alternative system of comparable cost and efficiency

Staff does not find the solar panels to be in keeping with the design and age of the building, however architecture is not a criterion in which the city may regulate these systems.

Building and Site Plan Amendment:

The proposed project will see the installation of a 98.865 kW Photovoltaic System on the Frank L Weyenberg Library. The system will include 169 modules split between three arrays on the three flat roof sections of the western end of the building. The arrays will use TerraGen 10-degree ballasted racking and will be facing south in order to capture the highest percentage of rays of the sun. The Disconnect, Inverter, and PV Generation Meter - necessary equipment required for a code compliant photovoltaic system - will be located on the north facing exterior wall on the north side of the building, roughly halfway between the east and west edges of the

building and 20 feet south of the existing utility transformer. The equipment will be well screened from public view by the existing fence and evergreens which screen the existing utility transformer.

The library has public view from all four sides, this being from Cedarburg Road, from Division Street, from the parking lot to the south of the property and from the Interurban trail to the west of the property. From Cedarburg Road (from the east side of the building looking west), the view of the panels will be obstructed by the pitched roof sections of the building, which are taller than the roof sections where the proposed solar panels are located. As such, there are three potential perspectives by which someone could see the panels: south of the building looking north, north of the building looking south, and west of the building looking east.

The applicant created various site line renderings (see exhibit A) showing intervals at which an individual of six feet in height would be able to see the solar panels when facing the building from each direction. The chart below lays out this data.

Direction	South of building looking north	North of building looking south	West of building looking east
Distance at which you will start to see panels	~ 101 feet from building	~ 32 feet from building	~ 108 feet from building

The trees along the western and northern sides of the property will provide some screening for the panels, especially when the trees are fully fleshed out and in bloom. The attached map (see Exhibit B) displays the radius in which an individual would not be able to see the panels, and the areas outside of that radius in which you would begin to. Given the relatively short height of the panels (22 inches), visibility should be minimal.

Staff Recommendation:

Planning staff recommends approval of the building and site plan subject to the following conditions:

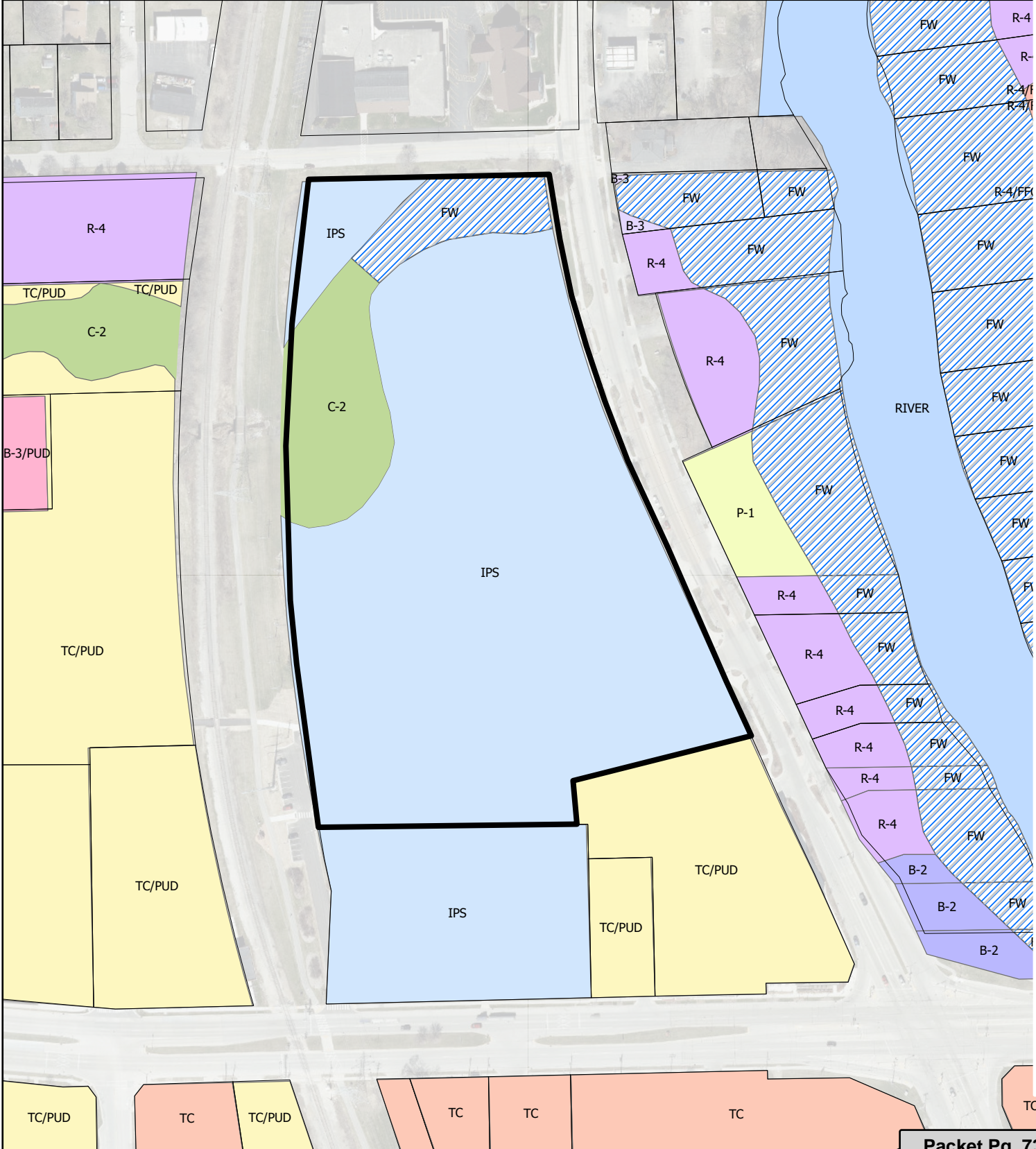
- 1. Staff review and approval of final building plans.

Attachments:

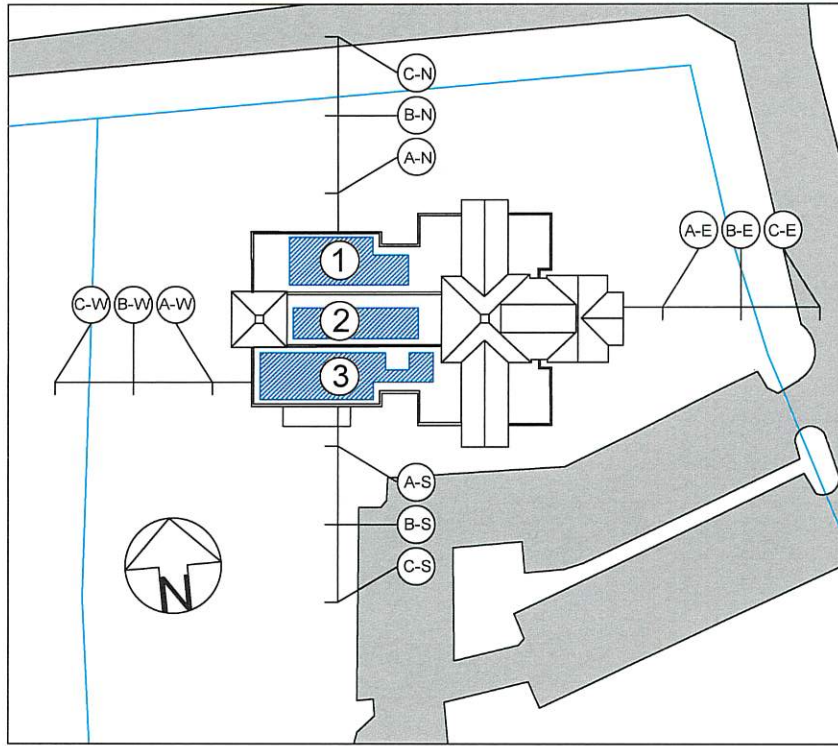
Packet Docs_Weyenberg_05.19.25 (PDF)

ARCH SOLAR C&I FOR FRANK L WEYENBERG LIBRARY

AC	Arrival Corridor	IPS	Institutional & Public Service
A-1	Agricultural Preserve	NC	Neighborhood Commercial
A-2	General Agricultural	OA	Agricultural Overlay
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B-3	Office & Service Business	R-1	Single-Family Residential (5 Ac. Min.)
B-4	Business Park	R-1B	Single-Family Residential (2.5 Ac. Min.)
B-5	Light Industrial	R-2	Single-Family Residential (2 Ac. Min.)
B-6	Rural Industrial	R-2B	Single-Family Residential (1.5 Ac. Min.)
B-7	Rural Business	R-3	Single-Family Residential (1 Ac. Min.)
C-1	Shoreland/Wetland Conservancy	R-4	Single-Family Residential (3/4 Ac. Min.)
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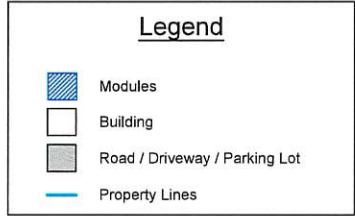
Attachment: Packet Docs_Weyenberg_05.19.25 (10363 : Arch Solar C&I for Frank L. Weyenberg Library)



Analysis:
 There are three perspectives where a person might see the Solar PV on the roof, South of the building looking North, North of the building looking South and West of the building looking East

East side looking West:
 There are pitched roof sections which obstruct the view because they are taller than the roof sections with the solar.

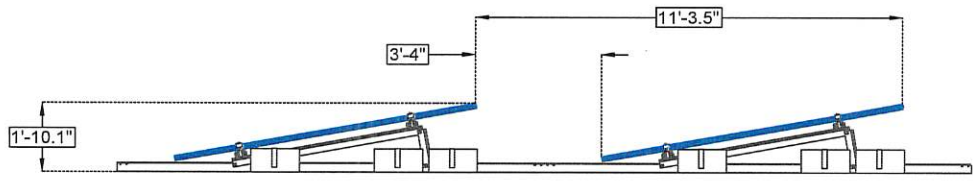
West Side looking East:
 Although the A.6.W document shows that the modules are visible as close as 42 ft from the building, the ground slopes downward so the relative height of the building is greater as a person moves away from the building. Additionally, there are trees and other landscaping that are not shown in this drawing and may obstruct the view as well



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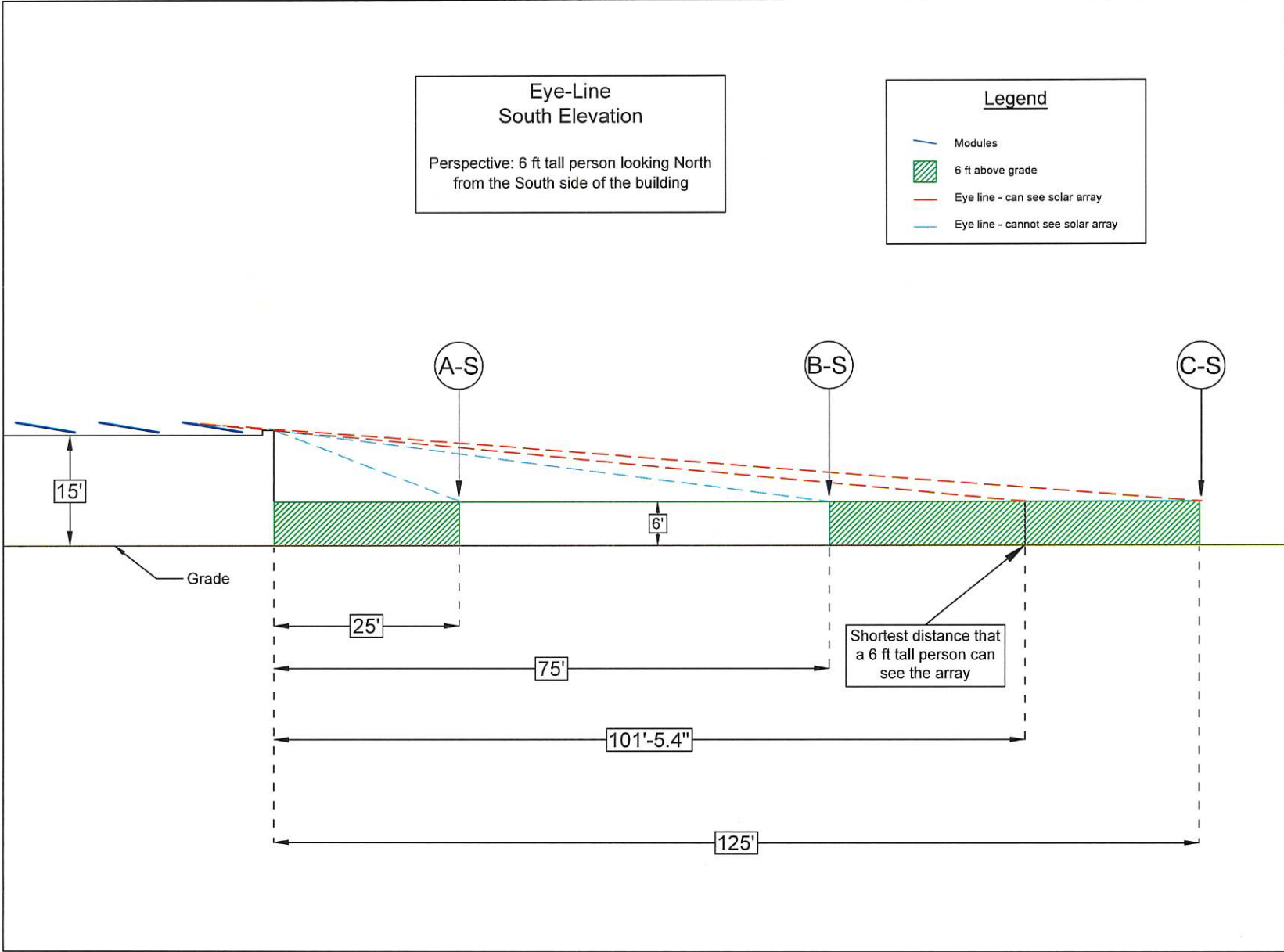
Frank L Weyenberg
 Library
 98.865 kWdc

Racking - side view



Customer:	
Address: 11345 N Cedarburg Rd	
City: Mequon	
State: WI	
Zip Code: 53092	
Contact: Rachel Muchin Young	
Phone: 262.242.2590	
Email: rmuchinyoung@flwlib.org	
Project Number:	System Size:
24C.051	80 kWac
Designer:	920.838.5980
Dexter Peirce	
Site Line Analysis	
Revision: 4	Date: 05.14.25
Page A.6.T	

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**Eye-Line
South Elevation**
Perspective: 6 ft tall person looking North
from the South side of the building

Legend

- Modules
- 6 ft above grade
- Eye line - can see solar array
- Eye line - cannot see solar array



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Email: rmuchinyoung@flwlib.org

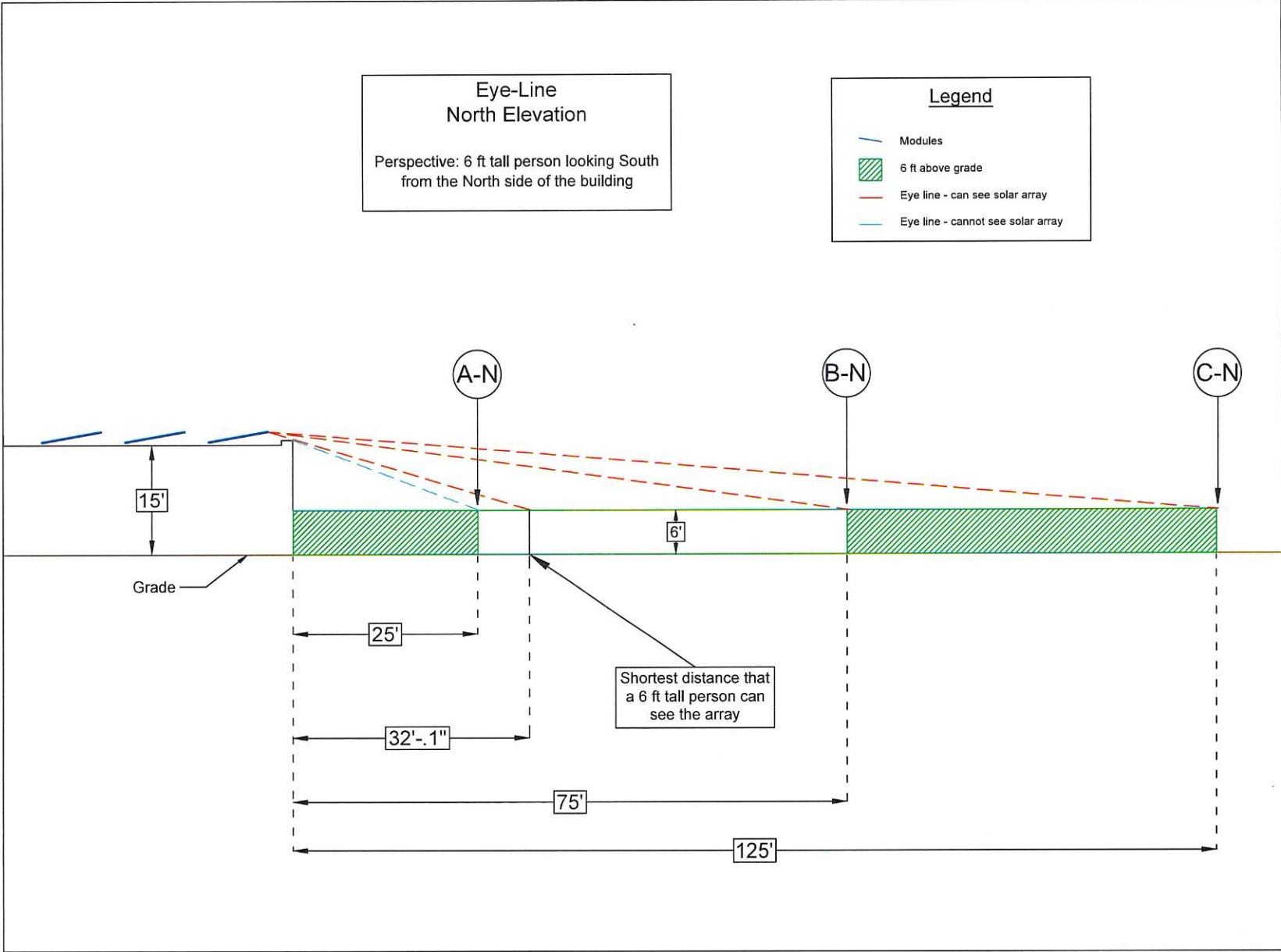
Project Number: 24C.051
System Size: 80 kWac
Designer: 920.838.5980

Dexter Peirce

Site Line Analysis

Revision: 4 Date: 05.14.25

Page A.6.S



**Eye-Line
North Elevation**
Perspective: 6 ft tall person looking South
from the North side of the building

Legend

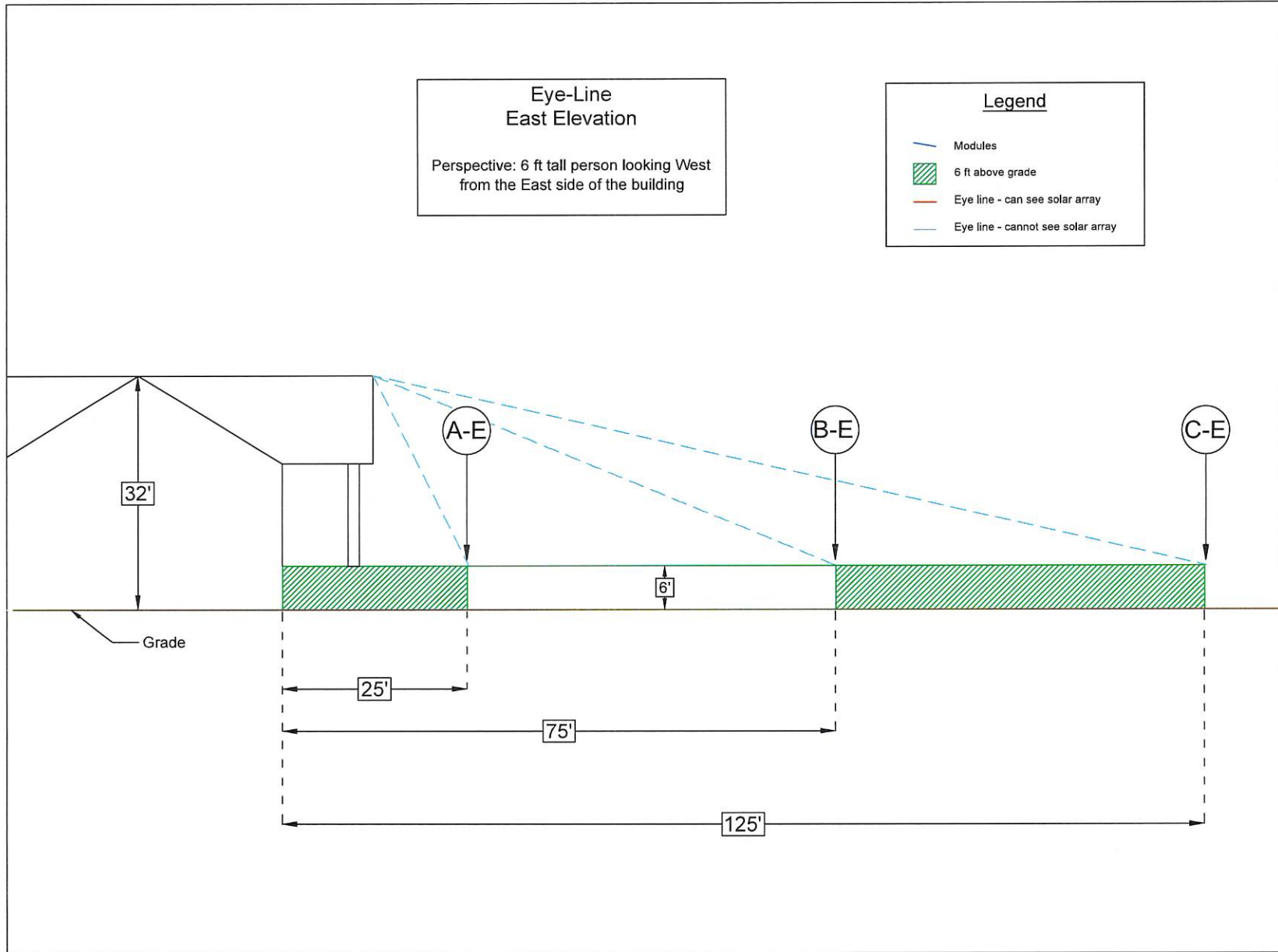
- Modules
- 6 ft above grade
- - - Eye line - can see solar array
- - - Eye line - cannot see solar array



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98.865 kWdc**

Customer: Address: 11345 N Cedarburg Rd City: Mequon State: WI Zip Code: 53092 Contact: Rachel Muchin Young Phone: 262.242.2590 Email: rmuchinyoung@flwlib.org	
Project Number: 24C.051	System Size: 80 kWac
Designer: 920.838.5980	
Dexter Peirce	
Site Line Analysis	
Revision: 4	Date: 05.14.25
Page A.6.N	



**Eye-Line
East Elevation**
Perspective: 6 ft tall person looking West
from the East side of the building

Legend

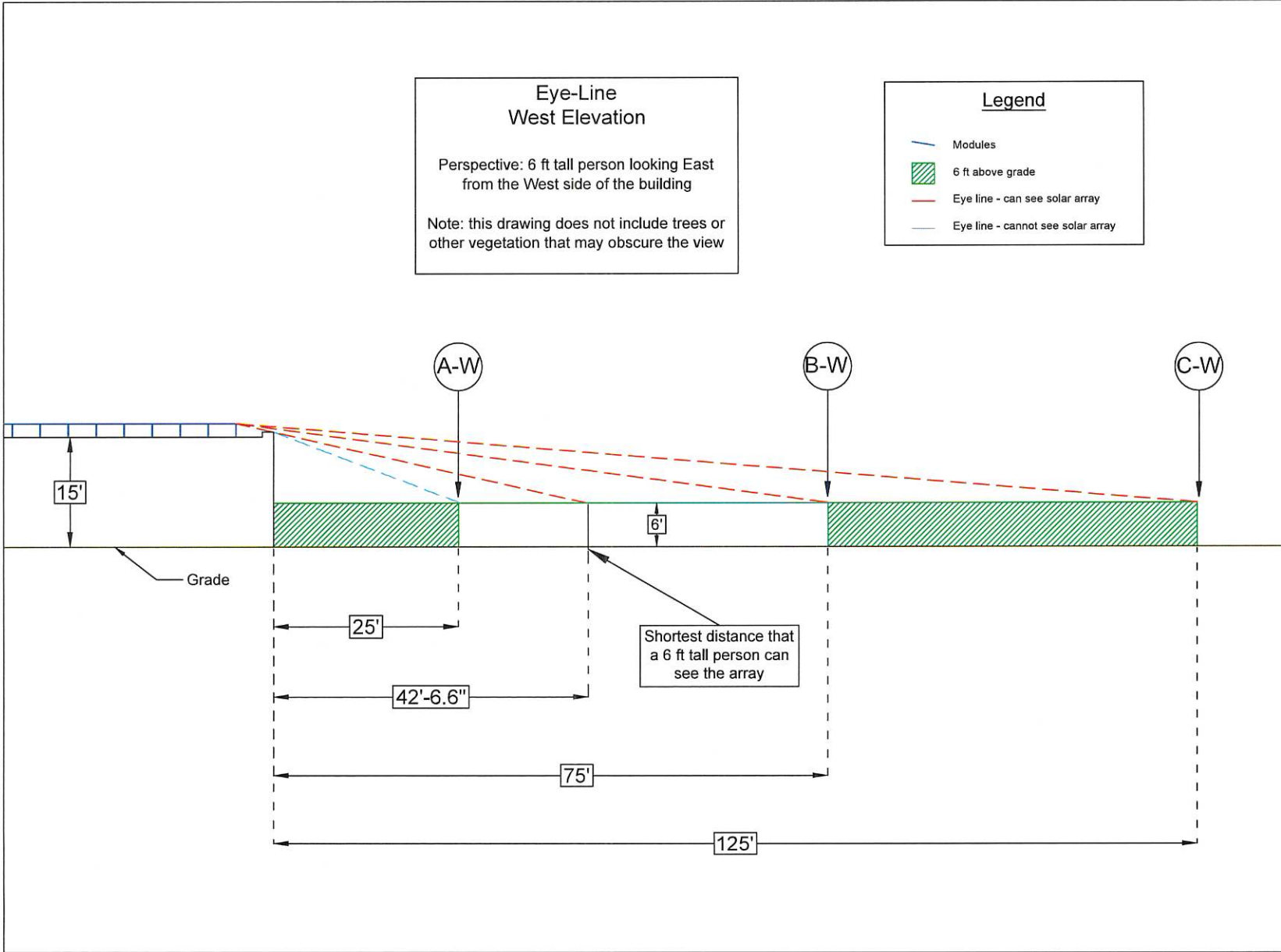
- Modules
- 6 ft above grade
- Eye line - can see solar array
- Eye line - cannot see solar array



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Customer: Address: 11345 N Cedarburg Rd City: Mequon State: WI Zip Code: 53092 Contact: Rachel Muchin Young Phone: 262.242.2590 Email: rmuchinyoung@fwlib.org	
Project Number: 24C.051	System Size: 80 kWac
Designer: 920.838.5980	
Dexter Peirce	
Site Line Analysis	
Revision: 4	Date: 05.14.25
Page A.6.E	

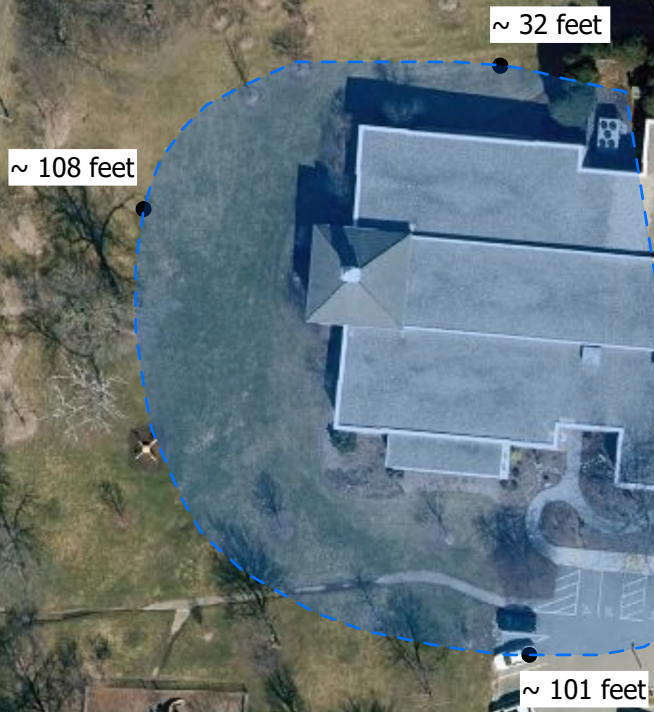



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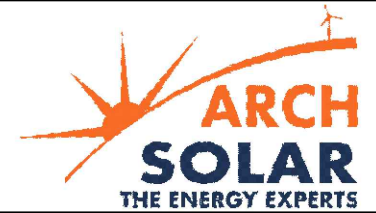
**Frank L Weyenberg
Library
98.865 kWdc**

Customer:	
Address: 11345 N Cedarburg Rd	
City: Mequon	
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Zip Code: 53092	
Contact: Rachel Muchin Young	
Phone: 262.242.2590	
Email: rmuchinyoung@fwlib.org	
Project Number:	System Size:
24C.051	80 kWac
Designer: 920.838.5980	
Dexter Peirce	
Site Line Analysis	
Revision: 4	Date: 05.14.25
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 Radius within which solar panels will not be seen



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Contact: Rachel Muchin Young
Phone: 262.242.2590
Email: rmuchinyoung@flwlib.org

Project Number:	System Size:
24C.051	80 kWac
Designer:	920.838.5980

Dexter Peirce
Cover Page

Revision: 1 Date: 04.15.25

Page A. **Packet Pg. 80**

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11345 N Cedarburg

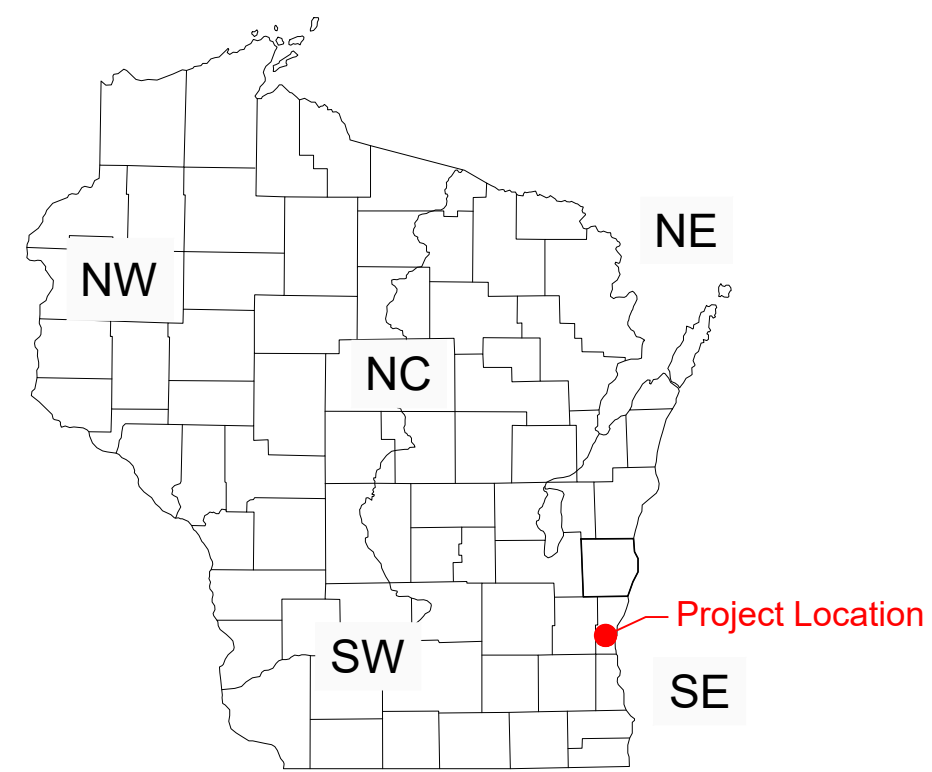
Solar PV Project

Arch Solar C&I

Table of Contents	
Page	Description
A.0	Cover Page
A.1	Scope of Work
A.2.A+B	Site Plan
A.3	Array Details
A.4	One Line Diagram
A.5	Racking Overlay
A.6	Site Line Analysis
RS0-RS6	TerraGen Construction Package
S0-S3	TerraGen Loading Calculations
-	Harwood Structural Report

System Specifications	
<u>Total System Size:</u>	
	98.865 kWdc
	80 kWdc
<u>Modules:</u>	
	QCells Duo XL-G11S.3/BFG
	585Wbf
	Qty: 169
<u>Inverter:</u>	
	Solar Edge Technologies
	SE80k-US
	Qty: 1
<u>Racking:</u>	
	TerraGen Solar
	TGR 10° tilt - ballasted

Personnel Contacts		
Pre-Construction Project Manager	Darius White 920-838-3365	Arch Solar C&I
Senior Project Manager	Ryan Hakala 608-622-9590	
Project Developer	Andrew Holmstrom 920-838-0483	
Project Designer	Dexter Peirce 920-838-5980	
Structural Engineer	Mary Piontkowski 414-918-1205	Harwood Engineering
Arch Solar Headquarters	920-893-8388 Arch Solar C&I	



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General Notes

- All work shall comply with NEC 2017.
- Components shall be installed to manufacturer's instructions and specifications.
- Modules conform to and are listed in UL 1703
- Inverters conform to and are listed in UL 1741
- Racking conforms to and is listed in UL 2703

Scope of Work

- System Size: (98.865kWdc, 80kWac)
- Modules: 169- QCells 585Wbf
- Inverter(s): SE80k-US (1), S1201 (85)
- Racking: TerraGen 10° tilt ballasted
- Utilities: WE Energies
- Sales Person: Andrew H.
- Estimated Man Hours: 516

Install the system on the three flat roof sections on the western end of the building. All arrays will use TerraGen 10 degree ballasted racking, facing south. See site plan for more details. Refer to page A.3 for layout and stringing.

See site plan for more details on location of equipment the both system. Our Disconnect, Inverter, and PV Generation Meter will be located on the north facing exterior wall on the north side of the building, roughly halfway between the east and west edges of the building. This is roughly 30' south of the utility transformer.

We are interconnecting via a loadside breaker. The system will be interconnecting in the 800A 277/480V switchboard via a 125A breaker.

Complete all necessary grounding. Run CAT6 Data line for communications to Internet router.

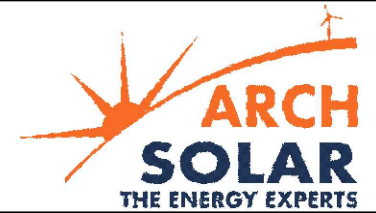
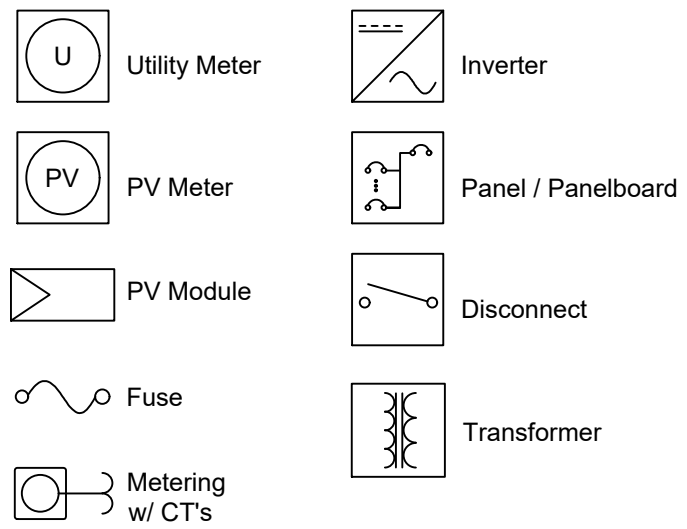
Turn on system and test to ensure it is in working condition. Turn off system and complete Inspections.

Reminders: Clean up all garbage on site. Take FOE pictures (full array, address, building with array). Construct cardboard with updated layout showing correct micro inverter / optimizer location. Get a picture of one module SN or write it on the cardboard. Make sure monitoring site is finished and communicating before leaving site.

Table of Contents

Page #	Description
A.0	Cover Page
A.1	Scope of Work
A.2.A	Site Plan - arrays only
A.2.B	Site Plan - surroundings
A.3	Array Layout
A.4	One Line Diagram
A.5	Racking Overlay
A.6	Site-Line Analysis

Legend



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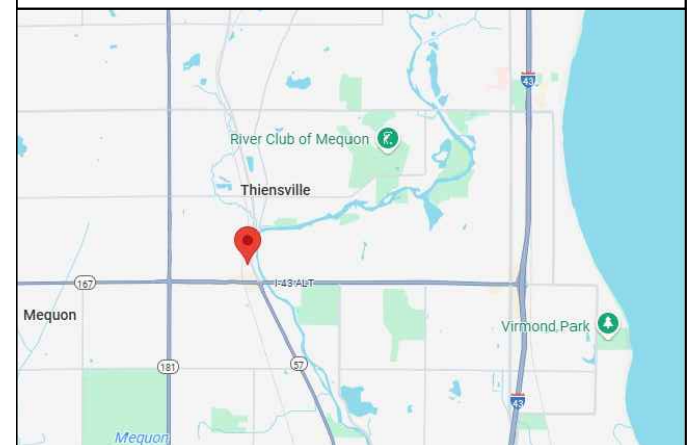
Customer:
Address: 11345 N Cedarburg Rd
City: Mequon
State: WI
Zip Code: 53092
Contact: Rachel Muchin Young
Phone: 262.242.2590
Email: rmuchinyoung@flwlib.org

Project Number: 24C.051
System Size: 80 kWac
Designer: 920.838.5980

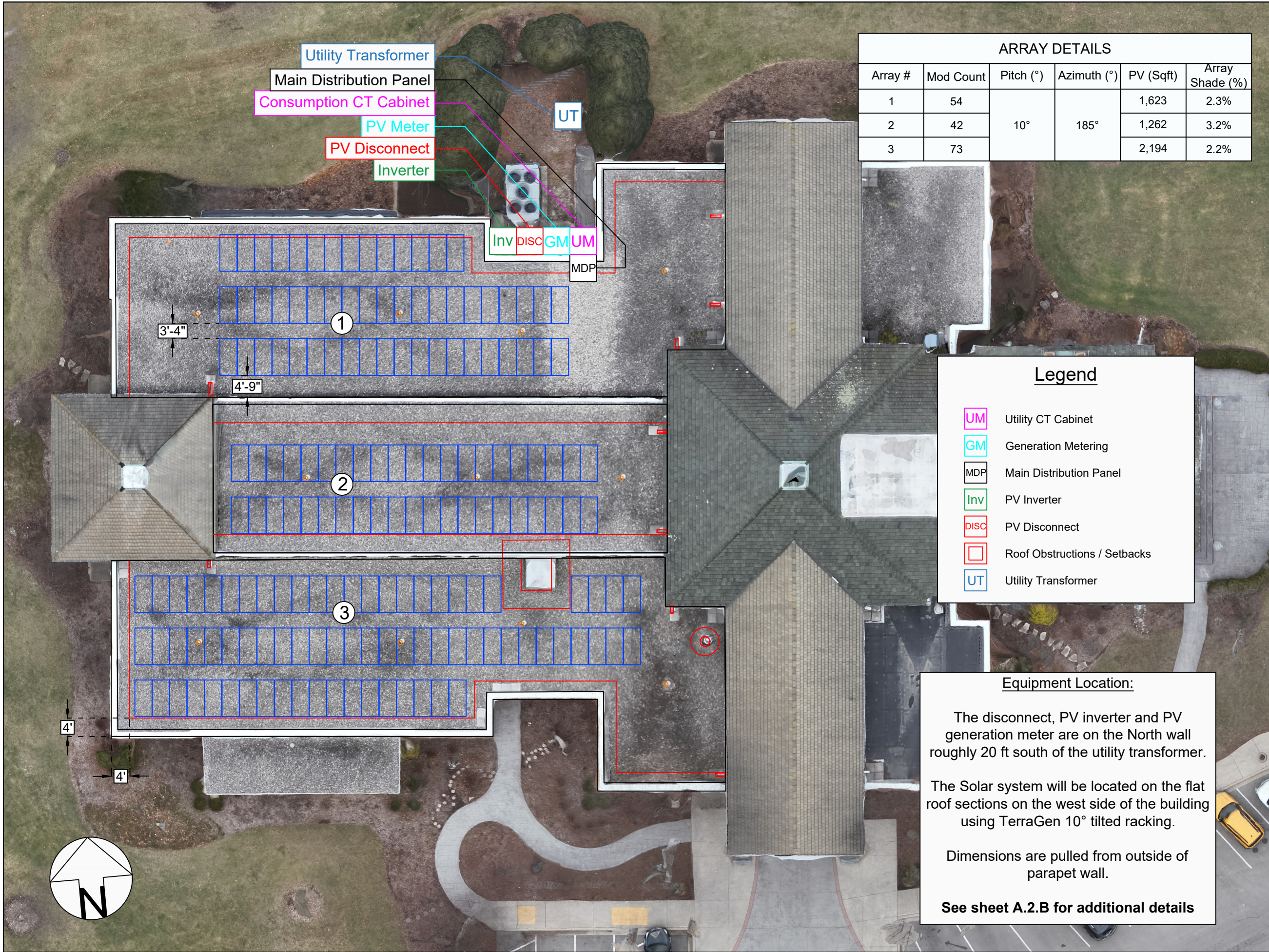
**Dexter Peirce
Scope of Work**

Revision: 1 Date: 04.14.25

Map



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ARRAY DETAILS					
Array #	Mod Count	Pitch (°)	Azimuth (°)	PV (Sqft)	Array Shade (%)
1	54	10°	185°	1,623	2.3%
2	42			1,262	3.2%
3	73			2,194	2.2%

Legend

- UM Utility CT Cabinet
- GM Generation Metering
- MDP Main Distribution Panel
- Inv PV Inverter
- DISC PV Disconnect
- [] Roof Obstructions / Setbacks
- UT Utility Transformer

Equipment Location:

The disconnect, PV inverter and PV generation meter are on the North wall roughly 20 ft south of the utility transformer.

The Solar system will be located on the flat roof sections on the west side of the building using TerraGen 10° tilted racking.

Dimensions are pulled from outside of parapet wall.

See sheet A.2.B for additional details



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Customer:
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City: Mequon
State: WI
Zip Code: 53092
Contact: Rachel Muchin Young
Phone: 262.242.2590
Email: rmuchinyoung@flwlib.org

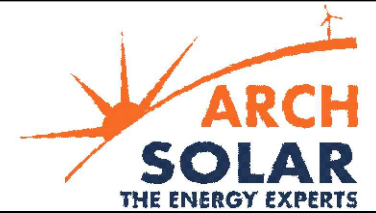
Project Number:	System Size:
24C.051	80 kWac
Designer:	920.838.5980

Dexter Peirce

Site Plan

Revision: 4 Date: 04.14.25

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Zip Code: 53092
Contact: Rachel Muchin Young
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Email: rmuchinyoung@flwlib.org

Project Number: 24C.051
System Size: 80 kWac
Designer: 920.838.5980

Dexter Peirce

Site Plan

Revision: 1 Date: 04.14.25

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Division Street

North Cedarburg Road

ARRAY DETAILS					
Array #	Mod Count	Pitch (°)	Azimuth (°)	PV (Sqft)	Array Shade (%)
1	54	10°	185°	1,623	2.3%
2	42			1,262	3.2%
3	73			2,194	2.2%

This location has:

- Consumption CT Cabinet
- PV Generation Meter
- PV Disconnect
- PV Inverter

See sheet A.2.A for additional details

Utility Transformer



Equipment Location:

The disconnect, PV inverter and PV generation meter are on the North wall roughly 20 ft south of the utility transformer.

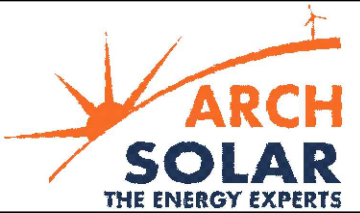
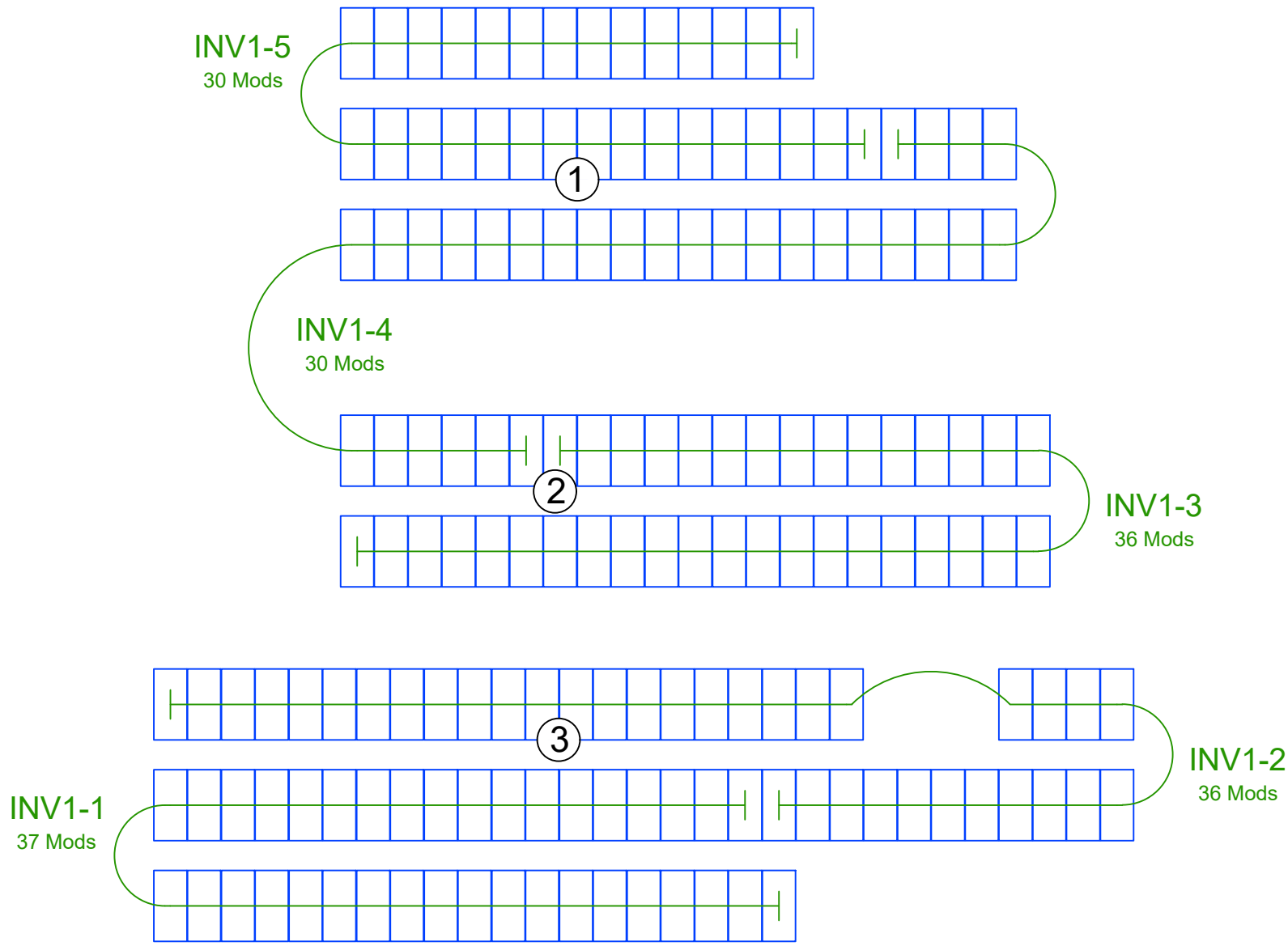
The Solar system will be located on the flat roof sections on the west side of the building using TerraGen 10° tilted racking.

Dimensions are pulled from outside of parapet wall.

See sheet A.2A for additional details

Design Specifications
<u>Modules:</u> QCells 585W
<u>Module Dimensions:</u> 96.93" x 44.65" x 1.38"
<u>Clamping:</u> Portrait: 15.8" - 21.7" Landscape: N/A
<u>Max Distributed Load:</u> 4.3 PSF
<u>Snow Load:</u> 30 PSF
<u>Wind Speed:</u> 114 MPH
<u>Lag Screw:</u> -
<u>Row Spacing:</u> 135.46" (front to front)
<u>Module Spacing:</u> 0.79"
<u>Note:</u> See stamped print. 4' setback account for from edge of roof.

Roof Type	Mounting	Other Spec	Roof Height	Inside Exposure	Frame Material	Frame Size	Max Span	O.C. Spacing	Fire Zone
Black EPDM + River rock	Terragen 10 degree	-	1 story	drop ceiling	-	-	-	-	4'



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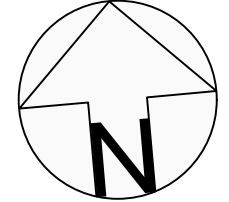
Project Number: 24C.051
System Size: 80 kWac
Designer: 920.838.5980

Dexter Peirce
Array Details

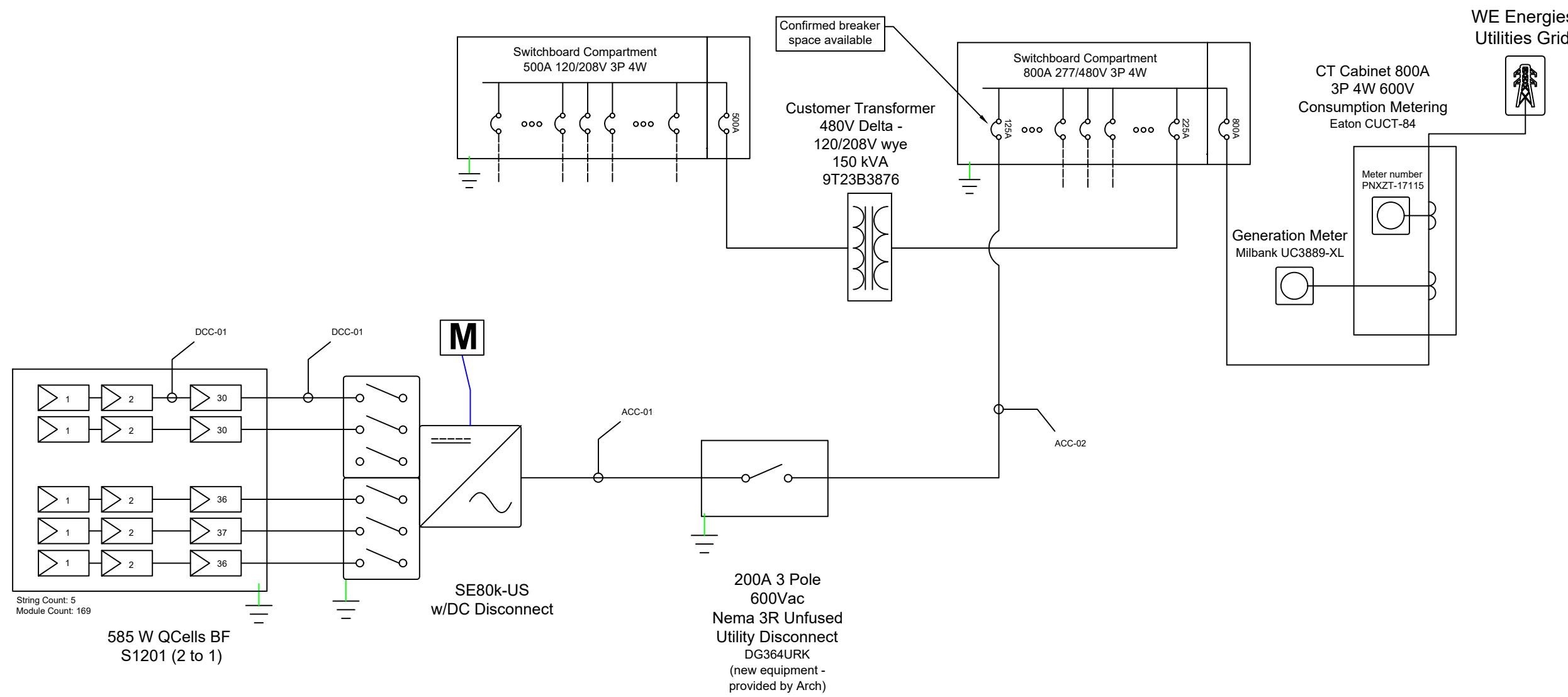
Revision: 1 Date: 04.14.25

- Major Equipment:**
- 169- QCells 585W Modules
 - 1- SolarEdge 80k-US Inverters (O)
 - 2- SolarEdge Synergy Units (O)
 - 85- SolarEdge S1201 Optimizers (O)
 - 1- 200A Disconnect Unfused (O)
 - 1- 125A Breaker (O)

- Racking:**
- Terragen Racking (O)
 - 414- Ballast Block
 - 1174 sqft Slipsheets EPDM 12" rolls (O)



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City: Mequon
State: WI
Zip Code: 53092
Contact: Rachel Muchin Young
Phone: 262.242.2590
Email: rmuchinyoung@flwlib.org

Project Number: 24C.051 System Size: 80 kWac
Designer: Dexter Peirce
Revision: 4 Date: 03.11.25

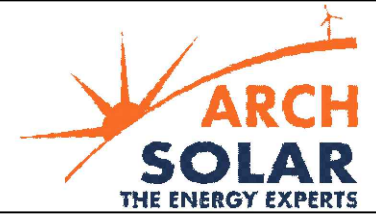
Conductor Schedule								Conduit Schedule		
ID	Sets	Phase Qty	Color & Size	Insulation + Material	V. Drop (%)	Neutral	Ground	Size	Qty	Type
DCC-01	5	2	BR #10 AWG	PV Wire	0.57% (130 ft)	-	#10 AWG Cu	1.25"	1	EMT
ACC-01	1	3	BOY #1 AWG	THWN Cu	0.05% (10 ft)	#6 AWG Cu Grey	#6 AWG Cu	1.25" (38% fill)	1	EMT
ACC-02	1	3	BOY 2/0 AWG	THWN Al	0.05% (10 ft)	#4 AWG Al Grey	#4 AWG Al	2"	1	EMT

Module Specifications	
Q.PEAK Duo XL-G11S.3/BFG (Qty: 169)	
STC Rating	585 W
Vmp	44.75 V
Imp	13.07 A
Voc	53.57 V
Isc	13.72 A

Array Specifications				
2 Strings of 30 Mods / 2 Strings of 36 Mods / 2 Strings of 37 Mods				
Max DC Power Rating	17.55 kW	21.06 kW	21.65 kW	98.865 kWdc Total
Operating DC Voltage	850 - 1000 V			
Operating DC Current	17.55- 20.65A	21.06- 27.78A	21.65- 25.46A	
Max DC System Voltage	1000 V			
DC Short Circuit Current/String	18 A			

Inverter Specifications		
Solar Edge SE80k-US (Qty: 1)		
Max AC Power Rating	80 kW	80 kWac Total
Max DC Input Voltage	1000 V	
Max DC Input Current	96.5 A	
Nominal AC Operating Voltage	480 V	96.5 A
Max AC Operating Current	96.5 A	Total

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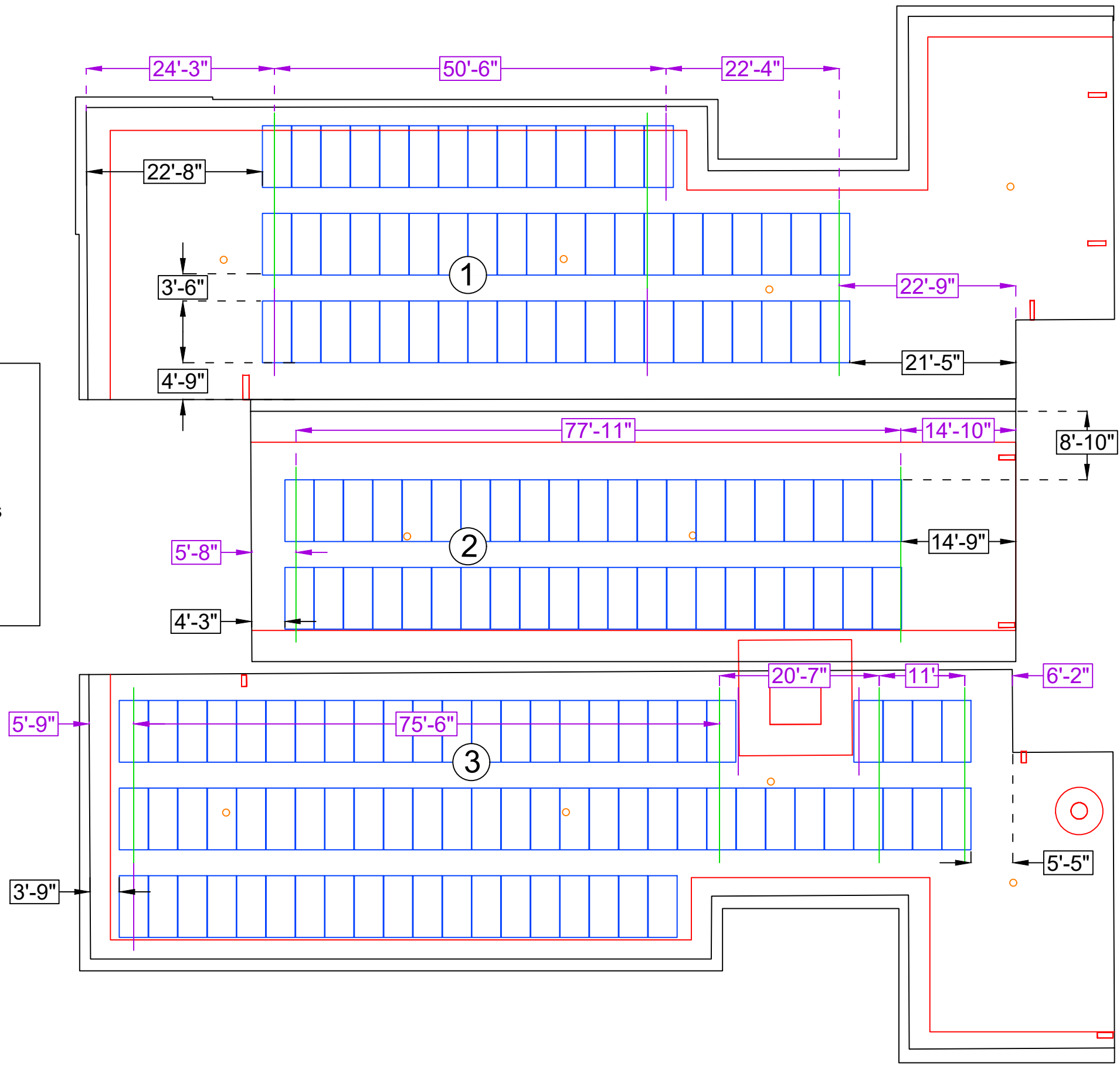
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Zip Code: 53092
Contact: Rachel Muchin Young
Phone: 262.242.2590
Email: rmuchinyoung@flwlib.org

Project Number: 24C.051
System Size: 80 kWac
Designer: 920.838.5980

Dexter Peirce
Racking Overlay

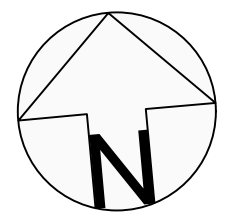
Revision: 2 Date: 04.15.25

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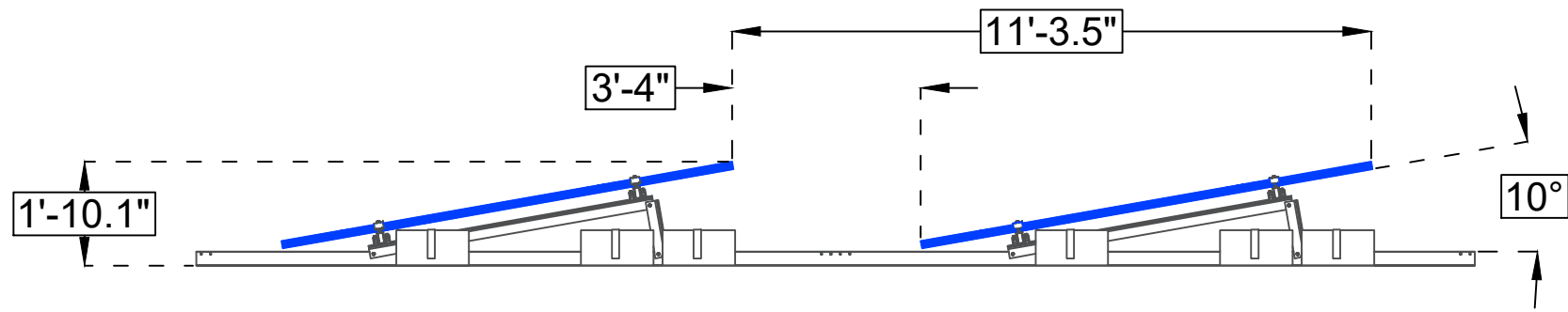


Dimension Key

- = Base Rail
- = Base Rail Dimensions
- = Module Dimensions



Racking - side view



Analysis:
 There are two perspectives where a person might see the Solar PV on the roof, South of the building looking North, and North of the building looking South.

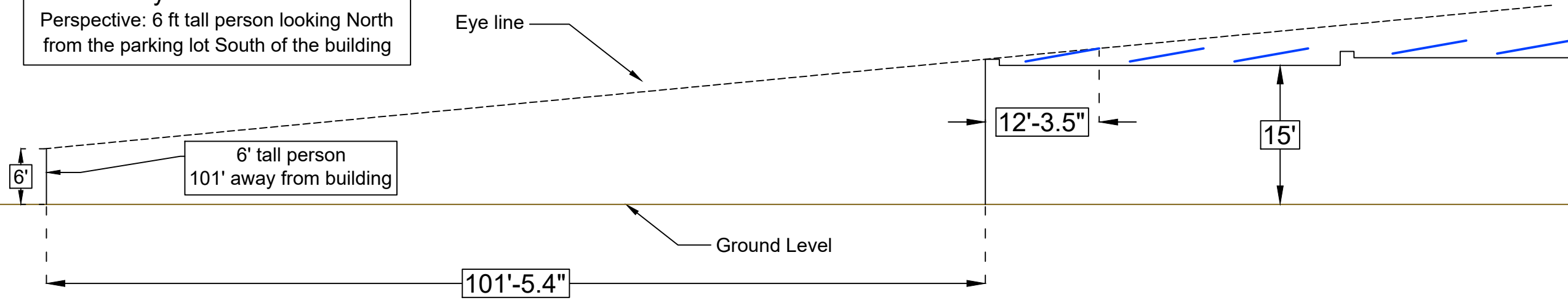
East side looking West:
 There are pitched roof sections which obstruct the view because they are taller than the roof sections with the solar.

West Side looking East:
 There are trees on the western edge of the property which obstruct the view of the roof. Additionally, the modules are farther from the roof edge than the perspectives shown in this drawing, and the ground slopes downward so the relative height of the building is greater as a person moves away from the building.

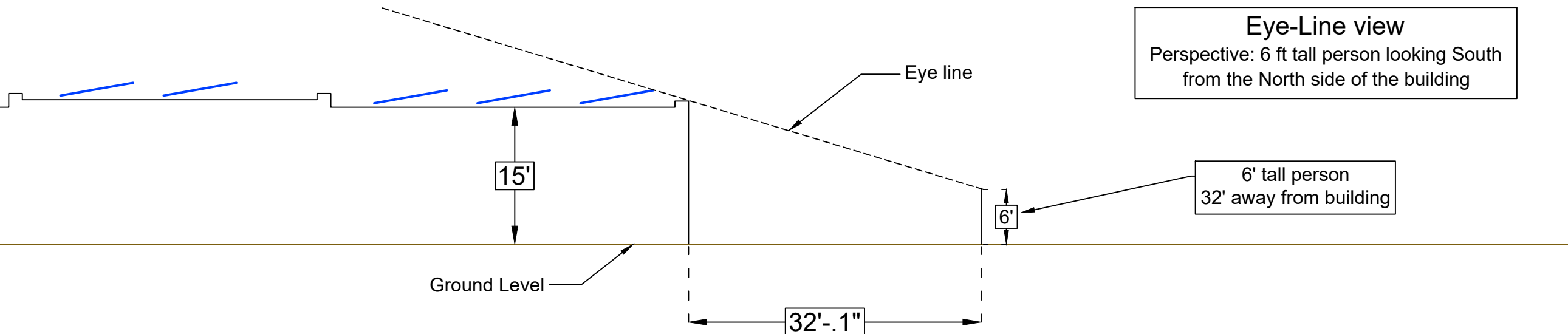


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Eye-Line view
 Perspective: 6 ft tall person looking North from the parking lot South of the building



Eye-Line view
 Perspective: 6 ft tall person looking South from the North side of the building



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 98.865 kWdc**

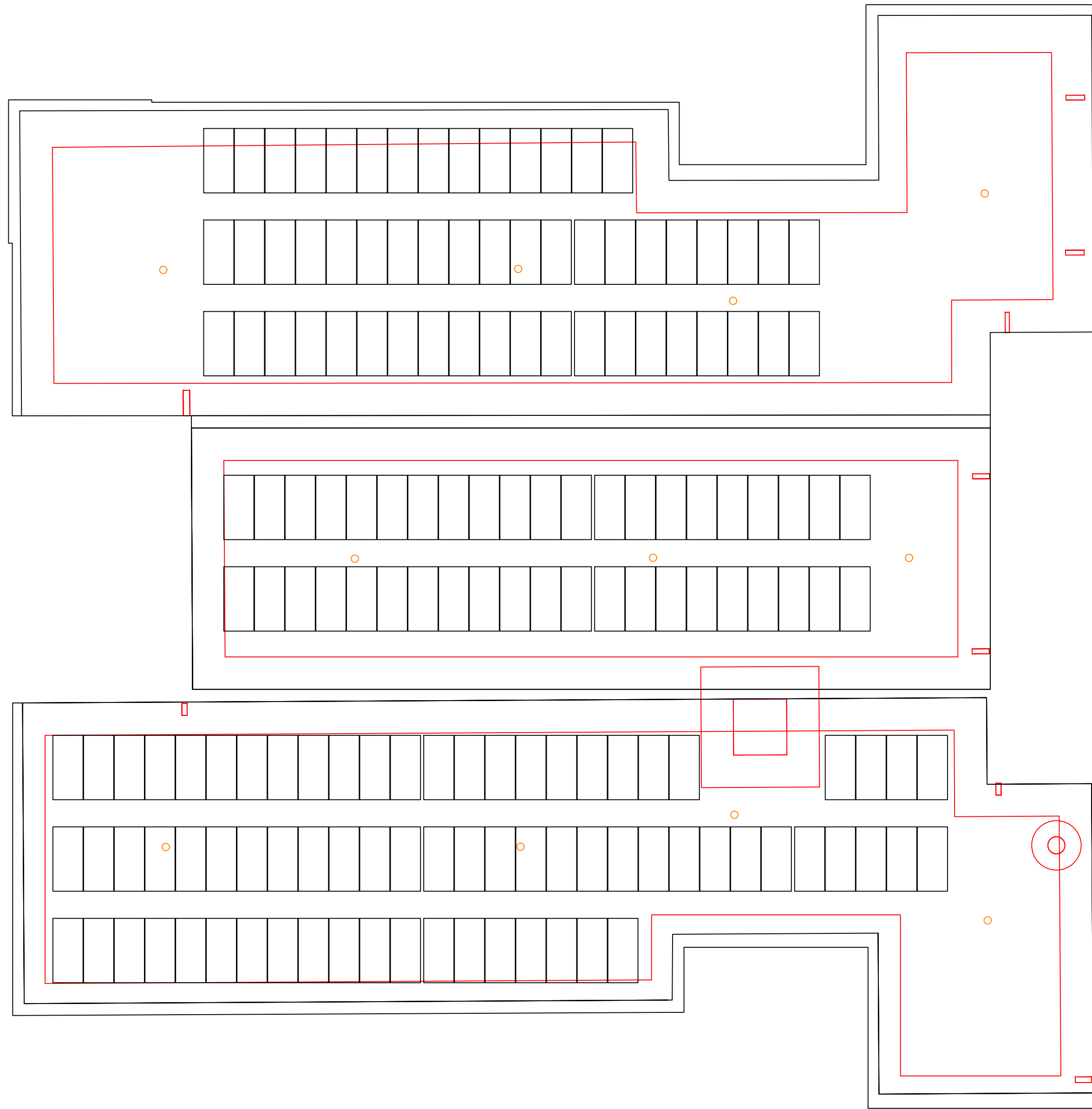
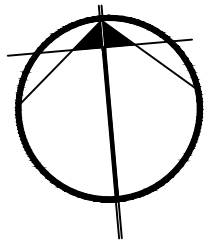
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 State: WI
 Zip Code: 53092
 Contact: Rachel Muchin Young
 Phone: 262.242.2590
 Email: rmuchinyoung@flwlib.org

Project Number: 24C.051
 System Size: 80 kWac
 Designer: Dexter Peirce
 Phone: 920.838.5980

Dexter Peirce
 Site Line Analysis

Revision: 2 Date: 04.15.25

Attachment: Packet Docs_Weyenberg_05.19.25 (10363 : Arch Solar C&I for Frank L. Weyenberg Library)



Project Details:	
Product:	TGR
Tilt Angle (deg):	10
Module Count:	169
Module:	Q.Peak Duo XL-G11S 585-600W - 585W
Module Width (in):	45
Module Length (in):	97
Module Weight (lbs):	77
Dead Load:	
Total Array Area (sqft):	7218
Racking Dead Load (lbs):	3389
Module Dead Load (lbs):	12996
Ballast Dead Load (lbs):	14850 [450 Ballast Blocks at 33 lbs]
Total Weight of System (lbs):	31235
Global Distributed Load (psf):	4.3
Design Parameters:	
Code:	ASCE 7-16 *including state adoptions
Risk Category:	III
Roof Slope (deg):	0
Building Height, h (ft):	15
Width of Building on its longest side, Wl (ft):	191
Width of building on its shortest side, Ws (ft):	112
Parapet height, hpt (ft):	1
Snow Load:	
Exposure Factor, Ce:	1.0
Thermal Factor, Ct:	1.0
Importance Factor, Is:	1.1
Ground Snow Load, pg (psf):	30.0
Flat Roof Snow Load, pf (psf):	23.1 ASCE 7-16: 7.3-1
Sloped Roof Snow Load, pf (psf):	23.1 ASCE 7-16: 7.4-1
Wind Load:	
Velocity Pressure Exposure Coefficient, Kz:	0.57
Topographic Factor, Kzt:	1.00
Wind Directionality Factor, Kd:	0.85
Ground Elevation Facotr, Ke:	0.9762
Basic Wind Speed, V (MPH):	114.0
Velocity Pressure, qz (psf):	15.87 ASCE 7-16: 26.10-1
Seismic Load:	
Ip:	1.0
Assumed Site Class:	D
Sds:	0.08
S1:	0.05
Ss:	0.07
Sd1:	0.07
Seismic Design Category:	B
Vertical Force, Fv (psf):	0.06 ASCE 7-16: 13.3.1.2
Horizontal Force, Fp (psf):	0.26 ASCE 7-16: 13.3-1,2,3



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www.terragensolar.ca

REV	DESCRIPTION	DATE
0.0	ISSUED FOR CONSTRUCTION	06.03.2025

ENGINEERS SEAL:

DRAWING TITLE:

PROJECT OVERVIEW

PROJECT TITLE:

FLW LIBRARY - MEQUON

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	NAME	DATE
DRAWN	CM	06.03.2025
CHECKED	VC	06.03.2025

PROJECT NO:
TG-25-035

DWG. NO:
RS0

SCALE:
NTS

SIZE:
D

REV:
0.0

PROJECT OVERVIEW	
CUSTOMER NAME:	ARCH ELECTRIC INC.
PROJECT ADDRESS:	11345 N. CEDARBURG RD., MEQUON, WI., 53092
MODULE TYPE:	HANWHA Q.PEAK DUO XL-G11S 585W
MODULE COUNT:	169
SYSTEM SIZE:	98.865 kW
TILT ANGLE:	10°
ORIENTATION:	PORTRAIT
ROW SPACING:	135.46"

DESIGN NOTES	
1.	UPLIFT, DOWN FORCE AND DRAG CALCULATIONS ARE IN ACCORDANCE TO THE INDICATED CODES AND STANDARDS IN THE DESIGN CRITERIA TO RESIST UPLIFT SLIDING AND OVERTURNING.
2.	ALL CALCULATIONS MUST BE SEALED BY A LICENSED PROFESSIONAL ENGINEER.
3.	FOR TILTED FLAT ROOF SYSTEMS, IF APPLICABLE REFER TO RWDI WIND STUDY #1601530, DATED MARCH 16,2020
4.	MINIMUM FRICTION COEFFICIENT BETWEEN THE ROOF AND BASE RAIL IS 0.4.

DRAWING INDEX	
RS0:	PROJECT OVERVIEW
RS1:	GENERIC RACKING DETAIL
RS2:	GENERIC RUBBER DETAIL
RS3:	RACKING DETAIL
RS4:	BASE RAIL PLAN
RS5:	TOP RAIL PLAN
RS6:	BALLAST PLAN
RS7:	-

GENERAL NOTES	
1.	DRAWINGS SHOULD BE REVIEWED IN CONJUNCTION WITH THE PRODUCT INSTALLATION MANUAL. THIS DRAWING SET TAKES PRECEDENCE OVER ANY CONFLICTING INFORMATION.
2.	DRAWINGS AND CALCULATIONS ARE BASED ON THE INFORMATION PROVIDED BY THE CUSTOMER. TERRAGEN MUST BE NOTIFIED OF CHANGES OR INCORRECT INFORMATION.
3.	EXISTING BUILDING MUST BE DESIGNED IN ACCORDANCE WITH THE RELEVANT BUILDING CODE.
4.	CONTRACTOR MUST VERIFY WITH A PROFESSIONAL ENGINEER THAT THE BUILDING, ROOF DECK AND ANY COMPONENTS OUTSIDE OF TERRAGEN'S SCOPE CAN SUPPORT ALL THE LOADS RESULTING FROM THE ADDITION OF SOLAR PANELS, RACKING, BALLAST AND/OR ATTACHMENTS.
5.	CONTRACTOR IS RESPONSIBLE FOR THE METHOD OR SEQUENCE OF CONSTRUCTION.
6.	CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL MEASURES NECESSARY TO PROTECT THE ROOF STRUCTURE AND RACKING DURING AND AFTER CONSTRUCTION.
7.	CONTRACTOR IS RESPONSIBLE FOR THE HEALTH AND SAFETY OF ITS EMPLOYEES, AND ALL WORK MUST MEET THE REQUIREMENTS OF THE RELEVANT HEALTH AND SAFETY ACT.
8.	SNOW AND ICE MANAGEMENT CONTROL SHOULD BE CONSIDERED BY OTHERS.

Attachment: Packet Docs -Weyenberg_05.19.25 (10363 - Arch Solar C&I for Frank L. Weyenberg Library)



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REV	DESCRIPTION	DATE
0	RELEASE FOR REVIEW	03/06/2022
1	UPDATED CROSS ADAPTER AND END CLAMP TORQUES, CROSS ADAPTERS BOTH SIDES OF TOP RAIL	09/08/2023
2	UPDATED DETAIL NOTES, ADDED CLAMP INSTALL DETAILS	17/11/2023

ENGINEER'S SEAL

DRAWING TITLE:

GENERIC RACKING DETAIL

PROJECT TITLE:

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	NAME	DATE
DRAWN	OO	02/06/2022
CHECKED	MO	03/06/2022

PROJECT NO:
TG-25-035

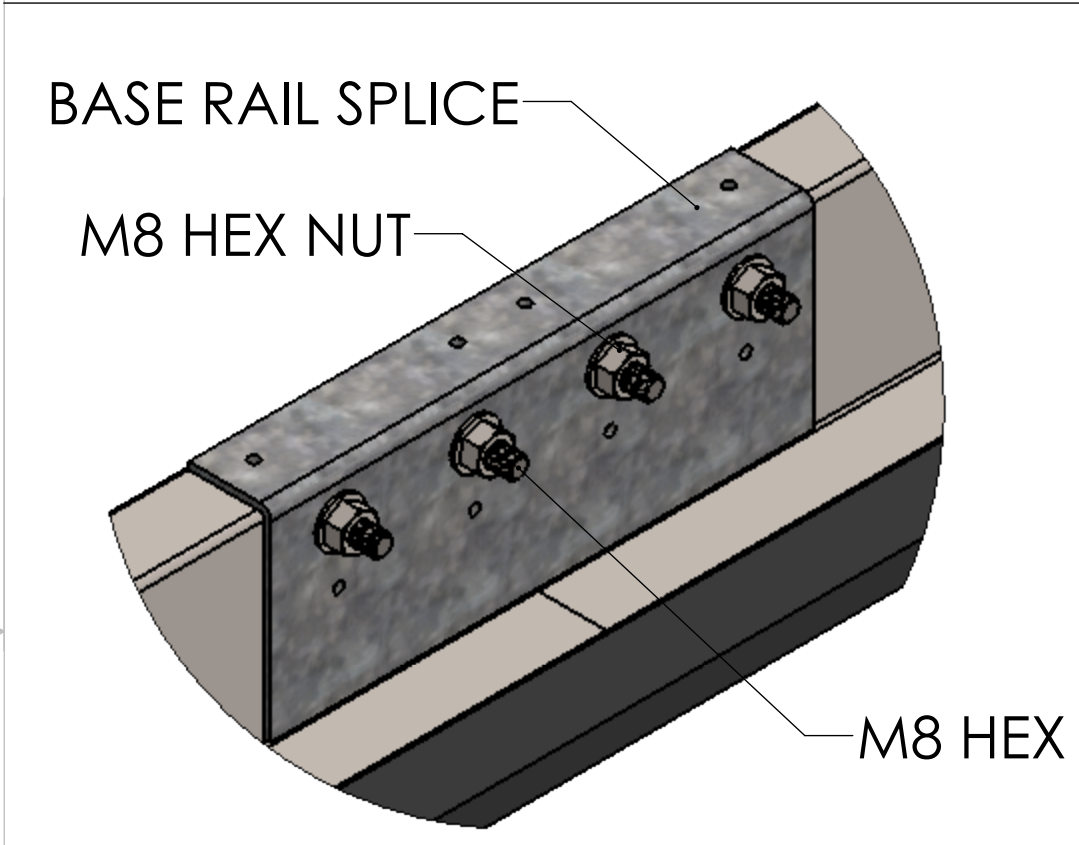
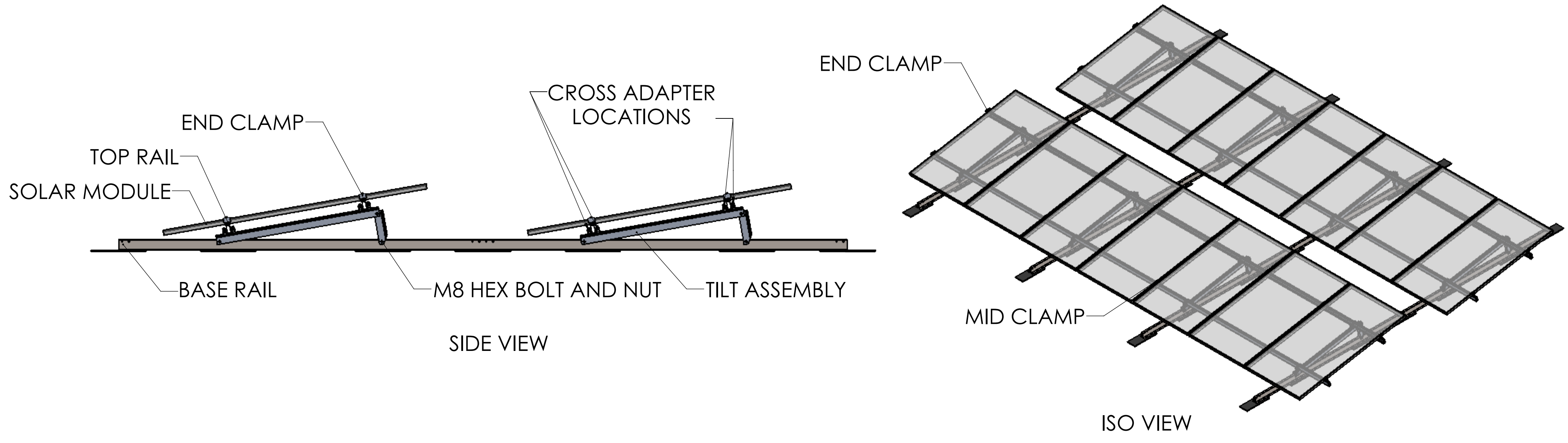
DWG. NO:
RS1

SCALE: NTS SIZE: D

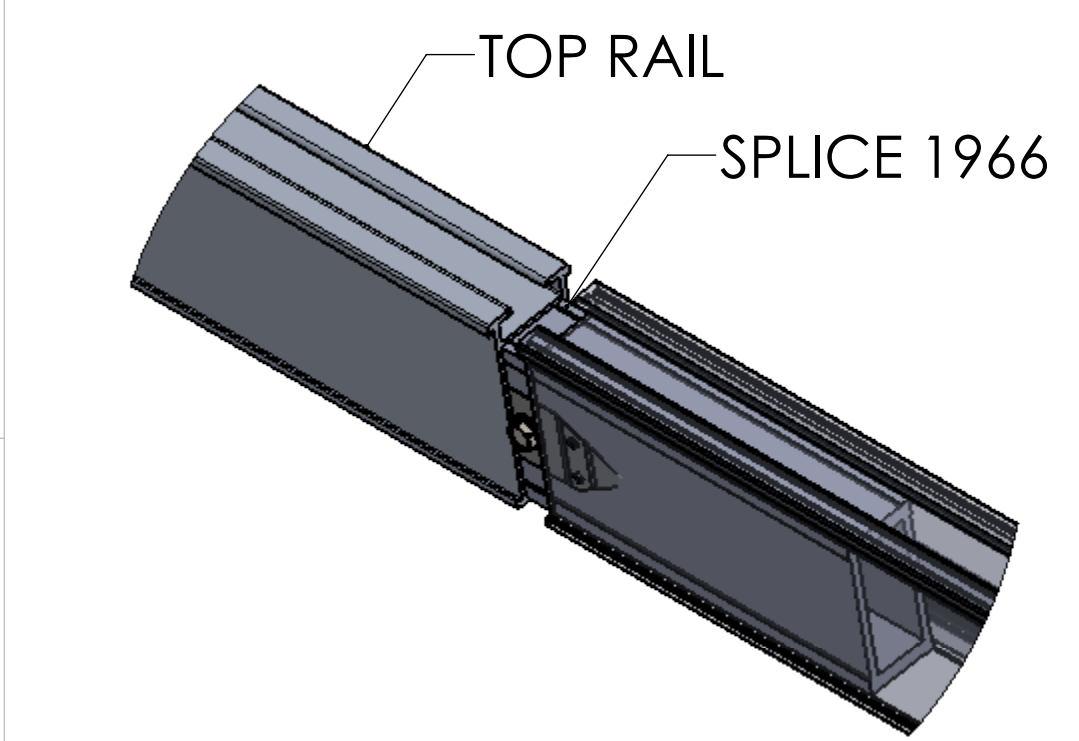
REV: 2

TORQUE	
TILT ASSEMBLY HARDWARE	8 LB-FT
BASE RAIL SPLICE HARDWARE	8 LB-FT
CROSS ADAPTERS	12 LB-FT
END CLAMPS	12-14 LB-FT
MID CLAMPS	12 LB-FT

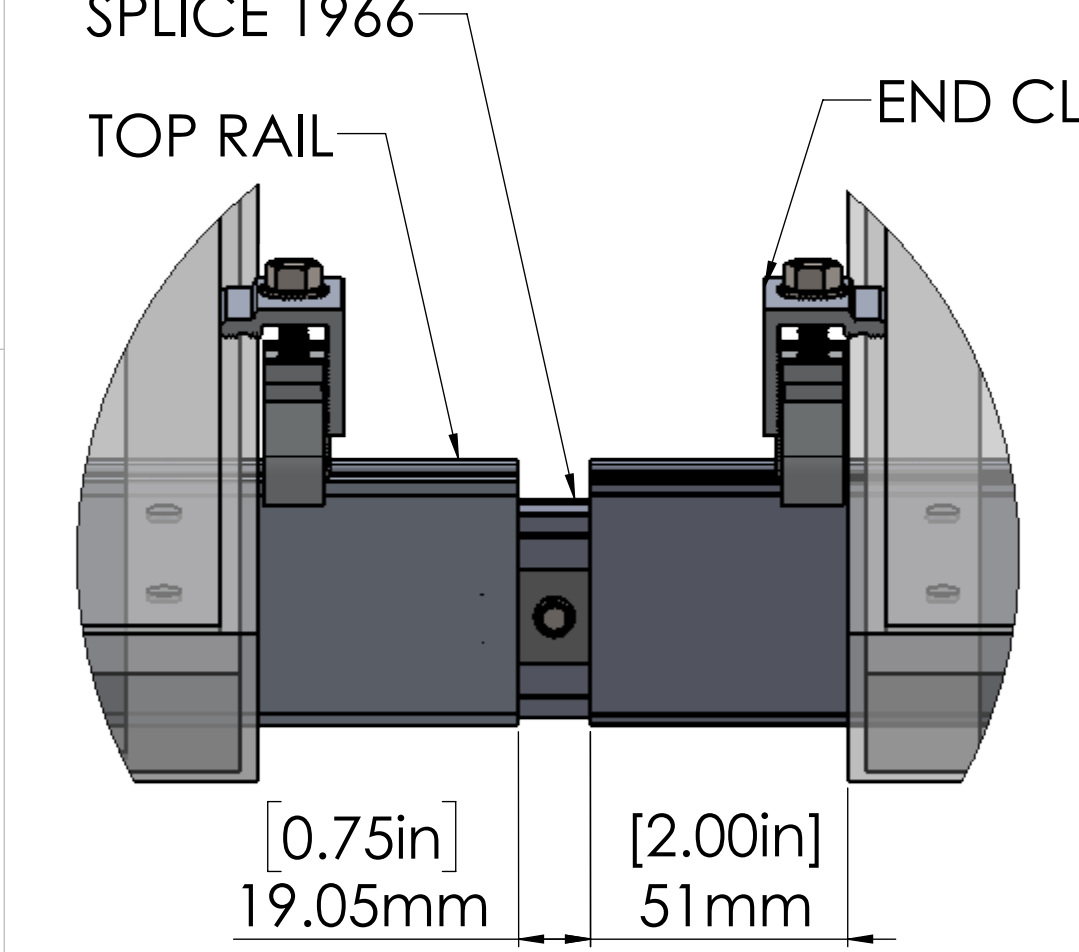
NOTES:
 1. HARDWARE MUST BE TORQUE MARKED AFTER TORQUING.
 2. USE OF IMPACT TOOLS WHEN INSTALLING CLAMPS AND HARDWARE WILL CAUSE GALLING (SEIZING OF SS HARDWARE). TERRAGEN WILL NOT FREE ISSUE COMPONENTS DAMAGED FROM USE OF IMPACT TOOLS.



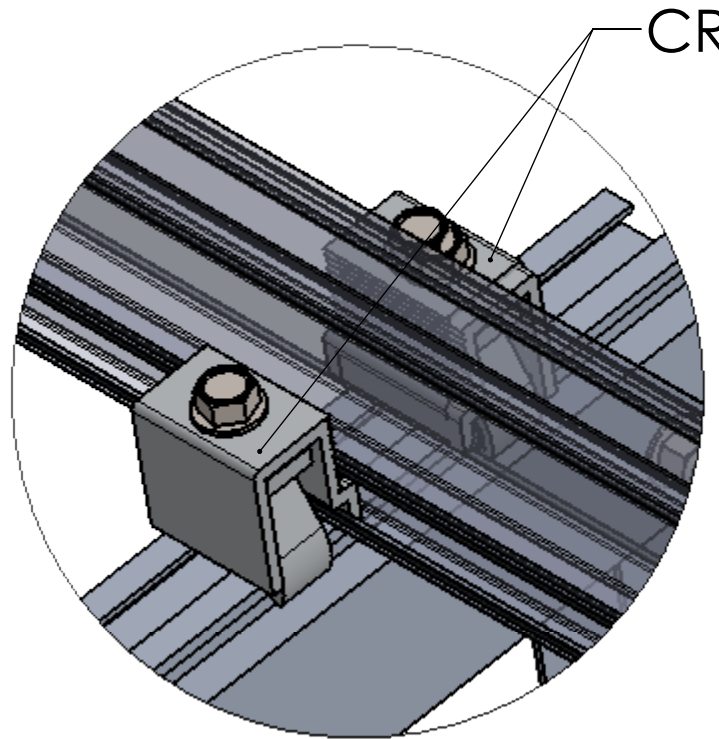
BASE RAIL SPLICE DETAIL:
 4 X M8 HEX BOLTS AND NUTS FASTEN THE BASE RAIL SPLICE OVER 2 FLUSH BASE RAILS.



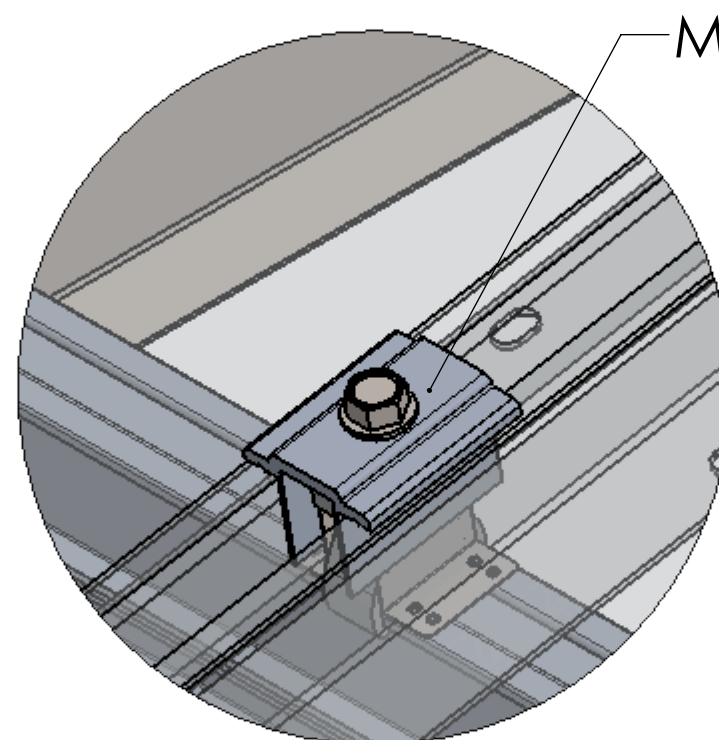
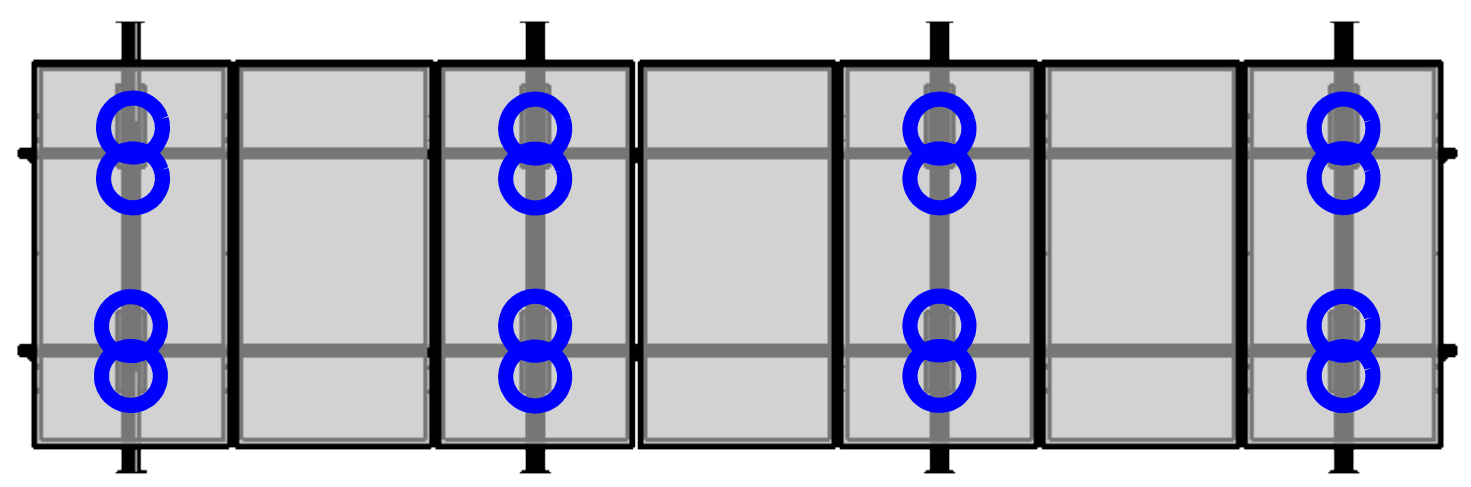
SPLICE 1966 DETAIL:
 SPLICE 1966 JOINS 2 TOP RAILS TOGETHER. TOP RAILS SLIDE OVER SPLICE AND MUST BE STOPPED BY THE SCREW HEAD TO ENSURE BONDING CLIP IS ENGAGED.



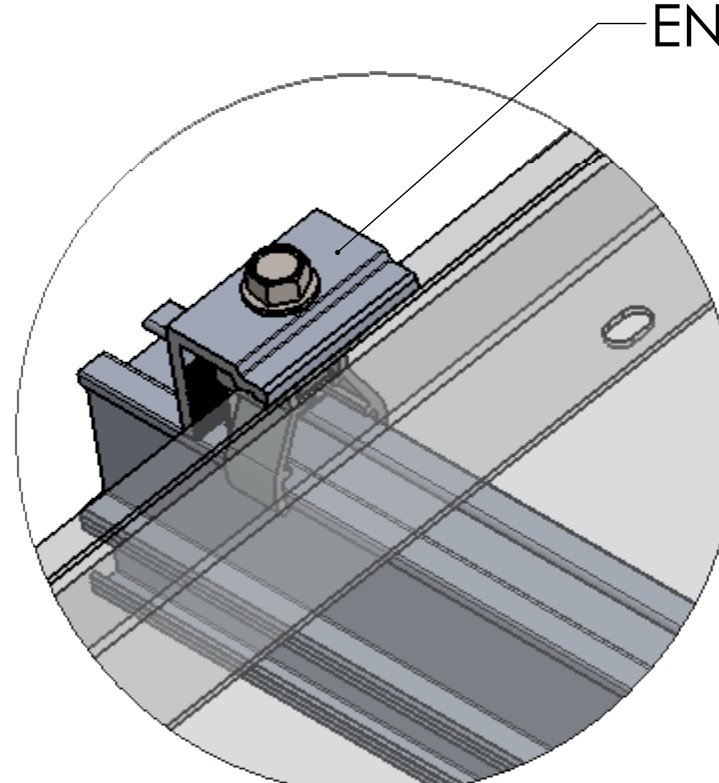
THERMAL BREAK DETAIL:
 1. IF A THERMAL BREAK IS REQUIRED, LEAVE 0.75" BETWEEN TOP RAILS TO ALLOW FOR THERMAL EXPANSION.
 2. ALLOW FOR A 4.75" BREAK BETWEEN THE MODULES OVER THE THERMAL BREAK USING END CLAMPS.



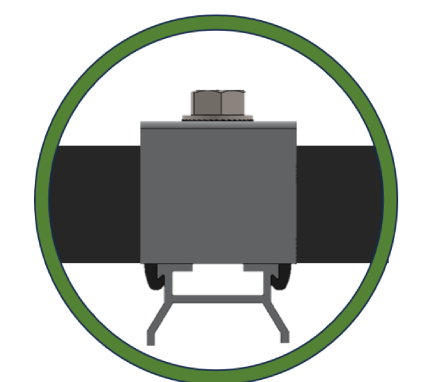
CROSS ADAPTER DETAIL:
 2 X CROSS ADAPTERS TO BE INSTALLED AT EVERY LOCATION CONNECTING THE TOP RAIL TO THE TILT ASSEMBLY.



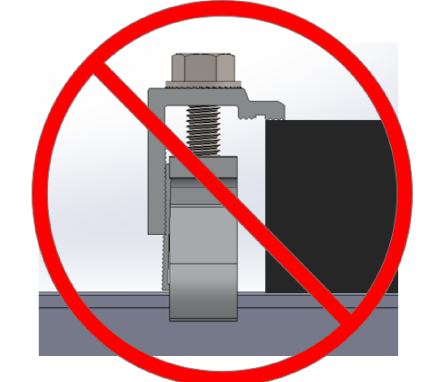
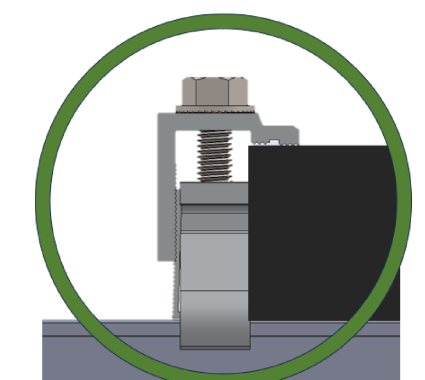
MID CLAMP w/ BONDING WASHER DETAIL:
 MID CLAMP IS INSTALLED BETWEEN 2 MODULES



END CLAMP DETAIL:
 END CLAMP IS INSTALLED AT THE ENDS OF A MODULE ARRAY AND THERMAL BREAK LOCATIONS. END CLAMPS MUST SIT FLAT AND SQUARE ON THE MODULE FRAME.



BOTH LEGS ENGAGED (ALL CLAMPS)

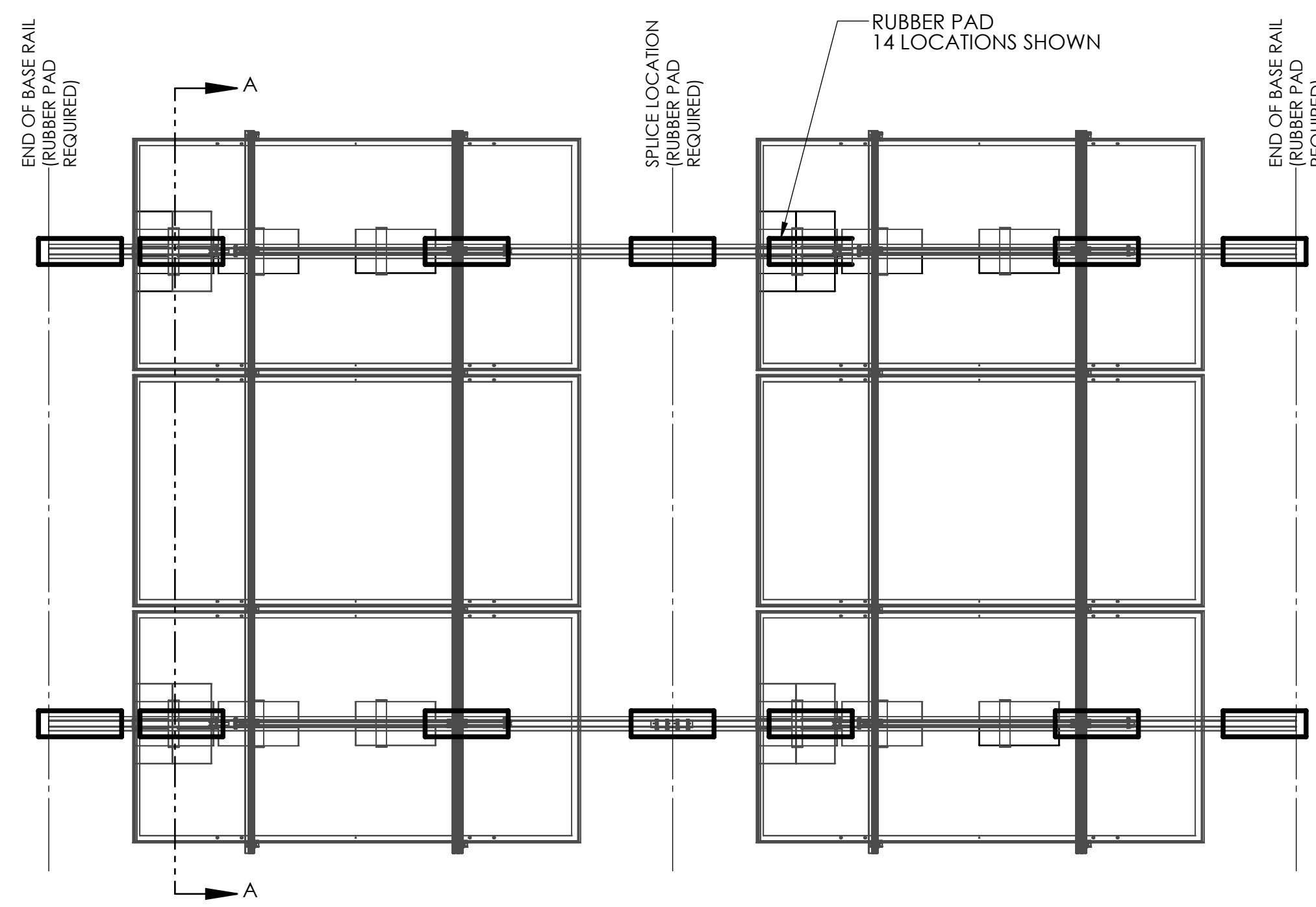


FRAME TIGHT AGAINST CLAMP (END OR MID)

REV	DESCRIPTION	DATE
0	RELEASE FOR CONSTRUCTION	2019-12-30

ENGINEER'S SEAL

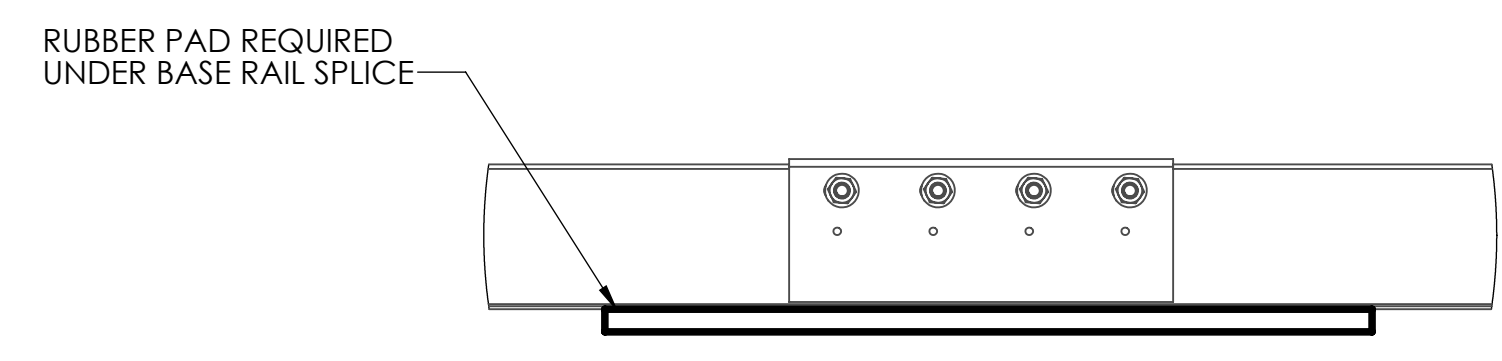
RUBBER PAD LAYOUT



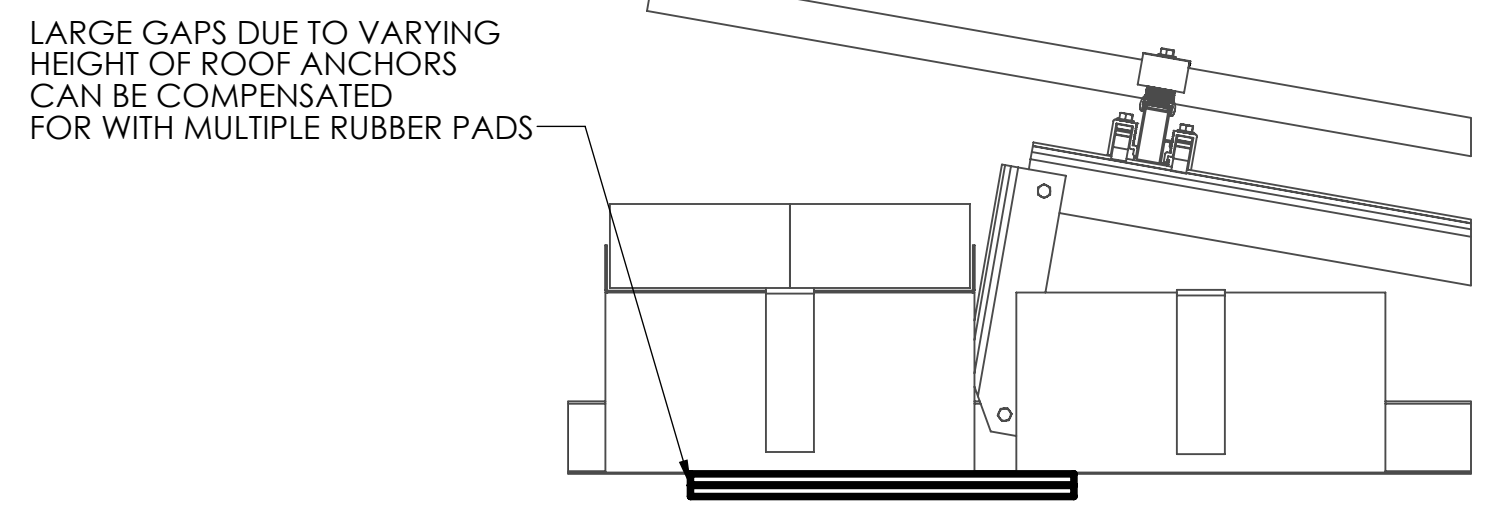
TOP VIEW TYPICAL RUBBER PAD LAYOUT

- INSTALLATION NOTES:
- RUBBER PAD TO BE PLACED UNDER EACH TILT ASSEMBLY HOLE LOCATION, SPLICE, AND CONTINUOUS RAIL ENDS.
 - NO BASE RAIL SHOULD CONTACT ROOF SURFACE. IF ANY PART OF THE BASE RAIL IS CONTACTING THE ROOF SURFACE DUE TO ROOF UNDULATIONS, SHIFT RUBBER PAD ACCORDINGLY TO PROTECT CONTACT POINTS ENSURING THAT A MINIMUM OF 3" HAS BEEN LEFT FOR DRAINAGE. ENSURE RUBBER PADS ARE PLACED AT ENDS OF BASE RAIL AND UNDER SPLICE LOCATIONS.

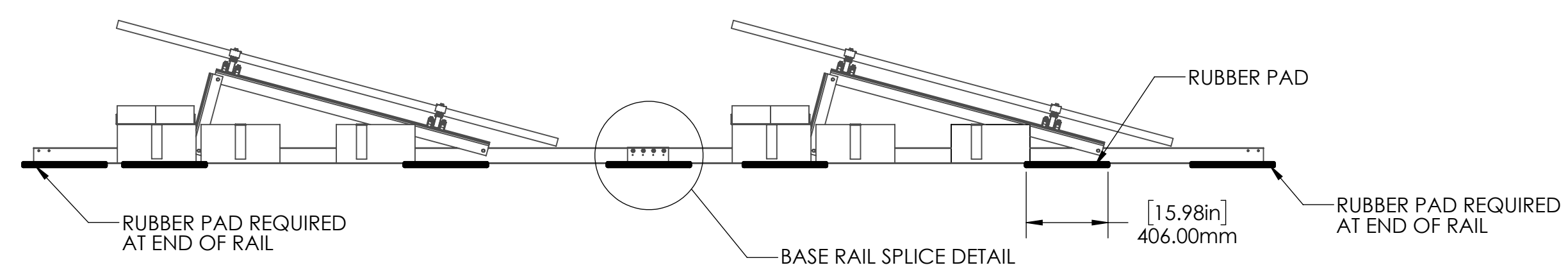
- GENERAL NOTES:
- ROOF WARRANTY HOLDER SHOULD BE CONTACTED TO ENSURE COMPATIBILITY WITH THE RUBBER PAD AND WARRANTY IS MAINTAINED, IF APPLICABLE.
 - ALTERNATIVE RUBBER COVERAGE CAN BE ACCOMMODATED AT CUSTOMER'S REQUEST.



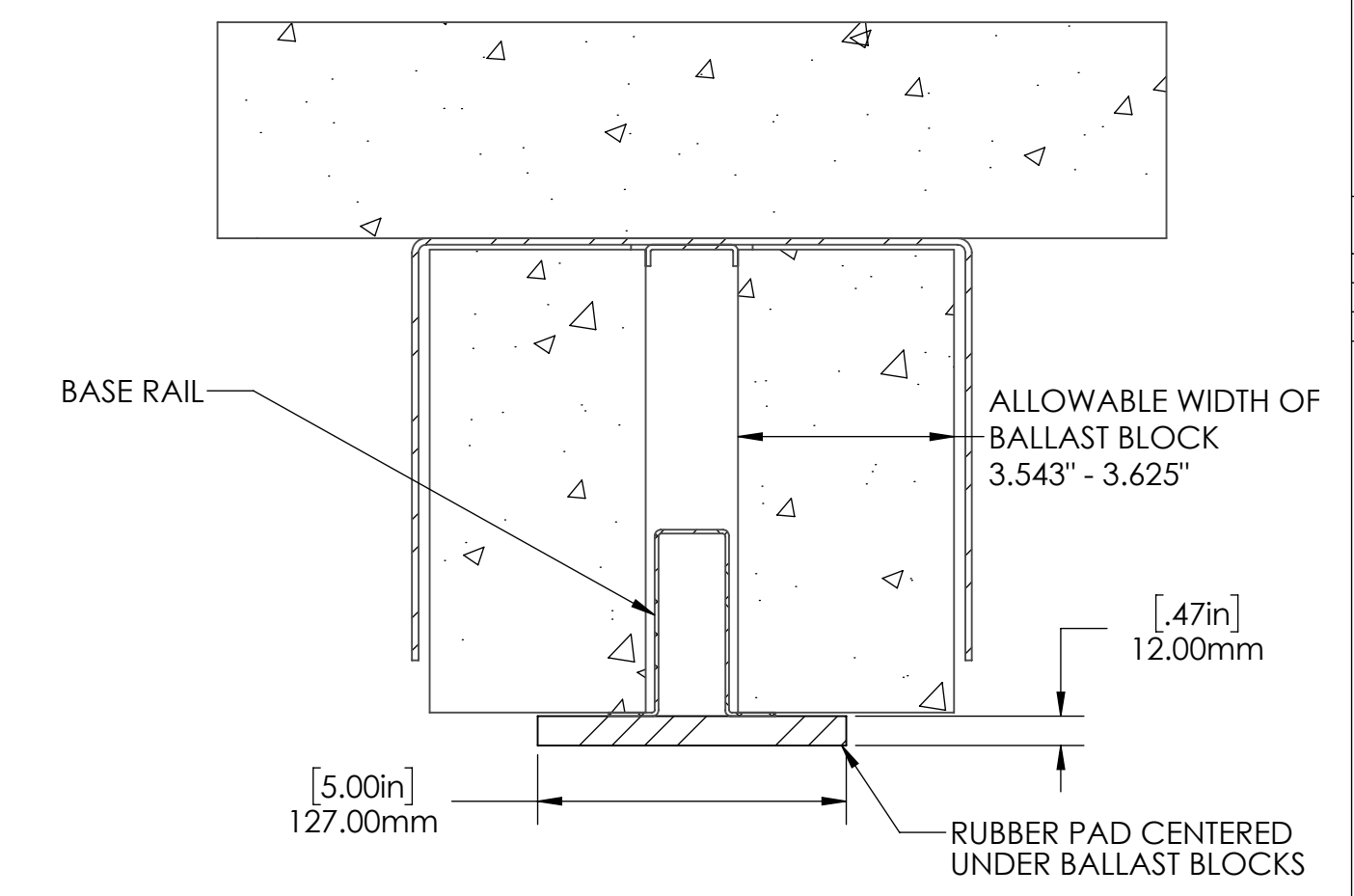
BASE RAIL SPLICE DETAIL



RUBBER PAD LAYER DETAIL



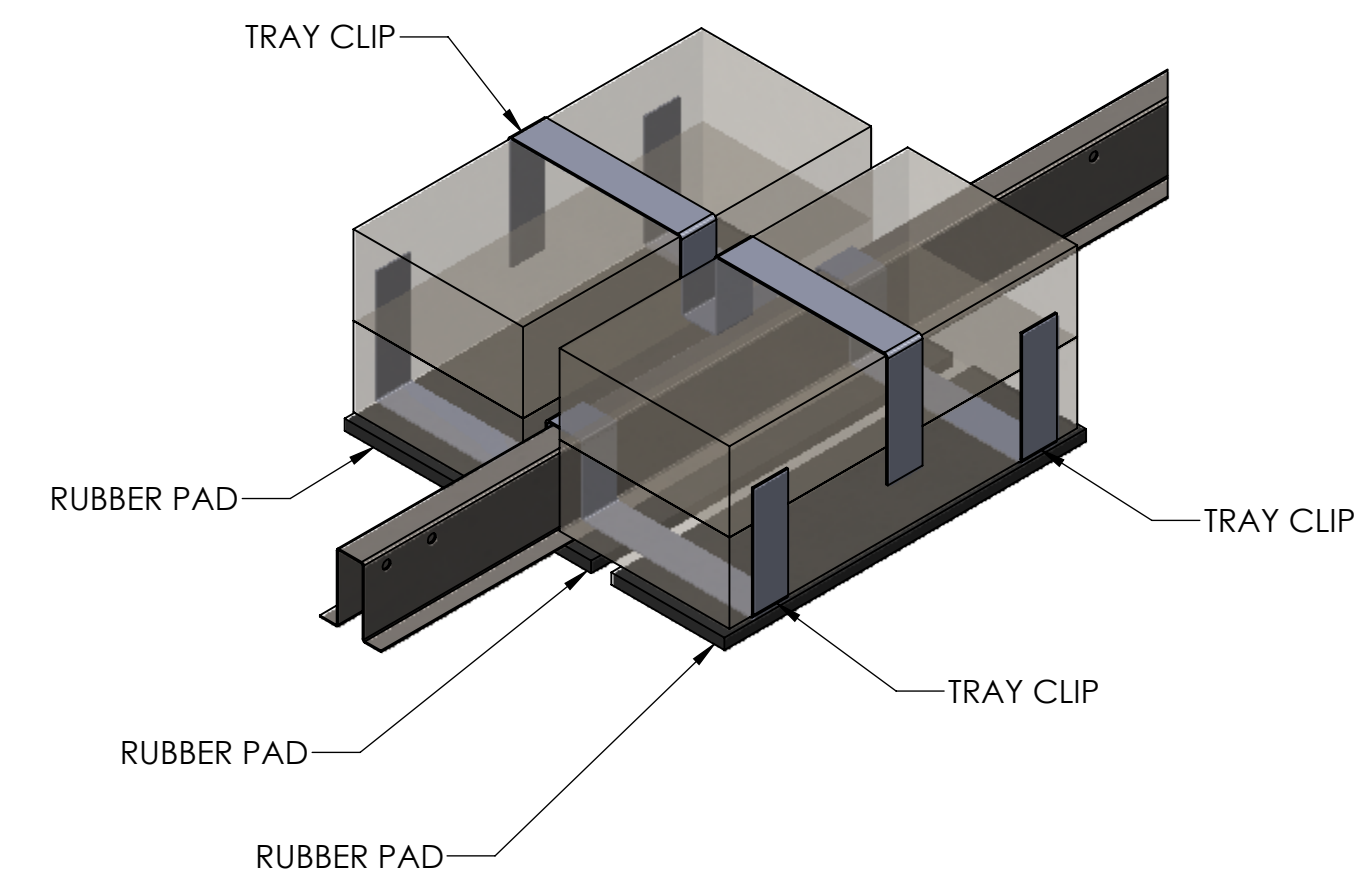
SECTION DETAIL



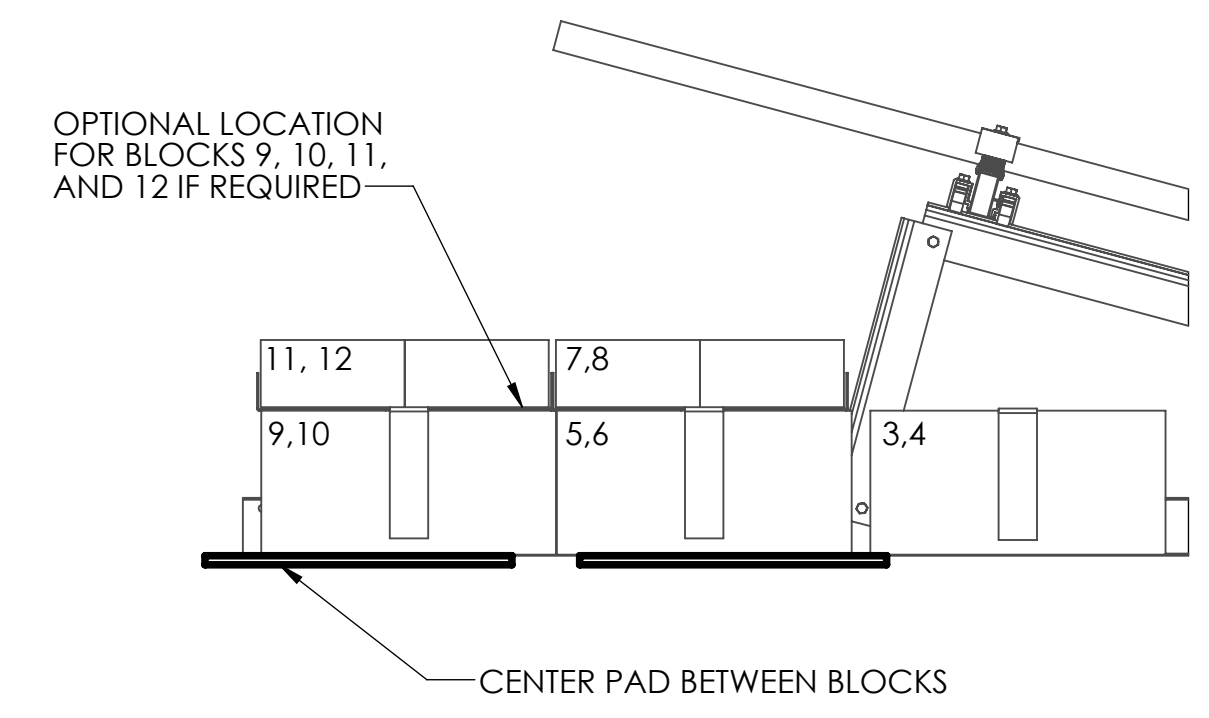
SECTION A-A

SPECIAL CASES

BALLAST TRAY CONFIGURATION: 4 BLOCKS AND 3 TRAY CLIPS

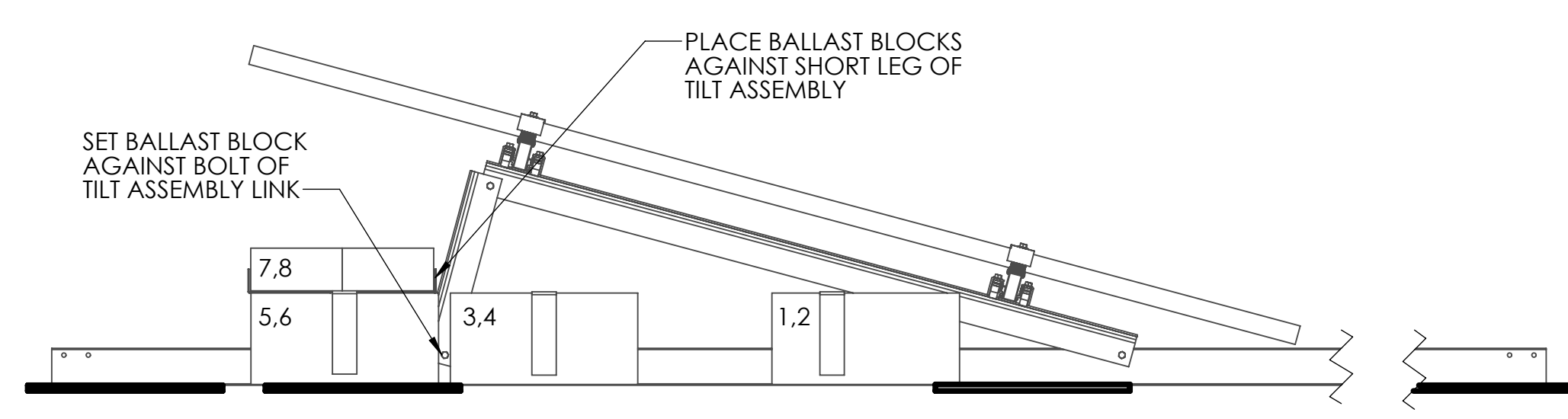


ADDITIONAL BALLAST REQUIRED IN INTERROW

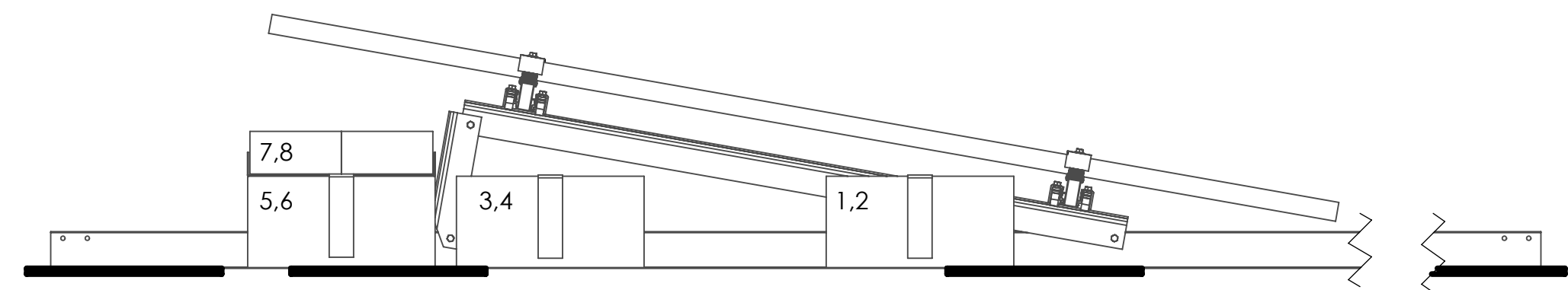


ADDITIONAL BLOCKS REQUIRED TO BE ADDED TO INTERROW WHERE POSSIBLE, AVOIDING SPLICES OR HANGING OFF BASE RAIL EDGE. ENSURE TIGHT CONNECTION TO BASE RAIL. IF IT IS NOT, INVERTED PIECE OF BASE RAIL (BALLAST SPACER) MAY BE USED TO HELP.

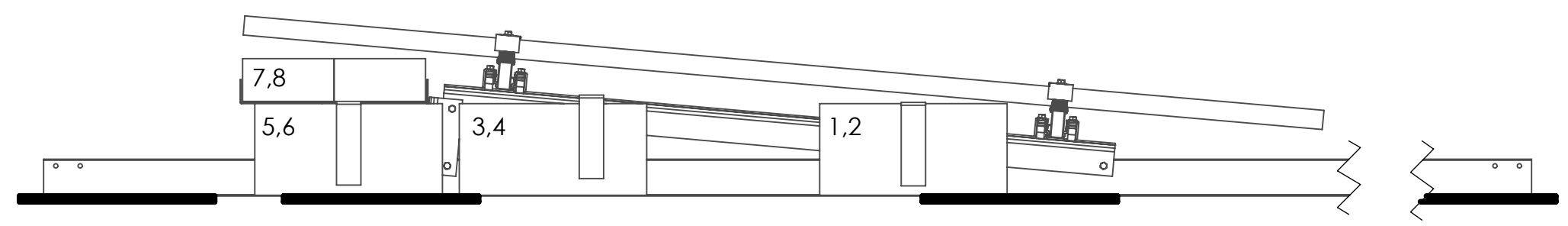
GENERIC BALLAST DETAILS - 3 CONFIGURATIONS



15+ DEGREE TILT CONFIGURATION



10 DEGREE TILT CONFIGURATION

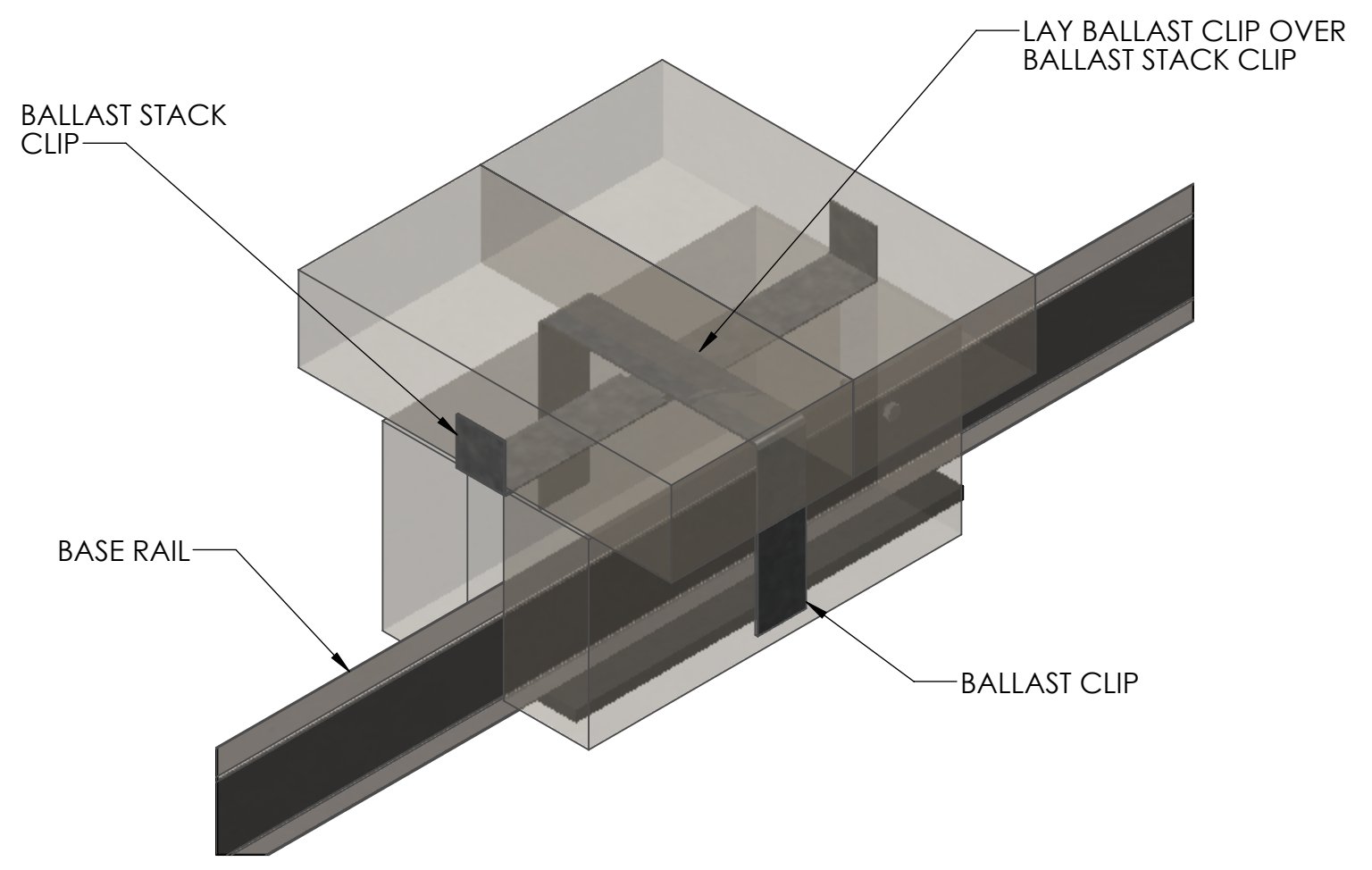


5 DEGREE TILT CONFIGURATION

- INSTALLATION NOTES:
- WHEN BALLAST IS NEEDED, 2X BLOCKS ARE PLACED ON EITHER SIDE OF THE BASE RAIL LEGS, AGAINST THE TILT ASSEMBLY, WHERE THE BALLAST CLIPS HOLD THEM TOGETHER.
 - BALLAST IS TO BE PLACED IN THE LOCATIONS UNDER THE TRIANGLE FIRST WHERE IT IS REQUIRED REFERENCING THE BALLAST PLAN, THE LOCATION UNDER THE NORTH SIDE OF THE PANEL IS ONLY USED IN THE MINIMAL SITUATIONS WITH 6 BALLAST BLOCKS

- GENERAL NOTES:
- REFER TO BALLAST PLAN FOR BLOCK LAYOUT.
 - AVAILABLE BALLAST LOCATIONS WILL BE ROW SPACING DEPENDANT. REFER TO RACKING DETAIL FOR UNIQUE CIRCUMSTANCES.
 - ALWAYS UTILIZE TYPICAL BALLAST CLIP LOCATIONS BEFORE UTILIZING BALLAST TRAY FOR SPECIAL CASES

TYPICAL 4 BLOCK BALLAST CONFIGURATION



DRAWING TITLE:

GENERIC RUBBER AND BALLAST DETAIL

PROJECT TITLE:

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	NAME	DATE
DRAWN	RM	2024-01-10
CHECKED	MO	2024-01-10

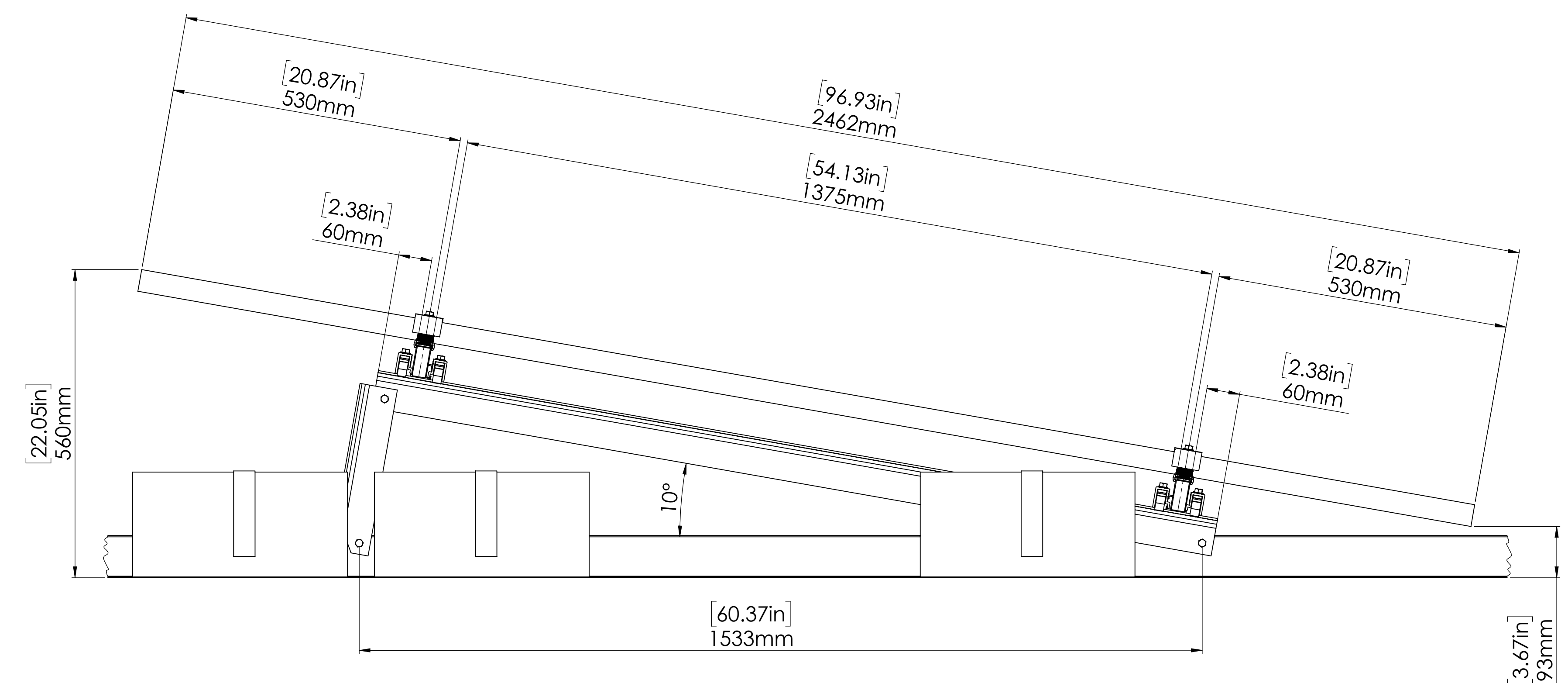
PROJECT NO: TG-25-035

DWG. NO: RS2

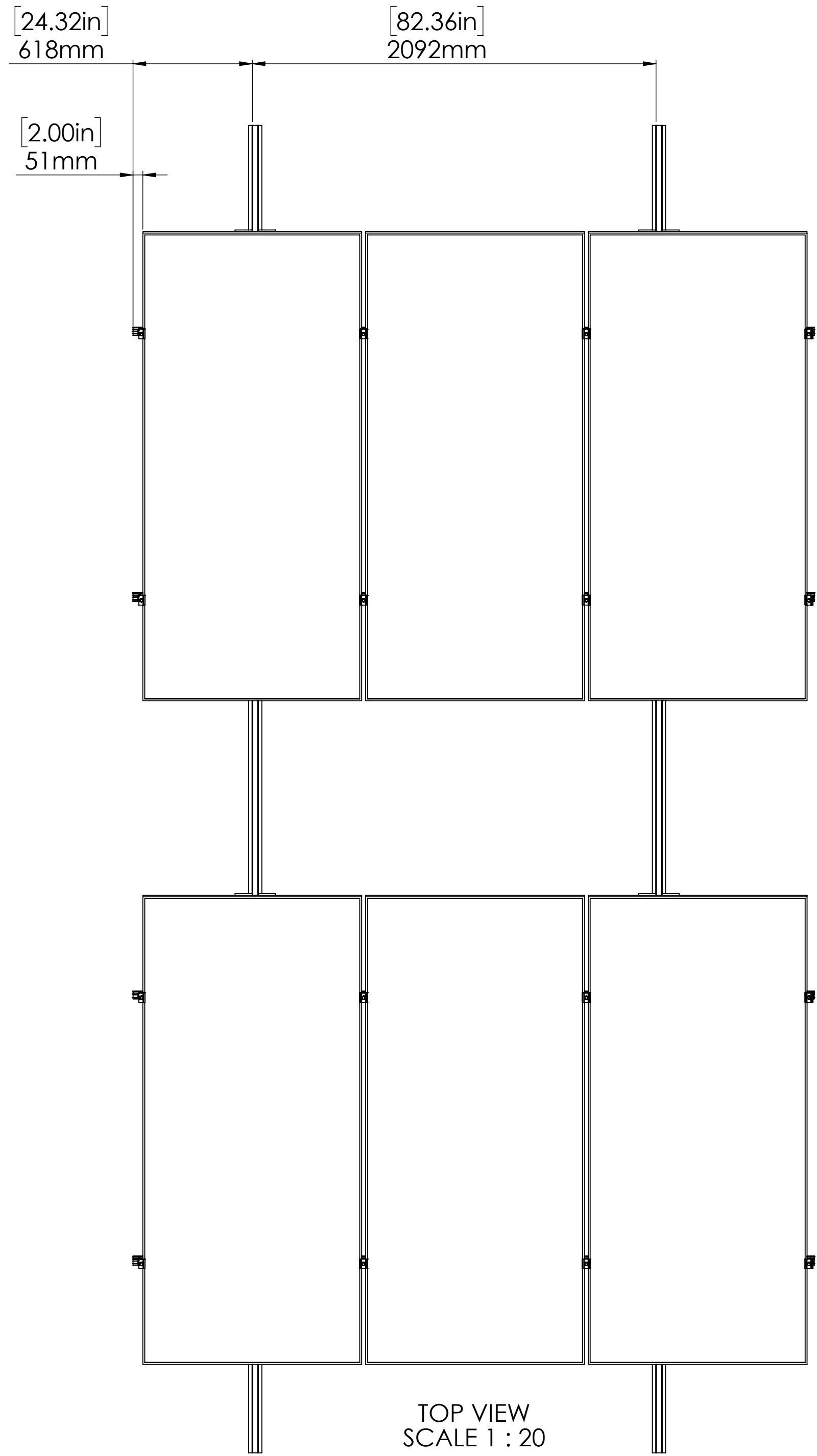
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REV: 0

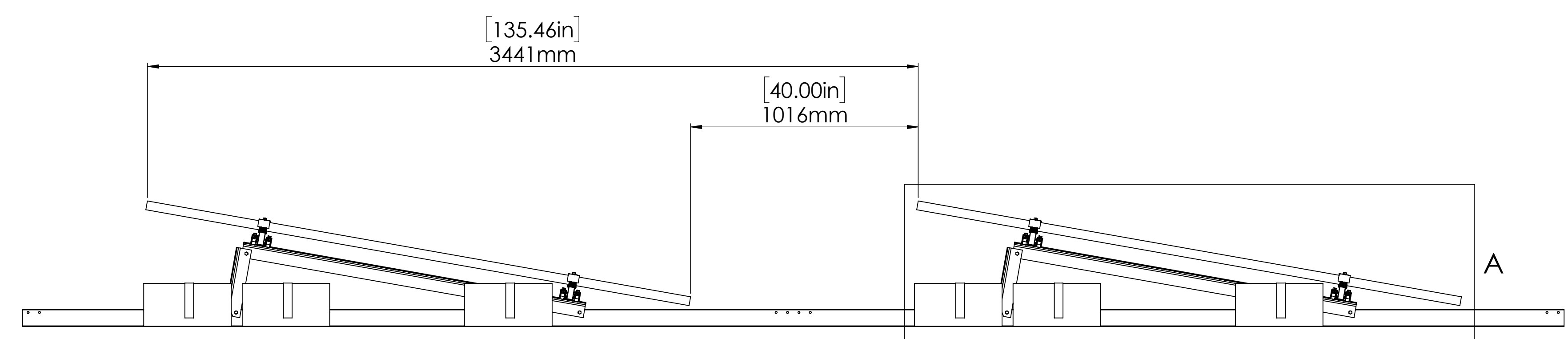
NOTES:
 ALL LINEAR DIMENSIONS ARE IN MILLIMETERS [DUAL DIMENSIONS IN INCHES]
 IN THE 2 & 4 BALLAST LOCATIONS, THE BLOCKS SHOULD OVERLAP THE TILT TRIANGLE SO THEY ARE TIGHT AGAINST THE BASE RAIL



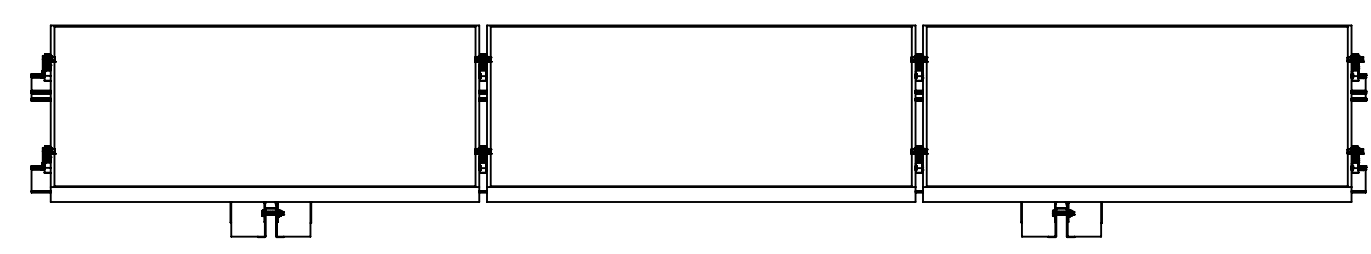
DETAIL A
 SCALE 1 : 6



TOP VIEW
 SCALE 1 : 20



LEFT VIEW
 SCALE 1 : 15



FRONT VIEW
 SCALE 1 : 20



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REV	DESCRIPTION	DATE
0.0	RELEASE FOR CONSTRUCTION	06.03.2025

ENGINEER'S SEAL

DRAWING TITLE:

RACKING DETAIL

PROJECT TITLE:

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	NAME	DATE
DRAWN	CM	06.03.2025
CHECKED	VC	06.03.2025

PROJECT NO:
 TG-25-035

DWG. NO:
 RS3

SCALE:
 NTS

SIZE:
 D

REV:
 0.0



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REV	DESCRIPTION	DATE
0.0	ISSUED FOR CONSTRUCTION	11.03.2025

ENGINEERS SEAL:

DRAWING TITLE:

BASE RAIL PLAN

PROJECT TITLE:

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	NAME	DATE
DRAWN	CM	11.03.2025
CHECKED	VC	11.03.2025

PROJECT NO:
TG-25-035

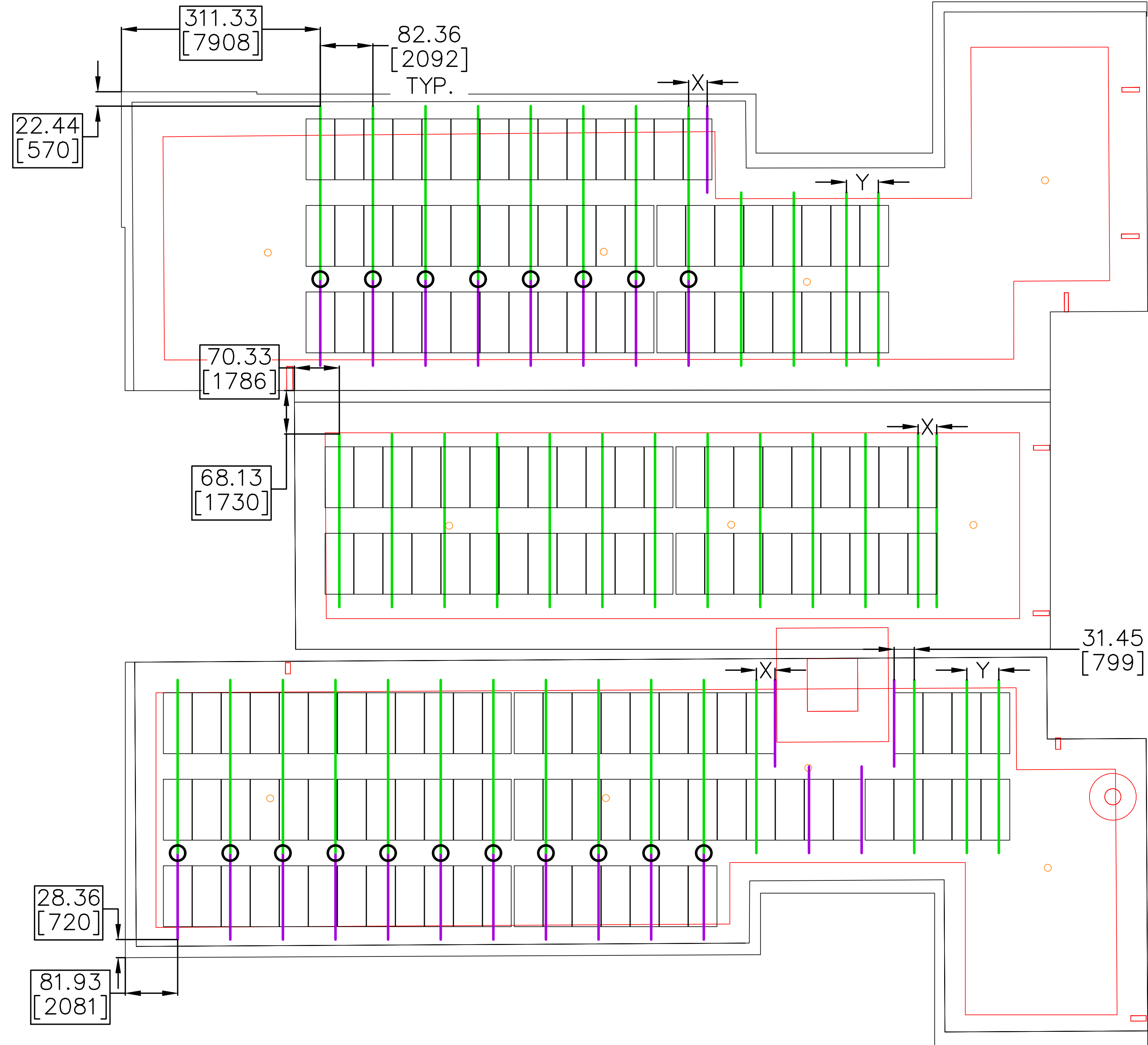
DWG. NO:
RS4

SCALE: NTS	SIZE: D
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REV: 0.0

LEGEND	QTY	DESCRIPTION (CUTTING INSTRUCTION)
	40	270.92" BASE RAIL
	24	135.46" BASE RAIL (CUT FROM 270.92" BASE RAIL)
	19	BASE RAIL SPLICE

- NOTES:
- ALL DIMENSIONS ARE IN INCHES, DUAL DIMENSIONS IN [MILLIMETERS].
 - CIRCLED DIMENSIONS ARE GIVEN TO THE EDGES OF THE RECOMMENDED BASE RAIL TO START FOR EACH AREA.
 - THE OVERHANG OF THE EDGE OF THE PANEL PAST THE BASE RAIL IS TO BE NO MORE THAN 30% OF THE TYPICAL BASE RAIL SPAN.
 - IN SITUATIONS WHERE THERE IS AN OBSTRUCTION, BASE RAIL CAN BE TRIMMED ON THE NORTH OR SOUTH END OF THAT TYPICAL LENGTH. ENSURING ENOUGH SPACE IS LEFT FOR BALLAST.
 - GALVANIZING SPRAY SHALL BE APPLIED AT THE ENDS OF EVERY BASE RAIL, BASE RAIL SPLICE AND OVER THE TEK SCREWS WHEN SPLICING
 - TILT ASSEMBLIES WITH A UL 2703 LABEL ARE LOCATED AT THE TOP OF 1 OF THE SKIDS. IN ORDER TO SIGNIFY COMPLIANCE (IF REQUIRED), 1 NEEDS TO BE INSTALLED WITHIN EACH SEPERATE ARRAY. IT'S RECOMMENDED THAT THIS BE PLACED CLOSEST TO THE GROUND LOCATION OR BE MARKED IN THE AS-BUILT PLANS FOR EASY LOCATING IF NECESSARY.
- *BASE RAIL SPACING IS TYPICALLY 82.36 INCHES (2092mm) UNLESS OTHERWISE SPECIFIED.
- X = 29.13 INCHES (740mm)
Y = 50.00 INCHES (1270mm)



Attachment: Packet Docs - Weyenberg_05.19.25 (10363 - Arch Solar C&I for Frank L. Weyenberg Library)



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REV	DESCRIPTION	DATE
0.0	ISSUED FOR CONSTRUCTION	11.03.2025

ENGINEERS SEAL:

DRAWING TITLE:

TOP RAIL PLAN

PROJECT TITLE:

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	NAME	DATE
DRAWN	CM	11.03.2025
CHECKED	VC	11.03.2025

PROJECT NO:
TG-25-035

DWG. NO:
RS5

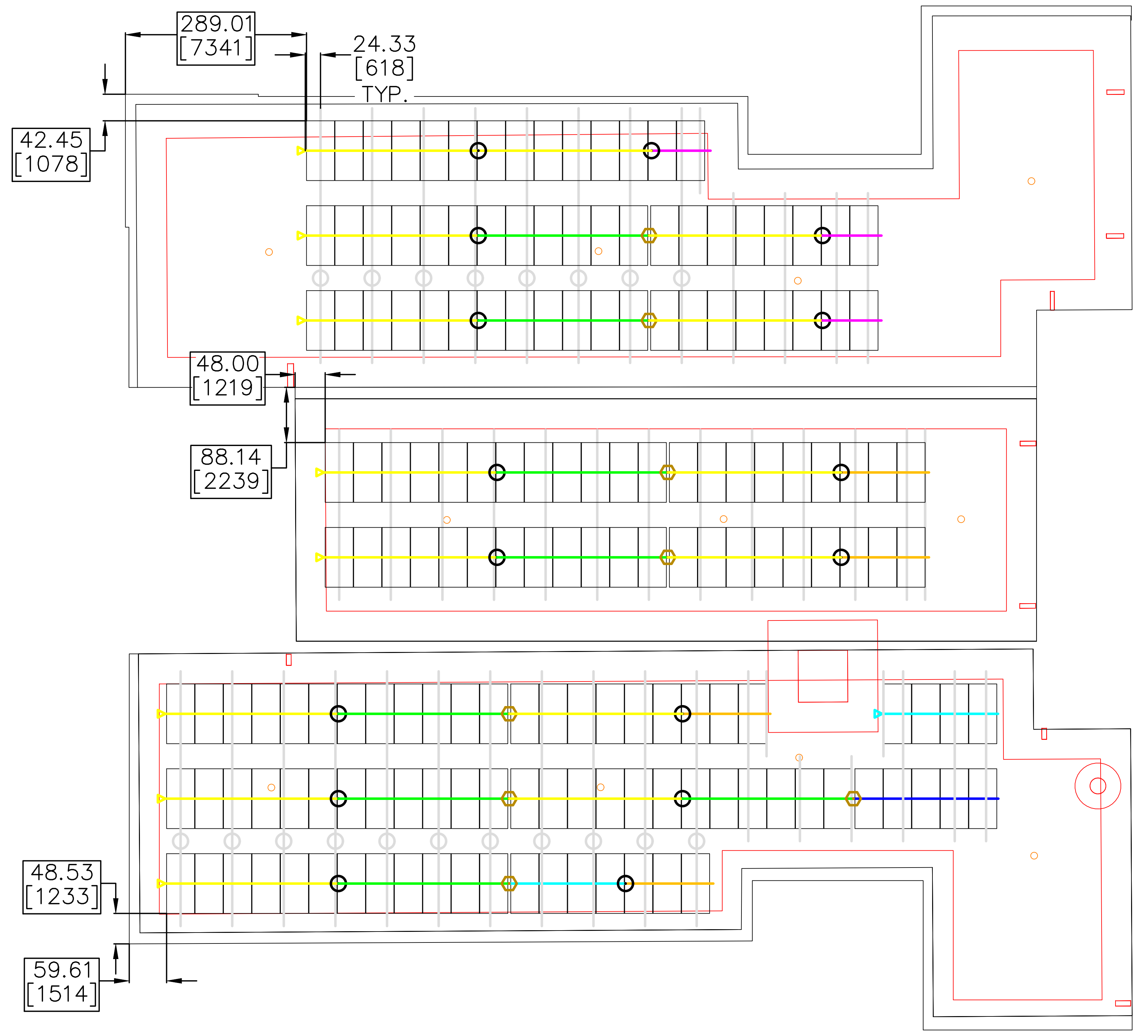
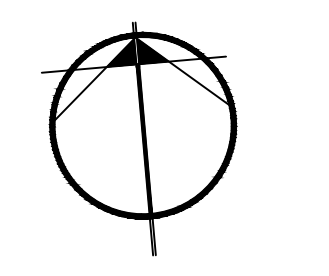
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REV: 0.0

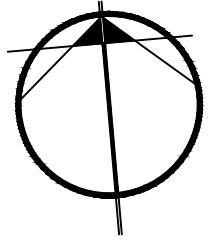
LEGEND	QTY	DESCRIPTION (CUTTING INSTRUCTION)
	16	272.01" TOP RAIL (CUT FROM 276" TOP RAIL)
	30	276" TOP RAIL (supplied to length)
	2	231" TOP RAIL (supplied to length)
	4	185" TOP RAIL (supplied to length)
	8	140" TOP RAIL (supplied to length)
	6	94" TOP RAIL (supplied to length)
	32	TOP RAIL SPLICE
	16	THERMAL BREAK

NOTE:

- ALL DIMENSIONS ARE INCHES, DUAL DIMENSIONS IN [MILLIMETERS].
- EACH COLOURED LINE REPRESENTS TWO TOP RAILS.
- REFER TO RS3: Racking Details FOR TYPICALLY DIMENSIONS FROM THE BASE RAIL TO THE EDGE OF THE TOP RAIL UNLESS OTHERWISE SPECIFIED. START THE INSTALLATION FROM THE SIDE MARKED "▶".
- START THE MODULES FROM THE SAME SIDE AS THE TOP RAIL.
- AFTER THE MODULES ARE INSTALLED, THE TOP RAIL AT THE EDGES OF THE ARRAY CAN BE TRIMMED AS NECESSARY.



Attachment: Packet Docs - Weyenberg_05.19.25 (10363 - Arch Solar C&I for Frank L. Weyenberg Library)



ARRAY	UPLIFT RESISTANCE REQUIRED (lbs)	BLOCKS REQUIRED (33 lbs)	DISTRIBUTED LOADING (psf)
A	4081	124	4.06
B	4186	126	4.60
C	5243	164	4.08
TOTAL	13509	414	-



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REV	DESCRIPTION	DATE
0.0	ISSUED FOR CONSTRUCTION	06.03.2025

- X NUMBER OF BALLAST BLOCKS
- BASE RAILS
- SOLAR MODULE

ENGINEERS SEAL:

DRAWING TITLE:

BALLAST PLAN

PROJECT TITLE:

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	NAME	DATE
DRAWN	CM	06.03.2025
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PROJECT NO:
 TG-25-035

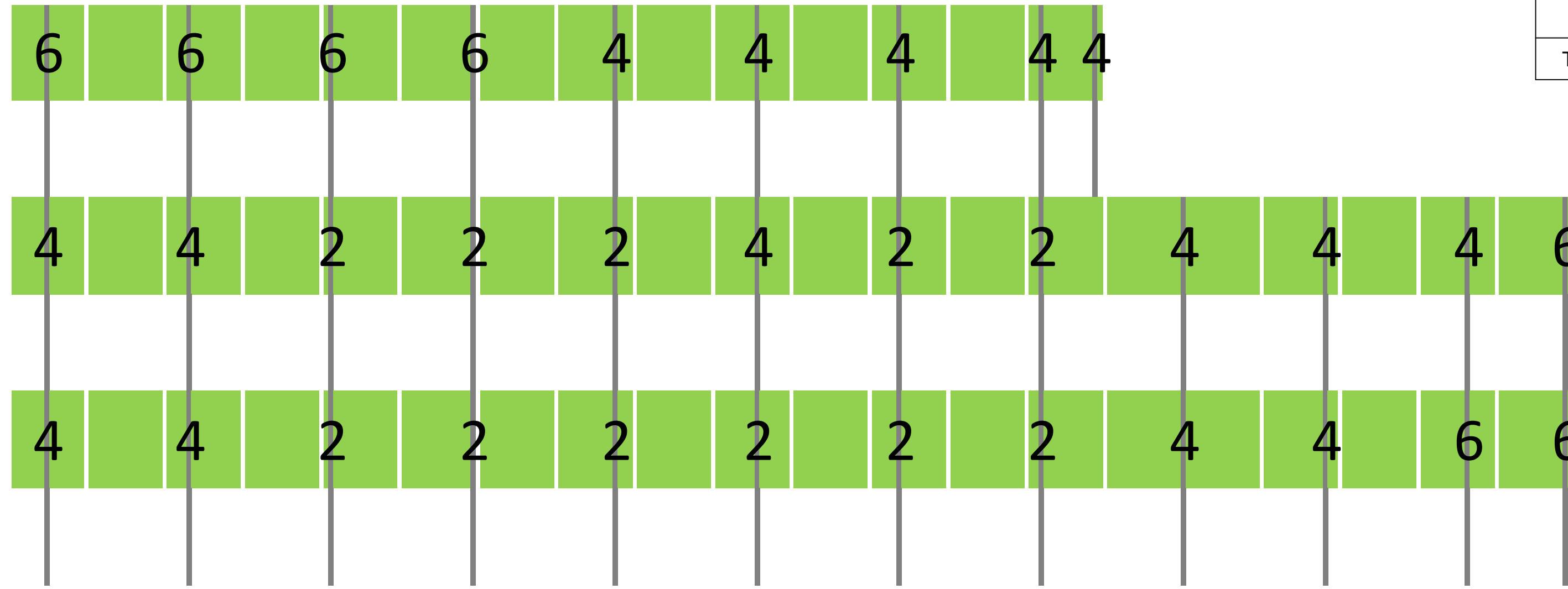
DWG. NO:
 RS6

SCALE: NTS SIZE: D

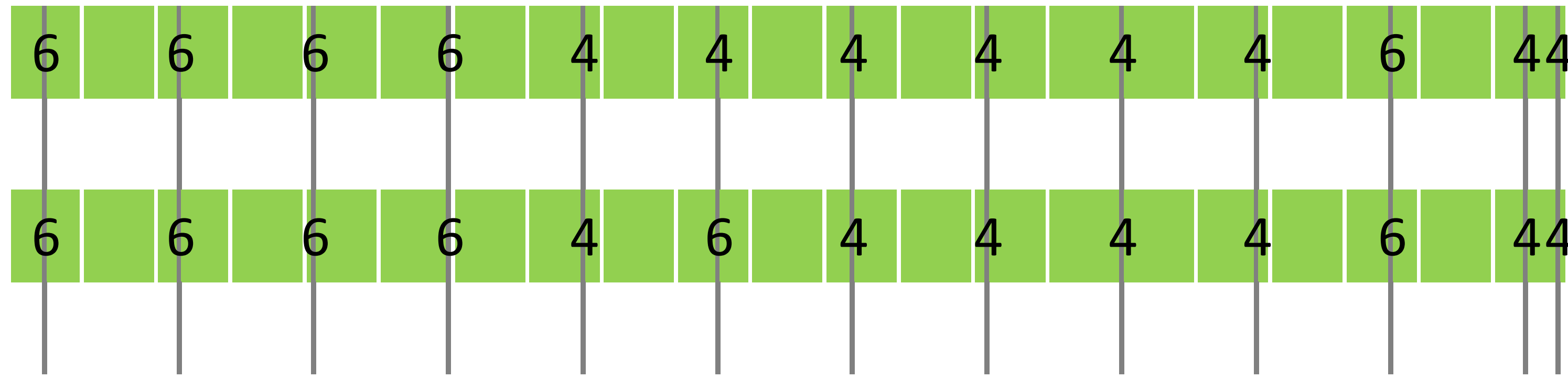
REV: 0.0

Attachment: Packet Docs - Weyenberg_05.19.25 (10383 - Arch Solar C&I for Frank L. Weyenberg Library)

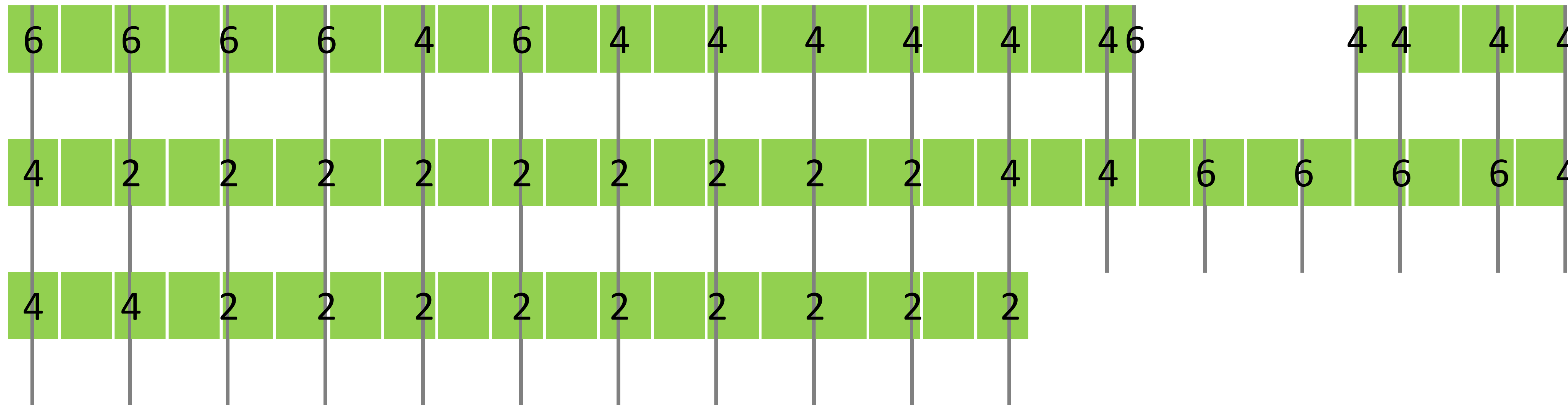
ARRAY A



ARRAY B



ARRAY C



TERRAGEN IS NOT RESPONSIBLE FOR VERIFICATION THAT THE BUILDING AND OR ROOF DECK CAN HANDLE THE LOADS OUTLINED IN THIS PACKAGE



TerraGen Environmental Group Inc.
120 Parsons Rd.
Alliston, ON, L9R 1E9
Tel: (705)435-7373
Fax: (705)434-4002
www.terragen.com

REV	DESCRIPTION	DATE
0.0	ISSUED FOR CONSTRUCTION	06.03.2025

ENGINEERS SEAL:

DRAWING TITLE:

LOAD CALCULATIONS

PROJECT TITLE:

FLW LIBRARY - MEQUON

PROPRIETARY AND CONFIDENTIAL

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	NAME	DATE
DRAWN	SD	06.03.2025
CHECKED	VC	06.03.2025

PROJECT NO:
TG-25-035

DWG. NO:
S0

SCALE: NTS SIZE: D

REV: 0.0

Project Details:	
Product:	TGR
Tilt Angle (deg):	10
Module Count:	169
Module:	Q.Peak Duo XL-G11S 585-600W - 585W
Module Width (in):	45
Module Length (in):	97
Module Weight (lbs):	77
Dead Load:	
Total Array Area (sqft):	7218
Racking Dead Load (lbs):	3389
Module Dead Load (lbs):	12996
Ballast Dead Load (lbs):	14850 [450 Ballast Blocks at 33 lbs]
Total Weight of System (lbs):	31235
Global Distributed Load (psf):	4.3
Design Parameters:	
Code:	ASCE 7-16 *Including state adoptions
Risk Category:	III
Roof Slope (deg):	0
Building Height, h (ft):	15
Width of Building on its longest side, Wl (ft):	191
Width of building on its shortest side, Ws (ft):	112
Parapet height, hpt (ft):	1
Snow Load:	
Exposure Factor, Ce:	1.0
Thermal Factor, Ct:	1.0
Importance Factor, Is:	1.1
Ground Snow Load, pg (psf):	30.0
Flat Roof Snow Load, pf (psf):	23.1 ASCE 7-16: 7.3-1
Sloped Roof Snow Load, pf (psf):	23.1 ASCE 7-16: 7.4-1
Wind Load:	
Velocity Pressure Exposure Coefficient, Kz:	0.57
Topographic Factor, Kzt:	1.00
Wind Directionality Factor, Kd:	0.85
Ground Elevation Facotr, Ke:	0.9762
Basic Wind Speed, V (MPH):	114.0
Velocity Pressure, qz (psf):	15.87 ASCE 7-16: 26.10-1
Seismic Load:	
Ip:	1.0
Assumed Site Class:	D
Sds:	0.08
S1:	0.05
Ss:	0.07
Sd1:	0.07
Seismic Design Category:	B
Vertical Force, Fv (psf):	0.06 ASCE 7-16: 13.3.1.2
Horizontal Force, Fp (psf):	0.26 ASCE 7-16: 13.3-1,2,3

System Loads: Flat Roof System (TGR)		
System Dead Load:		
Max Point Load: 360 lbs / 135.46" section of base rail		
System Wind Load:		
Pressure Coefficient, GCp (uplift):	See S1	ASCE 7-16: 31, Wind Tunnel Procedure
Pressure Coefficient, GCp (downward):	0.55	ASCE 7-16: 31, Wind Tunnel Procedure
Design Wind Pressure - Uplift, p (psf):	See S1	
Design Wind Pressure - Downward, p (psf):	8.7	
System Seismic Load:		
Horizontal Force, Fp (lbs):	1874	ASCE 7-16: 13.3-1
Frictional resistance contribution *SEAOC* (lbs):	11417	SEAOC PV1-2012
Resulting Horizontal Force *For SEAOC attached array* (lbs):	0.00	
Setback requirements *For SEAOC unattached array* (in):	6.00	SEAOC PV1-2012
Setback from non-qual. parapet *For SEAOC unattached array* (in):	9.0	SEAOC PV1-2012
System Factored Loads: Load Combinations (ASD)		
Uplift, 0.6D+0.6W (psf):	10.7	
Downforce, D+S (psf):	24.5	
Downforce, D+0.75(0.6W)+0.75(S) (psf):	22.8	
Component Design Loads:		
Component Allowable Loads:		
End Clamp Uplift Load (lbs):	387.5	
Mid Clamp Uplift Load (lbs):	774.5	
Cross Adapter x2 Uplift Load (lbs):	774.5	
Project Loads:		
End Clamp Uplift Load (lbs):	80	
Mid Clamp Uplift Load (lbs):	160	
Cross Adapter x2 Uplift Load (lbs):	296	
Rail Span Calculation		
Rail Properties:		
Top Rail: Extrusion, AL, Rail, 1966		
Moment of Inertia (in^4):	0.487	
Safety Factor:	2.0	
Allowable Moment, y (lbs-ft):	389	
Rail Factored Loads:		
Maximum Load Combination (psf):	24.55	
Maximum Linear Load (lbs/ft):	99.14	
Allowable Rail Span Check: *Not considering other component limitations		
Allowable Rail Span (in):	82.3	
Actual Rail Span (in):	82.4	
Deflection Check:		
Allowable Deflection(in):	1.4	
Actual Deflection (in):	1.0	Derived from load tested values for worst case spans

PROJECT OVERVIEW		DESIGN NOTES		DRAWING INDEX		GENERAL NOTES	
CUSTOMER NAME:	ARCH ELECTRIC INC.	1. UPLIFT, DOWN FORCE AND DRAG CALCULATIONS ARE IN ACCORDANCE TO THE INDICATED CODES AND STANDARDS IN THE DESIGN CRITERIA TO RESIST UPLIFT SLIDING AND OVERTURNING. 2. ALL CALCULATIONS MUST BE SEALED BY A LICENSED PROFESSIONAL ENGINEER. 3. FOR TILTED FLAT ROOF SYSTEMS, IF APPLICABLE REFER TO RWDI WIND STUDY #1601530, DATED MARCH 16,2020 4. MINIMUM FRICTION COEFFICIENT BETWEEN THE ROOF AND BASE RAIL IS 0.4.	S0:	LOAD CALCULATIONS	1. DRAWINGS SHOULD BE REVIEWED IN CONJUNCTION WITH THE PRODUCT INSTALLATION MANUAL. THIS DRAWING SET TAKES PRECEDENCE OVER ANY CONFLICTING INFORMATION. 2. DRAWINGS AND CALCULATIONS ARE BASED ON THE INFORMATION PROVIDED BY THE CUSTOMER. TERRAGEN MUST BE NOTIFIED OF CHANGES OR INCORRECT INFORMATION. 3. EXISTING BUILDING MUST BE DESIGNED IN ACCORDANCE WITH THE RELEVANT BUILDING CODE. 4. CONTRACTOR MUST VERIFY WITH A PROFESSIONAL ENGINEER THAT THE BUILDING, ROOF DECK AND ANY COMPONENTS OUTSIDE OF TERRAGEN'S SCOPE CAN SUPPORT ALL THE LOADS RESULTING FROM THE ADDITION OF SOLAR PANELS, RACKING, BALLAST AND/OR ATTACHMENTS. 5. CONTRACTOR IS RESPONSIBLE FOR THE METHOD OR SEQUENCE OF CONSTRUCTION. 6. CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL MEASURES NECESSARY TO PROTECT THE ROOF STRUCTURE AND RACKING DURING AND AFTER CONSTRUCTION. 7. CONTRACTOR IS RESPONSIBLE FOR THE HEALTH AND SAFETY OF ITS EMPLOYEES, AND ALL WORK MUST MEET THE REQUIREMENTS OF THE RELEVANT HEALTH AND SAFETY ACT. 8. SNOW AND ICE MANAGEMENT CONTROL SHOULD BE CONSIDERED BY OTHERS.		
PROJECT ADDRESS:	11345 N. CEDARBURG RD., MEQUON, WI., 53092		S1:	WIND LOAD CALCULATIONS			
MODULE TYPE:	HANWHA Q.PEAK DUO XL-G11S 585W		S2:	ZONE SELECTION			
MODULE COUNT:	169		S3:	UPLIFT RESISTANCE REQUIRED			
SYSTEM SIZE:	98.865 kW		S4:	-			
TILT ANGLE:	10°		S5:	-			
ORIENTATION:	PORTRAIT		S6:	-			
ROW SPACING:	135.46"	S7:	-				



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Table with 3 columns: REV, DESCRIPTION, DATE. Row 1: 0.0, ISSUED FOR CONSTRUCTION, 06.03.2025

ENGINEERS SEAL:

DRAWING TITLE:

WIND LOAD CALCULATIONS

PROJECT TITLE:

FLW LIBRARY - MEQUON

PROPRIETARY AND CONFIDENTIAL

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Table with 3 columns: NAME, DATE. Row 1: SD, 06.03.2025. Row 2: VC, 06.03.2025

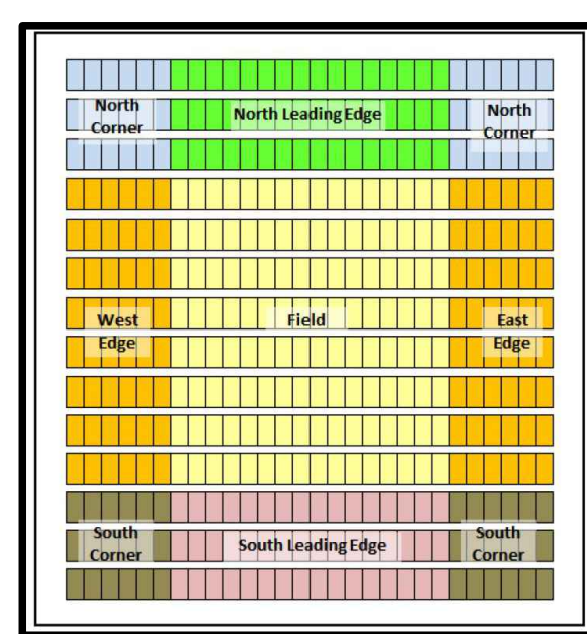
PROJECT NO: TG-25-035

DWG. NO: S1

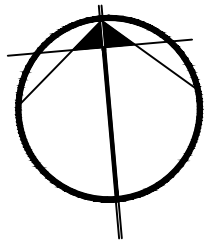
SCALE: NTS SIZE: D

REV: 0.0

Main data table with columns for ASCE 7-16, qn, Wind pressure, Area in sqft, D for Area in lbs, GCn table at 10 degrees, Tilt Angle, Array Setback, Module Area, and various zone force calculations (Wind Pressure p, Wind Force perpendicular, Vertical Wind Force, Horizontal Wind Force, Weight Required, Ballast Required, Blocks/Module).



Attachment: Packet Docs - Weyenberg_05.19.25 (10363 - Arch Solar C&I for Frank L. Weyenberg Library)



GUIDELINES:

1. EACH MODULE IS ASSIGNED A ZONE SELECTION BASED ON ITS LOCATION WITHIN THE LOAD SHARING CAPABILITIES WITH THE MODULES AROUND IT.
2. THESE SELECTIONS ARE TO BE CORRELATED WITH THE APPROPRIATE VALUES FROM THE TABLE IN S1, WHICH WILL PROVIDE THE DETAILED CALCULATIONS FOR EACH MODULE; INCLUDING THE FACTORED WIND LOAD AND THE BALLAST WEIGHT (OR UPLIFT RESISTANCE) REQUIRED TO RESIST THE WIND LOAD.



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 Fax: (705)434-4002
 www.terragensolar.ca

REV	DESCRIPTION	DATE
0.0	ISSUED FOR CONSTRUCTION	06.03.2025

ENGINEERS SEAL:

ARRAY A

SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SLE 4x2	SLE 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	
SC 4x3	SC 5x3	SC 5x3	SC 7x3	SC 7x3	SC 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SLE 5x3	SLE 5x3	SLE 4x3	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2
SC 4x3	SC 5x3	SC 5x3	SC 7x3	SC 7x3	SC 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SLE 5x3	SLE 5x3	SLE 4x3	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2

ARRAY B

SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2
SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2

ARRAY C

SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SLE 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	SC 4x2	
SC 4x3	SC 5x3	SC 5x3	SC 7x3	SC 7x3	SC 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SLE 5x3	SLE 5x3	SC 4x3	SC 4x2	SC 4x2	SLE 5x1	SLE 5x1	SC 5x1	SC 5x1	SC 4x2	SC 4x2	SC 4x2	SC 4x2
SC 4x3	SC 5x3	SC 5x3	SC 7x3	SC 7x3	SC 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SLE 7x3	SC 7x3	SC 7x3	SC 7x3	SC 5x3	SC 5x3	SC 4x3	SC 4x3	SC 4x3								

DRAWING TITLE:

ZONE SELECTION

PROJECT TITLE:

FLW LIBRARY - MEQUON

PROPRIETARY AND CONFIDENTIAL

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	NAME	DATE
DRAWN	SD	06.03.2025
CHECKED	VC	06.03.2025

PROJECT NO:

TG-25-035

DWG. NO:

S2

SCALE:

NTS

SIZE:

D

REV:

0.0



civil | landscape architecture | structural | mechanical | electrical | plumbing/fire protection | lighting design | telecommunications | security

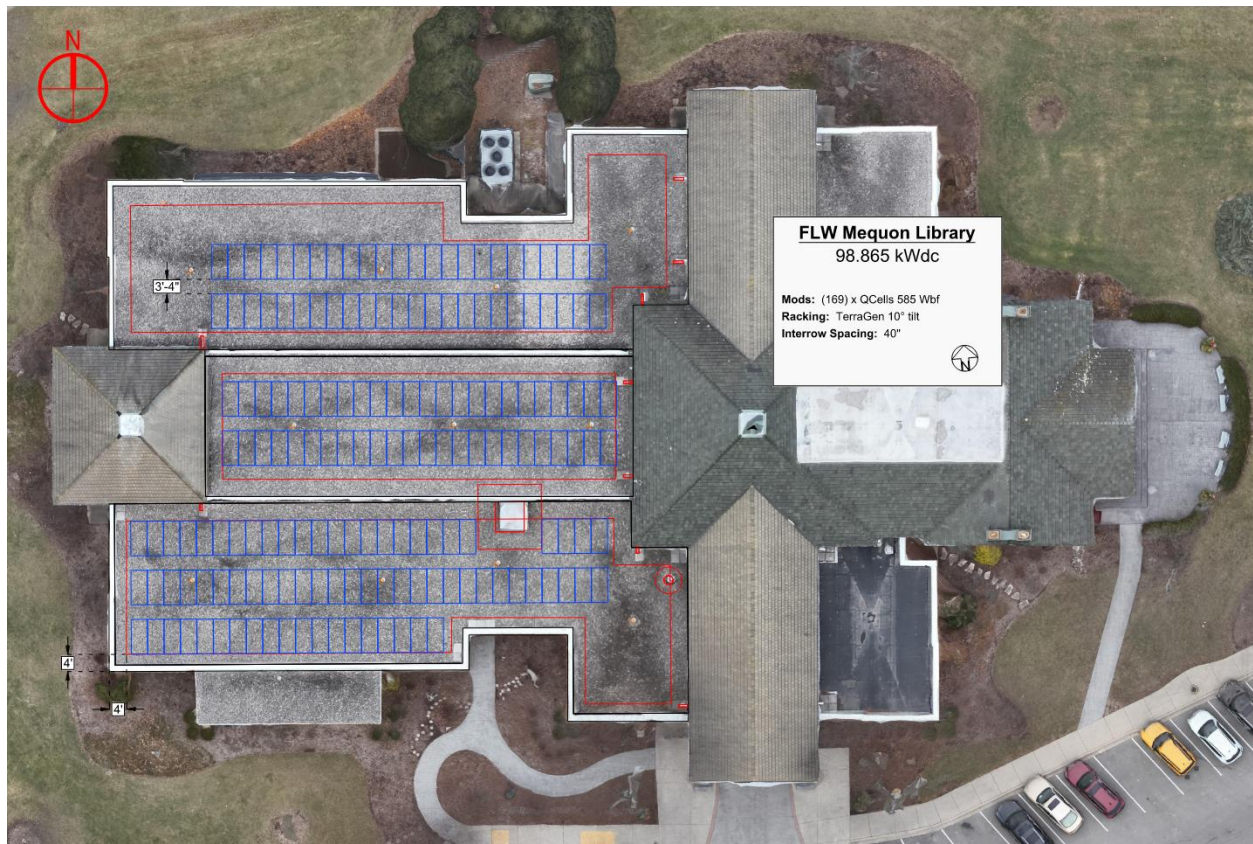
April 8, 2025

Justin Van Camp
Arch Solar
1237 Pilgrim Road
Plymouth, WI 53073

RE: Mequon Library Solar Study
Mequon, WI
HEC Project No. 025-1056.00

Dear Justin:

As requested, we have reviewed the material properties, dimensions, and spacing of the existing roof structure at FLW Mequon Library in Mequon, WI to assess its capacity to support a 10-degree tilted array system weighing up to 4.3 psf. The proposed layout includes a 3'-4" aisle between rows, with the arrays placed on the flat roof as shown below.



Attachment: Packet Docs_Weyenberg_05.19.25 (10363 : Arch Solar C&I for Frank L. Weyenberg Library)



April 8, 2025

Page 2 of 2

The roof consists of steel open-web bar joists bearing on wide flange steel beams. Based on an "Issued for Bid" drawing set dated November 25, 1992, the original design accommodated a uniform roof live load of 30 psf.

Per IBC 2015, the building is classified as Risk Category III, and the allowable design snow load is 23.1 psf. We considered several potential drift and sliding snow scenarios in our analysis:

1. Drift/sliding from a short hip-roof tower at the west end
2. Drift/sliding from the original library's hip roof just east of the proposed arrays
3. Drift at the low-to-high roof transition along grids I and N
4. Drift and sliding due to the tilted panels themselves, including upwind fetch at the southern rows

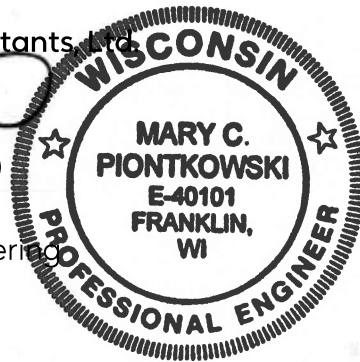
Our analysis compared the combined loads—including the ballasted membrane roof, solar array weight, and uniform, drifted, and sliding snow—against the joists' shear and moment capacity. The results show that the joists have sufficient capacity to support the additional loads from the proposed solar installation.

Please feel free to reach out with any questions or if further clarification is needed.

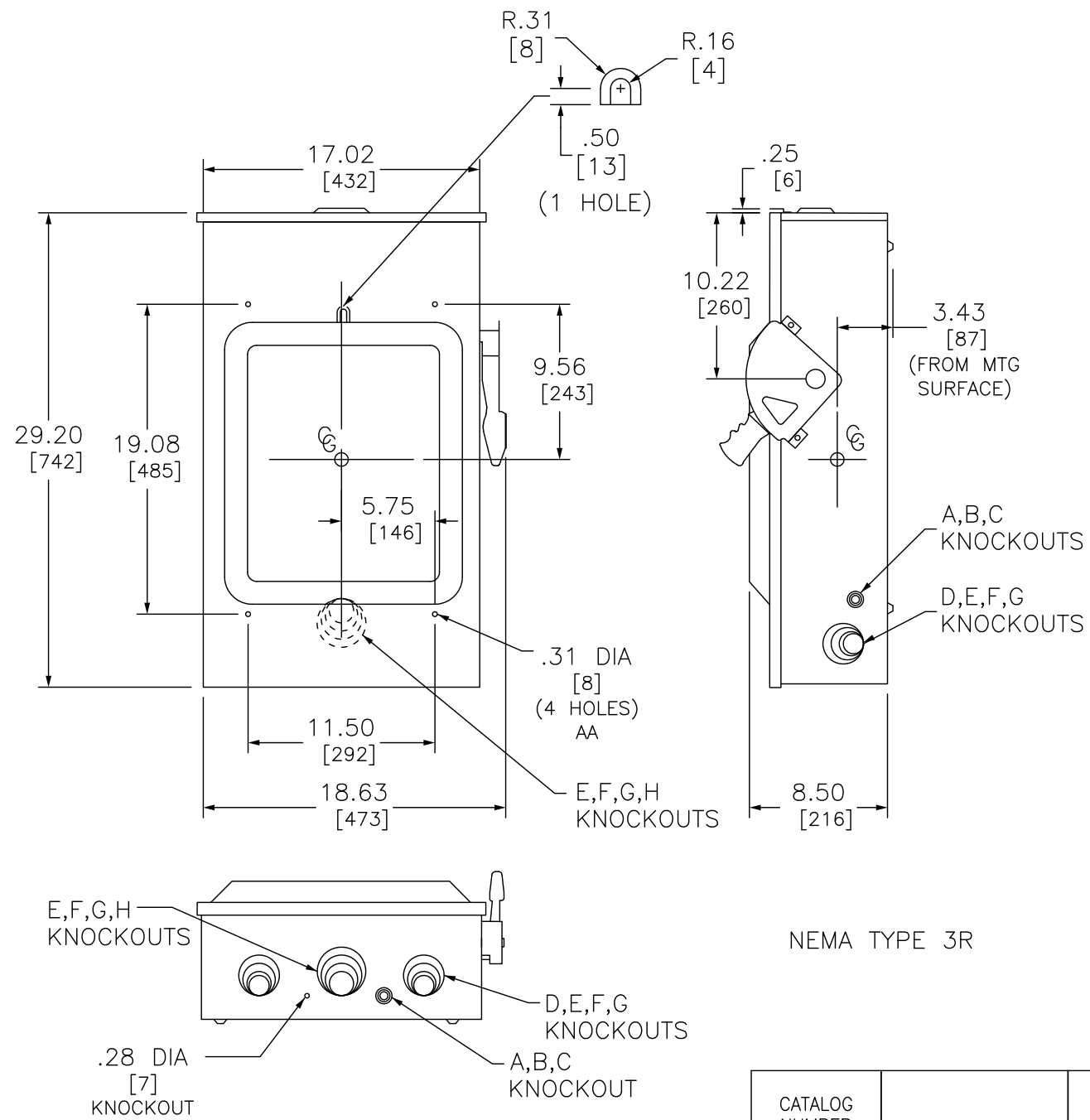
Best regards,

Harwood Engineering Consultants, Inc.

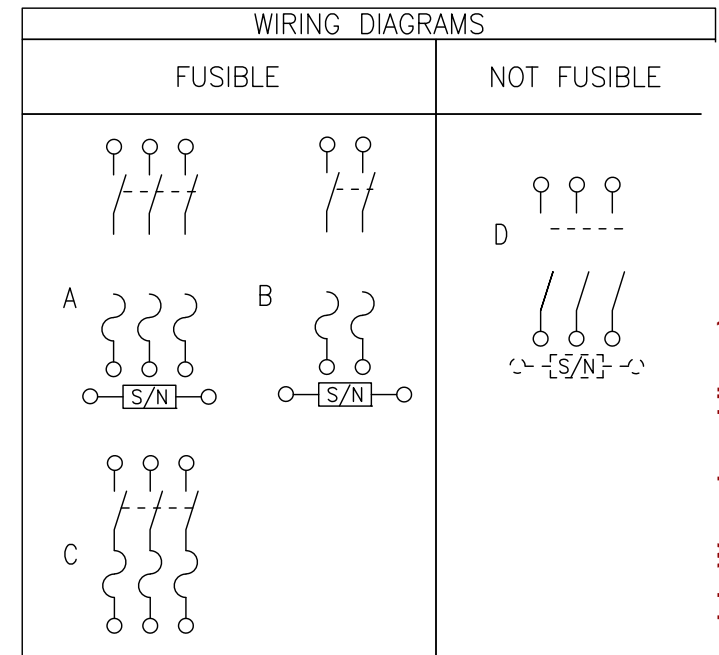
Mary C. Piontkowski
 Mary C. Piontkowski, PE, SE(IL)
 Vice President | Principal
 Director of Structural Engineering



Encl.



SEISMIC NOTES:
 USE (4) 1/4" DIA GRADE 5 STEEL MOUNTING BOLTS @ HOLES (*) AA
 MAX CONFIGURED WEIGHT 55 LB FOR THE PURPOSE OF DETERMINING
 SEISMIC ANCHORAGE REQUIREMENTS. FOR ALL OTHER APPLICATIONS,
 CONTACT SCHNEIDER ELECTRIC.
 *TOP TWO HOLES MUST BE DRILLED IN FIELD



TERMINAL LUGS ‡			
AMPERES	MAX WIRE	MIN WIRE	TYPE
200	250 KCMIL	#6 AWG	AL OR CU

SYMBOL	CONDUIT SIZE		DIAMETER	
	IN	MM	IN	MM
A	.50	13	.88	22
B	.75	19	1.13	29
C	1.00	25	1.38	35
D	1.25	32	1.75	45
E	1.50	38	2.00	51
F	2.00	51	2.50	64
G	2.50	64	3.00	76
H	3.00	76	3.50	89

DUAL DIMENSIONS: INCHES
MILLIMETERS

NOTES:
 FINISH - GRAY BAKED ENAMEL
 UL LISTED - FILE E-2875
 ALL NEUTRALS - INSULATED GROUNDABLE
 SUITABLE FOR USE AS SERVICE EQUIPMENT
 SHORT CIRCUIT CURRENT RATINGS:
 10,000 AMPERES WITH CLASS H OR K FUSES.
 200,000 AMPERES WITH CLASS R FUSES HAVING CLASS R REJECTION
 KITS INSTALLED OR CLASS J FUSES.
 ON 600V SWITCHES, 100,000 AMPERE MAX ON CORNER GROUNDED DELTA
 WHEN PROTECTED BY CLASS R OR J FUSES.
 WHEN MOUNTING THESE SWITCHES, ALLOW 4.00/[102] MIN CLEARANCE BETWEEN
 ENCLOSURES FOR OPENING OF SIDE HINGED DOOR.
 ▲ TOP OF NEMA TYPE 3R DEVICES HAVE PROVISIONS FOR MAXIMUM 2.50/[64] BOLT-ON HUB.
 ‡ LUGS SUITABLE FOR 75°C CONDUCTORS.
 # IF CORNER GROUNDED DELTA, USE OUTER SWITCHING POLES FOR UNGROUNDED CONDUCTORS.
 & IF CORNER GROUNDED DELTA, INSTALL NEUTRAL AND USE OUTER SWITCHING POLES FOR UNGROUNDED CONDUCTORS.
 ~ USE ANY TWO SWITCHING POLES.
 < MAX RATING.

CATALOG NUMBER	VOLTAGE RATINGS	WIRING DIAG	HORSEPOWER RATINGS													
			240VAC				480VAC				600VAC		250 VDC	600 VDC		
			STD	MAX	STD	MAX	STD	MAX	STD	MAX	STD	STD				
H224NRB	240VAC;250VDC	B	15	25#	-	60#	-	-	-	-	-	-	-	40	-	
H324NRB	240VAC,250VDC	A	15^	25#	-	60#	-	-	-	-	-	-	-	40	-	
H364RB	600VAC;600VDC	C	15^	25#	-	60&	25^	50&	50^	125&	30^	60	50^	150	40^	50^
H364NRB	600VAC;600VDC	A	15^	25&	-	60#	25^	50#	50^	125#	30^	60	50^	150	40^	50^
HU364RB	600VAC;600VDC	D	-	-	15^	60&	-	-	50^	125&	-	-	50^	150	40^ <	50^ <

HEAVY DUTY SAFETY SWITCHES
 VISIBLE BLADE TYPE
 200 AMPERE - SERIES F5
 ENCLOSURE - NEMA TYPE 3R RAINPROOF
 SEISMIC



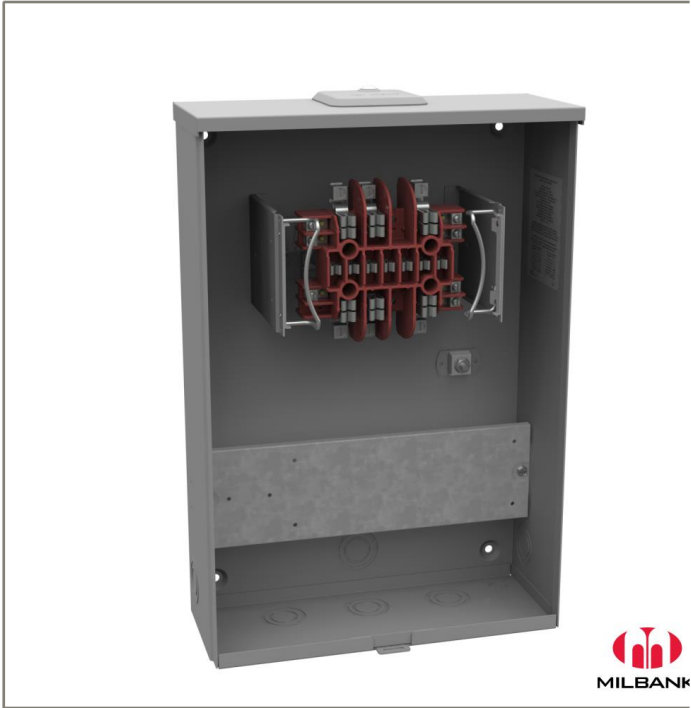
DWG# 3262S
NO.



Catalog Number: UC3889-XL
Item Description: 20A 13T RL TS PROV OU
UPC Code: 784572144651

3.a.a

Brand Name: Milbank
Type: Ring Type Meter Socket
Application: Meter Socket
Standard: UL Listed
Voltage Rating: 600 Volts Alternating Current
Amperage Rating: 20 Ampere Continuous
Phase: 3 Phase
Frequency Rating: 60 Hertz
Cable Entry: Overhead and Underground
Terminal: Single Mechanical Line Side and Single Mechanical Load Side
Mounting: Surface Mount
Enclosure: Type 3R, G90 Galvanized Steel with Powder Coat Finish



Additional Specifications: Number of Jaws:13 Terminal
Hub Opening and Closing Plates:Small Closing Plate
Bypass Provision:No Bypass
Number Positions:1 Position

Attachment: Packet Docs_Weyenberg_05.19.25 (10363 : Arch Solar C&I for Frank L. Weyenberg Library)

Utility requirements may vary. Always consult the serving utility for their requirements prior to ordering or installing this equipment. This product must always be installed by a licensed electrician. Installation of this equipment may require local electrical inspector approval.

Three Phase Inverter with Synergy Technology

For the 277/480V Grid for North America

SE80KUS / SE100KUS / SE110KUS / SE120KUS

INVERTER

Attachment: Packet Docs_Weyenberg_05.19.25 (10363 : Arch Solar C&I for Frank L. Weyenberg Library)



Powered by unique pre-commissioning process for rapid system installation

- / Pre-commissioning feature for automated validation of system components and wiring during the site installation process and prior to grid connection
- / Easy 2-person installation with lightweight, modular design (each inverter consists of 2 or 3 Synergy units and 1 Synergy Manager)
- / Independent operation of each Synergy unit enables higher uptime and easy serviceability
- / Built-in thermal sensors detect faulty wiring, ensuring enhanced protection and safety
- / Built-in arc fault protection and rapid shutdown
- / Built-in PID mitigation for maximized system performance
- / Monitored* and field-replaceable surge protection devices, to better withstand surges caused by lightning or other events
- / Built-in module-level monitoring with Ethernet or cellular communication for full system visibility

*Applicable only for DC and AC SPDs

/ Three Phase Inverter with Synergy Technology

For the 277/480V Grid for North America

SE80KUS / SE100KUS / SE110KUS / SE120KUS

MODEL NUMBER	SE80KUS	SE100KUS	SE110KUS	SE120KUS	
APPLICABLE TO INVERTERS WITH PART NUMBER	SExxK-USx8lxxxx				UNITS
OUTPUT					
Rated AC Active Output Power	80000	100000	110000	120000	W
Maximum AC Apparent Output Power	80000	100000	120000	120000	VA
AC Output Line Connections	3W + PE, 4W + PE				
Supported Grids	WYE: TN-C, TN-S, TN-C-S, TT, IT; Delta: IT				
AC Output Voltage Minimum-Nominal-Maximum ⁽¹⁾ (L-N)	244 – 277 – 305				Vac
AC Output Voltage Minimum-Nominal-Maximum ⁽¹⁾ (L-L)	422.5 – 480 – 529				Vac
AC Frequency Min-Nom-Max ⁽¹⁾	59.5 – 60 – 60.5				Hz
Maximum Continuous Output Current (per Phase, PF=1)	96.5	120	144.3		Aac
GFDI Threshold	1				A
Utility Monitoring, Islanding Protection, Configurable Power Factor, Country Configurable Thresholds	Yes				
Total Harmonic Distortion	≤ 3				%
Power Factor Range	+/-0.2 to 1				
INPUT					
Maximum DC Power (Module STC) Inverter / Synergy Unit	140000 / 70000	175000 / 58300	210000 / 70000		W
Transformer-less, Ungrounded	Yes				
Maximum Input Voltage DC+ to DC-	1000				Vdc
Operating Voltage Range	850 – 1000				Vdc
Maximum Input Current	2 x 48.25	3 x 40	3 x 48.25		Adc
Reverse-Polarity Protection	Yes				
Ground-Fault Isolation Detection	167kΩ sensitivity per Synergy Unit ⁽²⁾				
CEC Weighted Efficiency	98.5				%
Nighttime Power Consumption	< 8	< 12			W
ADDITIONAL FEATURES					
Supported Communication Interfaces ⁽³⁾	2 x RS485, Ethernet, Wi-Fi (optional), Cellular (optional)				
Smart Energy Management	Export Limitation				
Inverter Commissioning	With the SetApp mobile application using built-in Wi-Fi access point for local connection				
Arc Fault Protection	Built-in, User Configurable (According to UL1699B)				
Photovoltaic Rapid Shutdown System	EC 2014, 2017 and 2020, Built-in				
PID Rectifier	Nighttime, built-in				
RS485 Surge Protection (ports 1+2)	Type II, field replaceable, integrated				
AC, DC Surge Protection	Type II, field replaceable, integrated				
DC Fuses (Single Pole)	25A, integrated				
DC SAFETY SWITCH					
DC Disconnect	Built-in				
STANDARD COMPLIANCE					
Safety	UL1699B, UL1741, UL1741 SA, UL1741 SB, UL1998, CSA C22.2#107.1, Canadian AFCI according to T.I.L. M-07				
Grid Connection Standards	IEEE 1547-2018, Rule 21, Rule 14 (HI)				
Emissions	FCC part 15 class A				

(1) For other regional settings please contact SolarEdge support.

(2) Where permitted by local regulations.

(3) For specifications of the optional communication options, visit the [Communication product page](#) or the [Resource Library](#) to download the relevant product datasheet.

/ Three Phase Inverter with Synergy Technology

For the 277/480V Grid for North America

SE80KUS / SE100KUS / SE110KUS / SE120KUS


MODEL NUMBER	SE80KUS	SE100KUS	SE110KUS	SE120KUS	
APPLICABLE TO INVERTERS WITH PART NUMBER	SExxK-USx8Lxxxx				UNITS
INSTALLATION SPECIFICATIONS					
Number of Synergy Units per Inverter	2	3			
Ac Max Conduit Size	2 ½"				in
Max AWG Line / PE	4/0 / 1/0				
DC Max Conduit Size	1 x 3"; 2 x 2"				in
DC Input Inverter/ Synergy Unit	8 / 4 pairs; 6-12 AWG	12 / 4 pairs; 6-12 AWG			
	2 pairs / 1 pair, Max 2 AWG; copper or aluminum	3 pairs / 1 pair, Max 2 AWG; copper or aluminum			
Dimensions (H x W x D)	Synergy Unit: 22 x 12.9 x 10.75 / 558 x 328 x 273 Synergy Manager: 14.17 x 22.4 x 11.6 / 360 x 560 x 295				in / mm
Weight	Synergy Unit: 70.4 / 32 Synergy Manager: 39.6 / 18				lb / kg
Operating Temperature Range	-40 to +140 / -40 to +60 ⁽⁴⁾				°F / °C
Cooling	Fan (user replaceable)				
Noise	< 67				dBA
Protection Rating	NEMA 3R				
Mounting	Brackets provided				

(4) For power de-rating information refer to the [Temperature De-rating - Technical Note \(North America\)](#).

SolarEdge is a global leader in smart energy technology. By leveraging world-class engineering capabilities and with a relentless focus on innovation, SolarEdge creates smart energy solutions that power our lives and drive future progress.

SolarEdge developed an intelligent inverter solution that changed the way power is harvested and managed in photovoltaic (PV) systems. The SolarEdge DC optimized inverter maximizes power generation while lowering the cost of energy produced by the PV system.

Continuing to advance smart energy, SolarEdge addresses a broad range of energy market segments through its PV, storage, EV charging, UPS, and grid services solutions.

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Cautionary Note Regarding Market Data and Industry Forecasts: This brochure may contain market data and industry forecasts from certain third-party sources. This information is based on industry surveys and the preparer's expertise in the industry and there can be no assurance that any such market data is accurate or that any such industry forecasts will be achieved. Although we have not independently verified the accuracy of such market data and industry forecasts, we believe that the market data is reliable and that the industry forecasts are reasonable.



solaredge



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Department of Community Development

TO: Planning Commission
FROM: NATALIE REDDING, CITY PLANNER
DATE: May 19, 2025
SUBJECT: Trinity Church. The applicant is seeking minor request approval for a sign waiver to allow for an off-premises sign at a reduced setback for the property located at 11458 N. Wauwatosa Road.

Applicant: Trinity Church
Status of Applicant: Owner
Requested: Minor Request – Sign Waiver
Existing Use: IPS (Institutional and Public Service)
Existing Zoning: IPS
Land Use Plan: IPS
Lot size: 1.65 Acres
Location: 11458 N. Wauwatosa Road
Tax Key Number: #14-022-10-022.00
District: #3

Background: The applicant is requesting a sign waiver to allow for an off-premises sign at a reduced setback for the property located at 11458 N Wauwatosa Road. At the December 2nd, 2024, Planning Commission meeting, a land division separating the existing church and parsonage from the cemetery was approved. The existing church has come under new ownership, and the previous owner, Trinity Lutheran Church, has retained the existing cemetery.

Sign Waiver:

The proposed sign waiver is to allow for a directional, off-premises sign on Lot 1 of CSM #4289 (see Exhibit A), directing the public to the Trinity Lutheran cemetery at the rear of the property (Lot 2). Off-premises signs are referred to in section **62-2** of the code of ordinances as follows:

“any sign that advertises, calls attention to or identifies an entity, enterprise or property situated on a different lot than the sign.”

These signs are typically prohibited by the City of Mequon; thus, a sign waiver is required. Furthermore, the sign is being proposed at a 6-foot setback from the property line, whereas the City of Mequon sign code requires a 10-foot setback from any property line, right-of-way, or driveway. As such, an additional waiver is required for the reduced setback.

Per staff request, the applicant placed stakes on the site, one at the proposed 6-foot setback and one at the required 10-foot setback. Staff conducted a site visit to take photos of the proposed locations (see Exhibit B) and ultimately does believe that the tree line creates a visual encumbrance to the sign placement at 10 feet, as this location puts the sign slightly behind the

tree line. Furthermore, the Wisconsin Department of Transportation right-of-way, which extends roughly 50 feet east from the center line of Wauwatosa Road, creates the illusion of a larger frontage than the property has in reality. Staff therefore supports the reduced setback and placement of the sign at 6 feet from the property line. Staff notes, however, that even at 6 feet, there will still be some reduced visibility due to the placement and shading of the trees.

Sign Design:

The sign proposed is aluminum in material, mounted on a metal post, and will read “Trinity Lutheran Cemetery.” The submitted renderings propose a sign perpendicular to Wauwatosa Road, with arrows pointing towards the cemetery. The applicant has since confirmed that they will instead place the sign parallel to Wauwatosa Road and remove the arrows, as this position will be better for visibility. Due to the City of Mequon’s design standards and to maintain consistency with other cemetery signs in the city, staff recommends the sign be designed as a “hanging plaque,” similar to the St. Francis Borgia Cemetery sign, which was approved at Planning Commission in January of 2021 (see Exhibit C). Staff also recommend that the sign be hung on a wood post rather than a metal pole, to aid in cohesivity with the other freestanding sign on site from the public view.

In evaluating the project and conducting the site visit, staff was made aware that the existing wooden freestanding sign associated with the church may be out of compliance with its required setback, and thus not installed in accordance with its permit conditions. As a condition of the approval for allowing an off-premise sign, the existing non-compliant sign shall be resolved before the off-premise sign is installed.

Staff Recommendation:

Staff recommend approval of the sign waiver based on the following conditions:

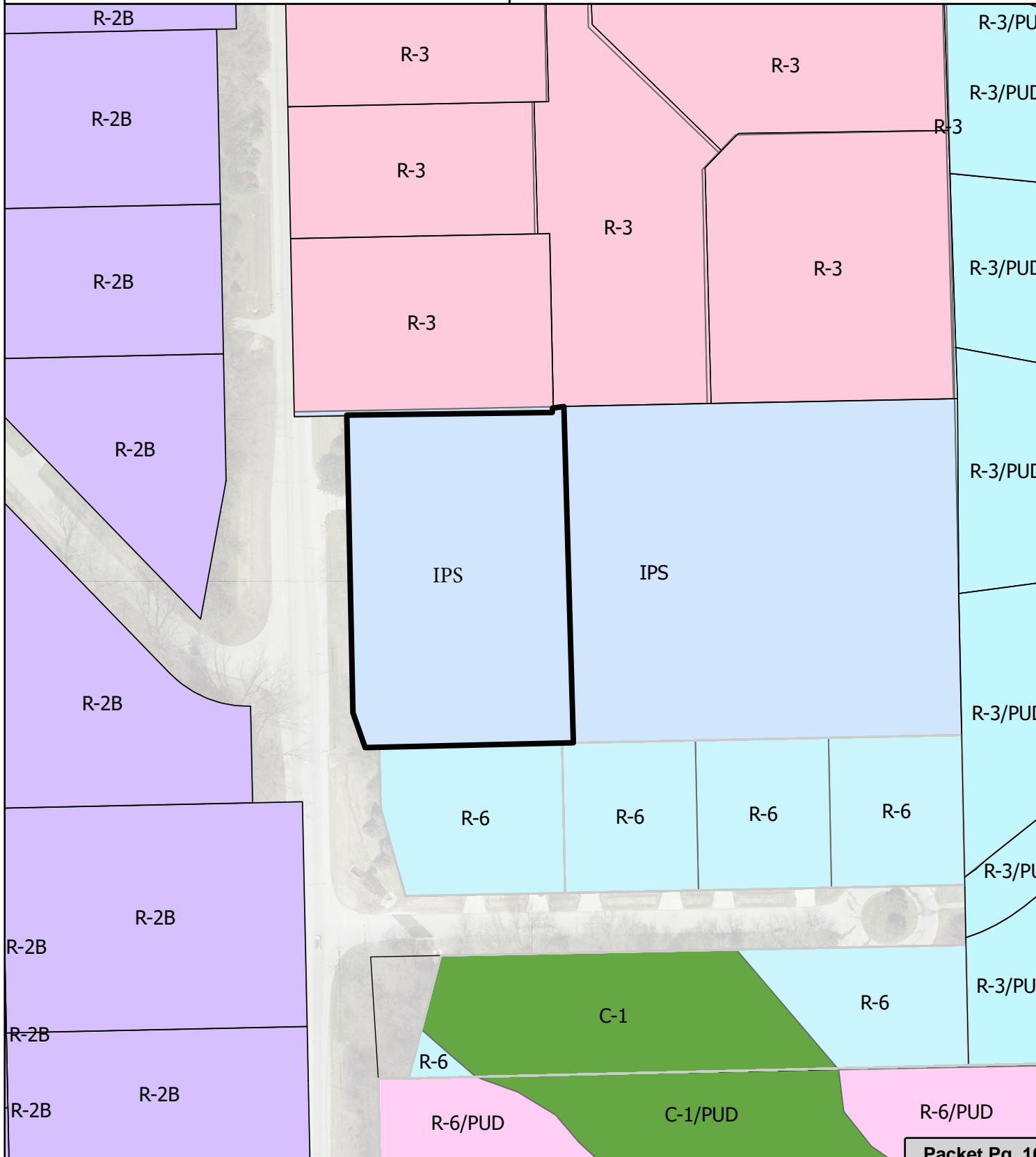
1. The off-premise sign shall be set back no closer than six (6) feet from the property line and shall be mounted on a wooden post and designed as a hanging plaque (as per Exhibit B).
2. The existing non-compliant sign shall be resolved prior to the installation of the off-premises sign.
3. Final staff review and approval of sign permits.

Attachments:

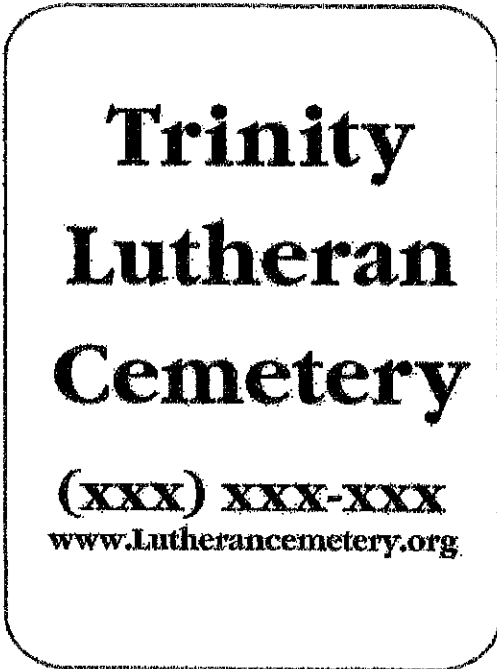
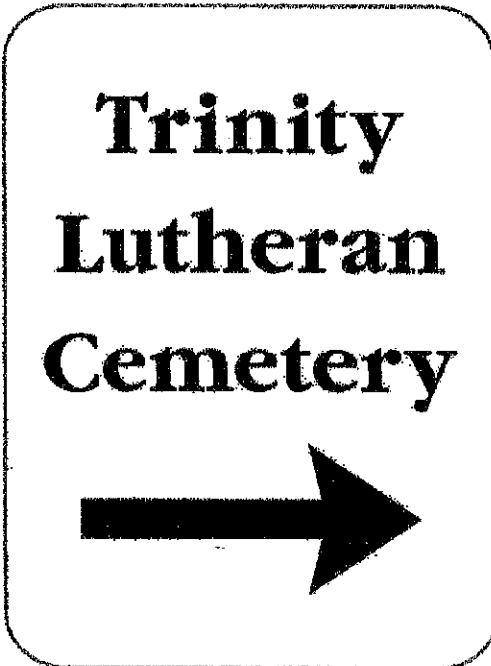
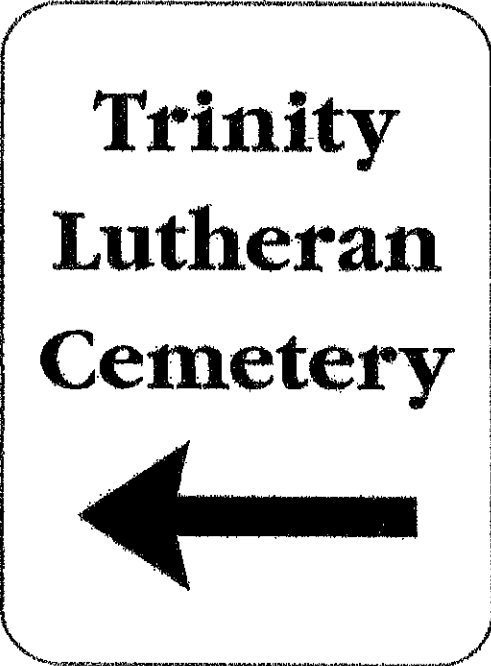
Packet Docs_Trinity_05.19.25 (PDF)

TRINITY CHURCH

AC	Arrival Corridor	IPS	Institutional & Public Service
A-1	Agricultural Preserve	NC	Neighborhood Commercial
A-2	General Agricultural	OA	Agricultural Overlay
B-1	Neighborhood Business	PUD	Planned Unit Development Overlay
B-2	Community Business	P-1	Park & Recreation
B-3	Office & Service Business	R-1	Single-Family Residential (5 Ac. Min.)
B-4	Business Park	R-1B	Single-Family Residential (2.5 Ac. Min.)
B-5	Light Industrial	R-2	Single-Family Residential (2 Ac. Min.)
B-6	Rural Industrial	R-2B	Single-Family Residential (1.5 Ac. Min.)
B-7	Rural Business	R-3	Single-Family Residential (1 Ac. Min.)
C-1	Shoreland/Wetland Conservancy	R-4	Single-Family Residential (3/4 Ac. Min.)
C-2	General Conservancy	R-5	Single-Family Residential (1/2 Ac. Min.)
CGO	Central Growth Overlay	R-6	Single-Family Residential (4 DU/Ac.)
FFO	Flood Fringe Overlay	RM	Multi-Family Residential
FW	Floodway	TC	Town Center
IPS	Institutional & Public Service	TDR	Transfer of Development Rights



Attachment: Packet Docs_Trinity_05.19.25 (10364 : Trinity Church)

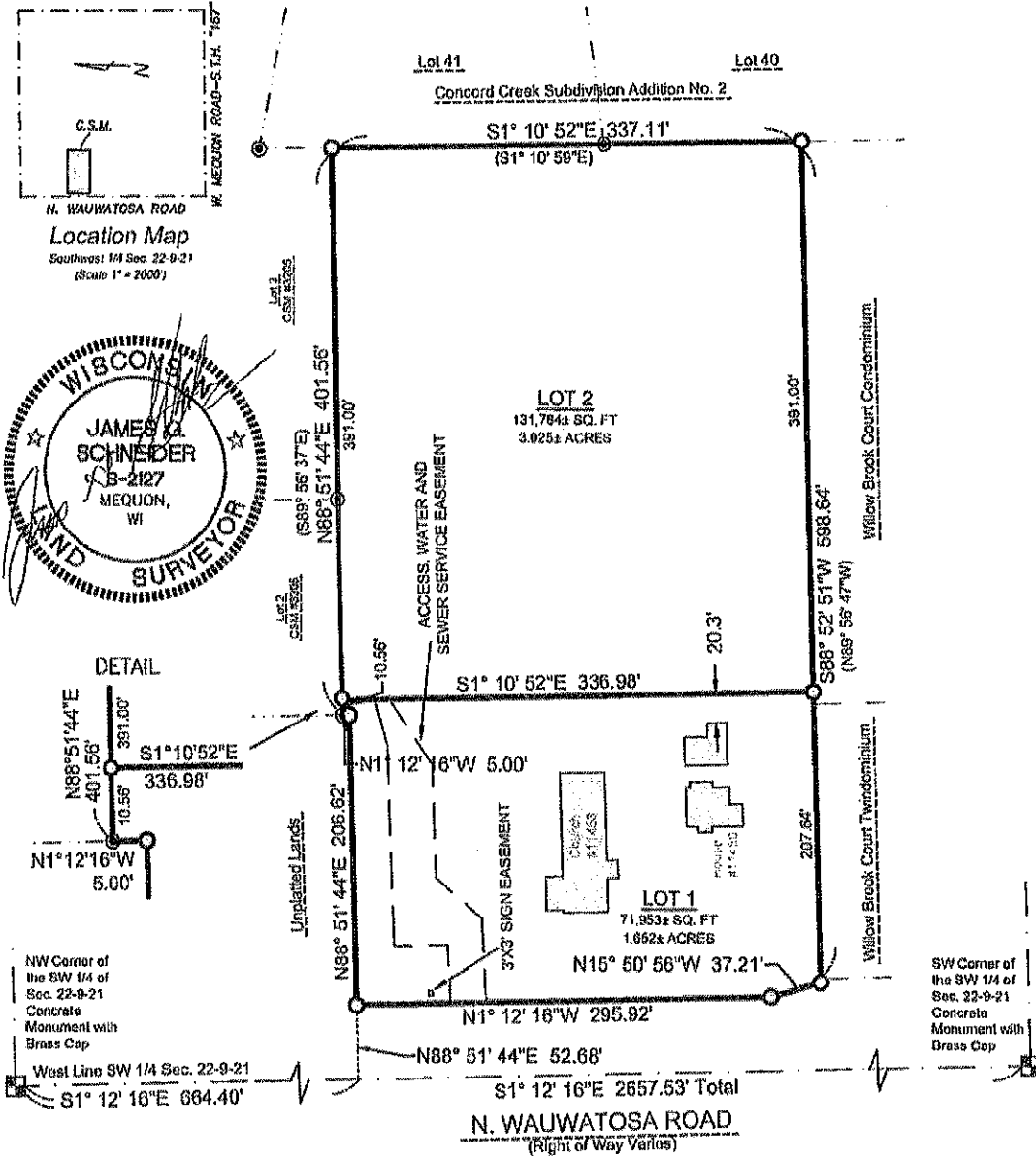


} sign within cemetery

Attachment: Packet Docs_Trinity_05.19.25 (10364 : Trinity Church)

CERTIFIED SURVEY MAP NO. _____

A division of part of the Northwest 1/4 of the Southwest 1/4 of Section 22, Township 9 North, Range 21 East, in the City of Mequon, Ozaukee County, Wisconsin.



LEGEND & NOTES:

- ⊙ INDICATES FOUND 1.3" DIAM. IRON PIPE
- ⊙ INDICATES SET 1.3" DIAM. IRON PIPE, 16" LONG, WEIGHING 1.50 LBS/LIN. FT.
- () INDICATES ALSO RECORDED AS

COORDINATES & BEARINGS REFERENCED THE WISCONSIN STATE PLANE COORDINATE SYSTEM WITH THE WEST LINE OF THE SW 1/4 OF SEC. 22-9-21, ASSUMED TO BEAR S1° 12' 16" E. AS PUBLISHED BY SEWRPC, NAD 1983.

Prepared For:
Trinity Evangelical Lutheran Church
c/o Gary Griesch (414) 254-6326
11458 N. Wauwatosa Road
Mequon, WI, 53092

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GRAPHIC SCALE



PROJECT NUMBER 23328 DRAFTED BY JGS
DATED 1-03-2025

Sheet 1 of 4

Attachment: Packet Docs_Trinity_05.19.25 (10364 : Trinity Church)



Sign proposed at 6 feet

Sign proposed at 10 feet



Attachment: Packet Docs_Trinity_05.19.25 (10364 : Trinity Church)



Attachment: Packet Docs_Trinity_05.19.25 (10364 : Trinity Church)



Picture #1

*West Drive
Current sign*

**WEST ENTRANCE
EXISTING SIGN**

Attachment: Packet Docs_Trinity_05.19.25 (10364 : Trinity Church)