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Department of Community Development

PLANNING COMMISSION
Ad Hoc Port Washington Road Design Standards Commission
Thursday, March 17, 2022
1:30 PM
Virtual Meeting
Agenda

MEETING NOTICE: Pursuant to the current recommendation of the CDC limiting the size of public gatherings and the various federal and state orders implementing that recommendation, and to help protect our community from the Coronavirus (COVID-19) pandemic, this meeting will be held virtually through the GoToMeeting platform with each member accessing the meeting remotely. Citizens may join the meeting online or by phone. Please go to <https://global.gotomeeting.com/join/885171437> to join the meeting online or call into the meeting by dialing 1 866 899 4679 and enter access code 885-171-437.

WRITTEN PUBLIC COMMENTS may be made in writing in advance of the meeting. Written comments should be directed to the Department of Community Development at least 2 hours prior to the meeting by email at DCD1@ci.mequon.wi.us addressed to the intended committee. Written public comment may also be deposited in the drop box at City Hall on 11333 N. Cedarburg Road, Mequon at least 2 hours prior to the meeting. Comments received timely will be forwarded to all members of the body for their consideration.

VERBAL PUBLIC COMMENTS will be accepted only from members of the public who register in advance. Registration shall be made by sending an email to at DCD1@ci.mequon.wi.us or by leaving a message at 262.236.2903 no later than 2 hours prior to the meeting.

- 1. Call to Order**
- 2. Ulao Creek Neighborhood Design Guidelines**
- 3. Port Washington Road RFP Update**

Dated: March 14, 2022

/s/ John Wirth, Chair

.....
Notice is hereby given that a quorum of other governmental bodies may be present at this meeting to present, discuss and/or gather information about a subject over which they have decision-making responsibility, although they will not take formal action thereto at this meeting.

Persons with disabilities requiring accommodations for attendance at this meeting should contact the City Clerk's Office at 262-236-2914, twenty-four (24) hours in advance of the meeting.

Any questions regarding this agenda may be directed to the Department of Community Development's Office at 262-236-2904, Monday through Friday, 8:00 AM – 4:30 PM

TO: Planning Commission
FROM: Kim Tollefson, Director of Community Development
DATE: March 17, 2022
SUBJECT: Ulao Creek Neighborhood Design Guidelines

Background

A draft neighborhood design guideline for Ulao Creek is attached and addresses overall principles of rural character as well as specific design standards related to streetscape, architecture and site design. The draft is a result of exploring features within the neighborhood, listening to the interest of the participants at community open houses and the members of the Ad Hoc Design Committee. Staff reviewed various design guidelines for other communities related to format and topics to address. Graphics and imagery are included to deliver ideas of the City's expectations.

Guide

The guide is meant to supplement the zoning districts established for the neighborhood and is focused on a unique and distinct aesthetic including buildings, sites and street edges. The existing buildings within the corridor do lend themselves to a nice rural character that, in most cases, is low density, linear and share a larger setback from the road with soft, native landscaping.

A strategic inclusion is to showcase imagery of both acceptable and discouraged (or prohibited) design elements. While much of the design guideline is up for debate and discussion, there are elements have already been decided by the Planning Commission and Common Council through the adoption of the zoning districts for Ulao Creek. Those are as follows:

- North Port Washington Road right-of-way
- Setback from all right-of-way
- Landscaping with the setback.
- Approved Ulao Creek streetlight
- Location and width of multi-use path
- Streetscape landscaping species

There is still work to complete certain sections of the guide for consistency throughout. In addition, maps of the neighborhood will be added to link the narrative and graphics to actual locations in the area.

END OF MEMO

Attachments:
Design Guide 02.2022 (PDF)

MEQUON'S ULAO CREEK RURAL NEIGHBORHOOD DESIGN GUIDE



DRAFT – FEBRUARY/MARCH 2022



Commented [KT1]: EXTRA IMAGERY TO USE IN

COMMITTEE ACKNOWLEDGEMENTS

Port Washington Road Ad HOC Design Committee

List members

Planning Commission

List members

City Officials

List members

City Staff

List members



ULAO CREEK NEIGHBORHOOD DESIGN GUIDE

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- Strategic Context
- Pending Public Improvements
- Design Districts

Vision

- Vision & Objective Statements
- Gateway
- Environmental Zone
- Public Use Zone
- Streetscape Zone

Rural Design Principles

- Architectural Style & Character
- Building Design Guidelines
- Site Design Guidelines
- Signage

Specific Design Guidelines for Each District.....

- Gateways
- Neighborhood Commercial Nodes
- Housing
- Mixed Use Commercial Node

INTRODUCTION

Purpose. Mequon's Ulao Creek Neighborhood Design Guide is an integral component to planning, management and implementation of development within the 750-acre east side neighborhood interfacing Interstate-43 and at the northern edge of the City's largest commercial corridor. The Mequon Common Council identified a need to prepare a design framework to ensure attractive site and building design as well as the introduction of unique elements at the gateway to the City and at the edge of the City's Port Washington Road commercial area.

This design guide shall be utilized by landowners, developers, architects, planners and City of Mequon decision-makers and elected officials as a tool for development, seeking coordination efforts between public and private sectors to maintain and exemplify the uniqueness of Mequon's Ulao Creek neighborhood. It builds upon, and shall be used in conjunction with, the following City document(s):

- Ulao Creek Zoning Districts
- Land Use Plan Map
- Comprehensive Plan 2035
- Park & open space comp plan
- East Growth Neighborhood Plan
- East Growth Market analysis
- Neighborhood Open House(s)
- Visioning Survey(s)

Neighborhood Area. The Ulao Creek Neighborhood encompasses the North Port Washington Road corridor from Highland Road to Pioneer Road and from Oriole Lane/ Ulao Creek to I-43, including distinct gateway locations at Highland Road and Pioneer Road.

(Insert map and surroundings of neighborhood)

Strategic Context. The neighborhood's existing attributes include a presence of institutional and public uses including Concordia University of Wisconsin, Oriole Lane Elementary School, Ascension Hospital, New Castle **senior living**, Missing Links Golf, Christ Church and Unitarian Church. These built conditions compliment the otherwise single-family residential neighborhood that includes **over x acres** of critical environmental areas including Ulao Creek, a **xxxxx, xx** acres of protected wetlands and Garrison Glen, **a designated city park**, featuring.....

Major adjacent influencing features include attractions to the west, via Highland Road, include River Club **golf**, Rotary Park (host site of Gathering on the Green), Highland Woods, MATC-Mequon Campus, Ozaukee County Inter-Urban Trail. Adjacent influences to the south

Commented [KT2]: Staff to add accurate, official

include the City's principle east-side commercial district and to the east include I-43, xxx, and Lake Michigan.

Pending Public Improvements. WisDOT begins reconstruction of I-43 in 2022, including expanded access to I-43 from Highland Road. Ascension medical office, under construction in 2021, dedicates a xx acre Outlot for future gateway features and implements required neighborhood streetscaping including a multi-use path, streetlights, street trees and roadway landscaping. In 2021, the City Park and Open Space Committee unanimously approved.... For inclusion in the City's Comprehensive Plan in 2022. The Ulao Creek linear park is a 10-mile looped parkway including and connecting users from Garrison Glen x and Pioneer Road to Ulao Creek, Oriole Lane Elementary School, Highland Road, CUW and Lake Michigan. Lake Shore Drive and x are a designated bike routes? Features within the 10-mile linear park will be implemented through a combination of private development and public capital improvements projects by the City.

Design Districts. A shared set of design districts will carry out a common theme and elements that maintain and exemplify the uniqueness of the neighborhood through both the private development interests and pending public improvements. While the neighborhood has an established and desired character, each design district has its own function and therefore merits some specific guidelines. The following design districts have been established:

- Gateway Locations
- Neighborhood Commercial Nodes
- Community Housing
- Mixed Commercial Node

(Insert map with districts noted)

PUBLIC IMPROVEMENTS:

- Garrison Glen park
- Improved View and Access to Ulao Creek
- I-43 and Highland Road Interchange
- Park & Ride Lot
- Gateway Features
- Unified Streetscape Features
- 10-mile Linear Park

Commented [KT3]: Staff to add accurate, official designations

VISION

The aspects of rural use and character is a long standing principle in Mequon's community. Over XX percent of the City's x acreage is dedicated for rural land uses. Preservation of rural character is particularly desired for the Ulao Creek Neighborhood given the impact pressures of the surrounding context of the area. It is with intent, that the rural character be preserved through land uses, development layout and design principles. The commercial area of N. Port Washington Road, Town Center and the access to other commercial uses via I-43 can serve the broader service needs of this rural neighborhood.

Key Vision Statements & Objectives. These following vision statements and objectives guide the design principles for the neighborhood.

Vision 1. Transform city edges as gateways to celebrate the rich, historic rural settings as a distinct and dynamic neighborhood

- Objective. Properties located at the intersections of Highland and Port Washington Road and Pioneer and Port Washington Road will include designated open space at the intersection and along each public street (set linear distance) for City or neighborhood gateway features distinct to neighborhood
- Objective. Properties located at the intersections of Highland and Port Washington Road and Pioneer and Port Washington Road shall free of parking and free of signage for private company name and branding within the designated open spaces.
- Objective. Gateway features shall incorporate features including the Ulao Creek street light, street trees, native landscaping and multi-use path.

Vision 2. Deliver economic opportunity while focusing on the desire of and livability for current and future residents

- Objective. Land uses are predominately residential and neighborhood convenience to direct community wide and large scale services to the area south of Highland Road.
- Objective. Commercial land uses are limited in type and operations based on community desirability and marketability.
- Objective. Control impacts of expanding development including market viability, traffic volume, density, building mass and overall aesthetics.

Vision 3. Protect and enhance the existing rural, passive landscape and habitat areas through regulatory

- Objective. Use Native Vegetation to strengthen and increase canopy cover on development sites.

Commented [KT4]: Insert accurate #s

Commented [KT5]: Does the committee like the specificity or prefer more broad statements?

Commented [KT6]: These are examples of less de broader statements.

- Objective. Require stormwater management systems and green infrastructure to reduce impact of development and promote management of natural water and runoff from new development.
- Objective. Connect and protect habitats and natural environments.
- Objective. Connect people to rural open space and nature at multiple locations.

Vision 4. Provide connectivity within neighborhood and to major, adjacent features

- Objective. Promote development in a manner that creates a 20 minute safe and walkable neighborhood.
- Objective. Require transitions between the built form and open space.

MAP

(Insert gateway locations/nodes) – marks entries, treatments include

(Insert neighborhood and surrounding amenities) – blue/green /public locations / connections

(Insert trails) – linear parkway

VISION IMAGERY

Vision Imagery: Gateway Features

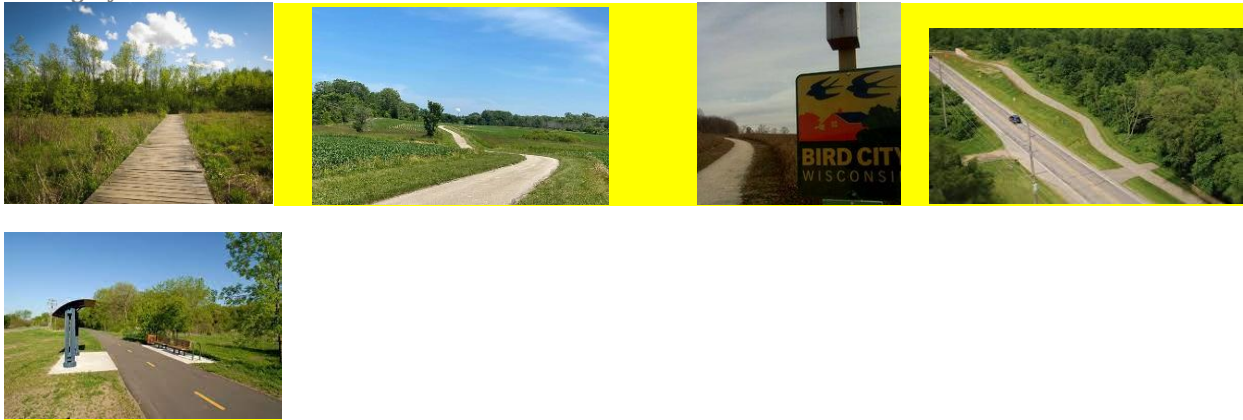


Commented [KT7]: Committee should review ALL for likes / dislikes – we should add dislikes

Vision Imagery: Environmental Protection and Restoration



Vision Imagery: Public Use Zone



Vision Imagery: Streetscape Zone



RURAL DESIGN PRINCIPLES



Consistent and defining architectural design standards are required to mitigate the development pressures associated with I-43, protect from commercial sprawl, foster redevelopment of the commercial corridor of North Port Washington Road, south of Highland Road and build this distinctive neighborhood consistent with the rural character of Mequon's history.

General Architectural Style and Character

- Predominant architectural style shall be rural, including modern farm, to establish a common aesthetic and compatibility to the neighborhood.
- Style themes and elements include octagon, linear, intersecting rooflines, low-slope roof lines, cupolas, dormers, awnings, transom windows, stone beltlines.
- Style can be based upon the suitability for the building's intended use.
- The scale and coloring of buildings shall blend with the open space and environment by remaining earth toned, reducing the overall massing with more than one roof line and including projections.

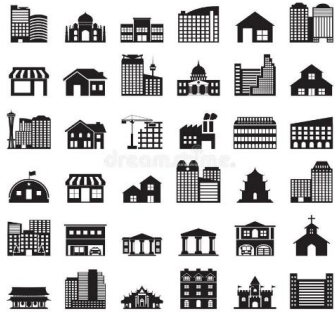
Building Materials:

- Brick, native stone including lannon stone , limestone (others)
- Wood or engineered wood siding of various sizes
- Vinyl siding but not as the only building material.
- Precast stone and concrete but not as the only building material.
- Metal as a secondary material but not as the only building material.
- Glass as a secondary material which does not dominant principle features or facades.
- Decorative concrete as a secondary material but not as the only building material.

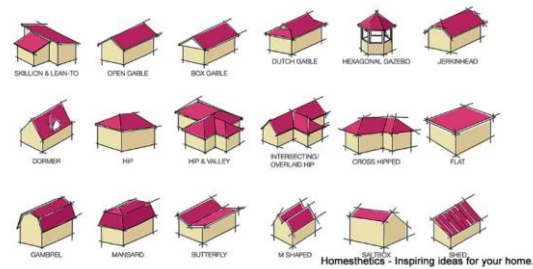
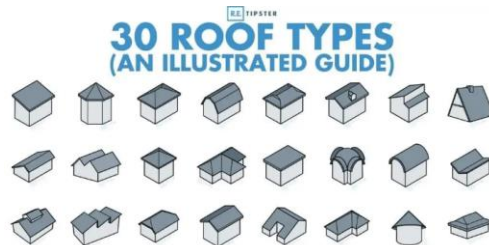
Commented [KT8]: Other materials that are acceptable? Any prohibited?

NON-RESIDENTIAL RURAL ARCHITECTURAL STYLE IMAGERY





Acceptable and Discouraged Roof Forms include the following:



Acceptable Roof Materials include the following:

- Acceptable: Wood Shingles and Shake
- Slate
- Asphalt Shingles

Commented [KT9]: In all of these, the Committee select which are acceptable and which are prohibite

- Metal Seam
- Aluminum and Metal Shake

Acceptable secondary roofing materials include the following:

- Coated or painted metal to resemble weathered look
- Cement roof tiles in natural colors
- The use of green roofs should be highly encouraged in newer buildings in which flat roofs are used

Discouraged Roof Materials including the following:

- Clay Tile
- Vinyl

Commented [KT10]: Are there any other prohibited discouraged materials?



General Building Design Guidelines for All Non Residential Structures and Uses

- Buildings are limited in height to single and two-stories.
- Buildings are limited to 25,000 square feet in area.
- Brands associated with business identity are recognized as important but are required to be balanced with meeting guideline and the local design character.
- Design elements shall be consistent on all publicly visible sides of the building, except for the rear façade of commercial uses facing I-43.
- Building shall provide detail and proportion to promote visual interest
 - Architectural elements and variations in elevation and roof lines are required.
 - Recessed
 - Parapet walls, if approved, shall appear three dimensional and solid, including extending to and wrapping around corners.
- Blank walls shall be avoided. Screening for blank walls includes landscaping (*e.g., trellises with vines and other native vegetation*), architectural features (*e.g., decorative accents, transom window and beltlines*).
- Public entryways shall be located on the front, public street facing façade and shall be emphasized with one or more of the following transitions, and shall be designed as the principle entrance:
 - covered plaza/porch
 - arbors or pergolas
 - seat walls with landscape courtyards
- Entryways shall be well lit and be distinctive so to be identifiable from the street
- Garage, loading and service doors shall be prohibited on the front, public street facing façade and be located on any of the following:
 1. rear façade at any point,
 2. side façade for only the rear 2/3 portion with a recess in order to create a shadow, upgrade the appearance and reduce their prevalence
- Roof mounted mechanical equipment shall be screened from public view, including street view, adjacent residential view and public pedestrian walkway view.
- Outdoor storage is limited in the neighborhood by regulations and through an outdoor storage permit.

Built Form: Neighborhood Commercial Nodes

Smaller retail stores that are part of a larger principal building should have display windows and separate outside entrances.

Built Form: Senior Housing



Commented [KT11]: Staff needs to further develop this section of the guide. This should include any specific factors that apply to specific geographic areas of the neighborhood.

Site Design Guidelines

Site Design: driveways shall be enhanced with trees / landscaping to create a sense of arrival – dictate first tree bank?

- Use swales with native vegetation interior to the site for stormwater management.
- Consolidation of driveways, locating parking behind buildings and creating parking lot islands with landscaping is required

Commented [KT12]: Staff needs to further develop this section of the code, but it is regulated by the zoning code to some degree.

Signage:

Recreation & Amenities

- Open spaces
- Gateways
- Trails
- Buffers

Commented [KT13]: Additional standards need to be developed.

Streetscape Design Guidelines

Streetscapes with similar plant materials and trees, landscaping elements, building massing and scale, and pedestrian elements reinforce the landscape character of the neighborhood and community.

- Limit pre-construction clearing and preserve mature trees and existing vegetation to screen new developments or incompatible uses from roadways.
- Retain and add native vegetation along the public right-of-way.
- Provide seating areas in a variety of places, depending on the circumstances and environment, such as along trails and near frequently used public areas.
- Provide the approved Ulao Creek street lighting areas to increase actual and perceived personal safety.
- Locate streetscape elements to maintain pedestrian and motorist visibility. Street trees, street edge landscaping and a multi-use path (west side of Port Washington Road). Sight lines between three (3) to eight (8) feet above the ground is necessary.
- Streetscapes will incorporate similar design elements throughout blocks and across roadways or driveways
- Sidewalk continuity is necessary for the use by pedestrians.
- Provide street trees on both sides of N Port Washington Road.

The following selections will ensure a unified theme and healthy, diverse ecosystems, as well as visually interesting streetscapes.

- Port Washington Road ROW is x
- Multi-use asphalt path is eight feet in width and setback 20 feet from ROW

SHOW IMAGE

- Street trees are clustered, except at the Neighborhood Commercial Node sites, at intervals of every x feet.
- Street lights are located along the multi-use path at interval of every x feet.



120 foot interval

- Landscape clusters are located along the multi-use path at intervals of every x feet (distinct distances for neighborhood commercial node vs remainder of corridor)
 - Trees every 60'. All trees to be located on back side of path (i.e. between path and buildings)
 - Shrubs –Groupings of 3 placed in between light fixtures as directed on front side of path (i.e. between path and road).
1. 'Little Devil' Ninebark
 2. 'Blue Muffin' Viburnum/ 'Red Feather' Viburnum
 3. 'Miss Kim' Lilac
 4. 'Grefsheim' Spirea
 5. 'Tor Birchleaf' Spirea (great fall color)
 6. Black Chokeberry
 7. Native Grasses

Commented [KT14]: These standards are already in the zoning. A sample of its implementation can be seen at the new Ascension medical clinic on Highland and Port Washington Road.

Commented [KT15]: Staff can add specifications to the sheet for the selected light.

Commented [KT16]: Staff can add some imagery of species and formalize the narrative better.

TERMINOLOGY

Commented [KT17]: Any further explanation can be detailed here regarding terms within guide.

Commented [KT18]: The following is some additional imagery to use throughout guide.



ULAO CREEK NEIGHBORHOOD DESIGN GUIDE





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