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Department of Community Development

PLANNING COMMISSION
Ad Hoc Port Washington Road Design Standards Committee
Tuesday, January 24, 2023
1:00 PM
Virtual Meeting
Agenda

MEETING NOTICE: Pursuant to the current recommendation of the CDC limiting the size of public gatherings and the various federal and state orders implementing that recommendation, and to help protect our community from the Coronavirus (COVID-19) pandemic, this meeting will be held virtually through the GoToMeeting platform with each member accessing the meeting remotely. Citizens may join the meeting online or by phone. Please go to <https://global.gotomeeting.com/join/885171437> to join the meeting online or call into the meeting by dialing [1 866 899 4679](tel:18668994679) and enter access code 885-171-437.

- 1) Call to Order**
- 2) Port Washington Road Streetscape: Final Concept Plans**
Discuss and Approve
- 3) Next Meeting Date Selected: Design Guidebook Approval**
- 4) Announcements**
- 5) Adjourn**

Dated: January 20, 2023

/s/ John Wirth, Chair

Notice is hereby given that a quorum of other governmental bodies may be present at this meeting to present, discuss and/or gather information about a subject over which they have decision-making responsibility, although they will not take formal action thereto at this meeting.

Persons with disabilities requiring accommodations for attendance at this meeting should contact the City Clerk's Office at 262-236-2914, twenty-four (24) hours in advance of the meeting.

Any questions regarding this agenda may be directed to the Department of Community Development's Office at 262-236-2904, Monday through Friday, 8:00 AM – 4:30 PM



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Office of Community Development

TO: Planning Commission
FROM: Jac Zader, Assistant Director Community Development
DATE: January 24, 2023
SUBJECT: Port Washington Road Streetscape: Final Concept Plans

Background

Harwood Engineering Consultants, specifically Luke Haas, Director of Landscape Architecture, serves as the City's consultant to develop streetscaping features for the Port Washington Road commercial corridor from Mequon Road to Zedler Lane. Based on feedback from the Ad Hoc Committee at its August and September meetings, he has prepared a final concept plan for review.

Plan Updates:

The final plan (see attached) details landscaping elements in the median areas, pedestrian crossing designs and locations and lighting locations. Changes to the plan based on comments from the last meeting include an option for a stamped asphalt treatment for the pedestrian crossings, new options for the lighting fixtures and the extension of the intersection improvements to include the Mequon Road/Port Washington Road intersection.

Stamped Asphalt

At the September meeting, the committee expressed concern over the use of stamped concrete for the pedestrian crossings based on long term durability and maintenance. Staff and the consultant look into other possible treatments for the intersection and found that a stamped asphalt application (see attached examples) has been used successfully in cold weather climates including in the Third Ward in Milwaukee. If the committee is supportive of the use of stamped asphalt for the crossings, a decision will need to be made on the color and the pattern of the crosswalk. The consultant will be prepared to discuss the potential cost associated with the installation and maintenance of stamped asphalt at the meeting.

Light Fixtures

At the last meeting, the Committee stated that they would be interested in seeing additional lighting options that are more traditional looking. The consultant has provided three new designs that will provide adequate light levels to the corridor but are more traditional in nature. The originally proposed light fixture choices are also included in the packet. The Committee will need to decide what fixture is the preferred option for the corridor.

Mequon Road/Port Road Intersection

The consultant has reviewed the proposed changes to the Mequon Road/Port Washington Road intersection as part of the I-43 expansion project (see attached plans). The plans show the widening of Mequon Road east of Port Washington Road and the remaining intersection remaining the same. In his opinion, there are very few opportunities for improvements in the intersection except for the pedestrian cross walks. The concept plan shows that the same pedestrian crossing treatment for the intersection is the same as what is being shown along the rest of the corridor. The intersection is under the jurisdiction of the DOT so any changes will require their approval. Since this section of Mequon Road will be reconstructed in 2024 or 2025, the intersection improvements will need to be done in concurrence with the I-43 project or after its completion. Since this is one of the most prominent intersections in the city, staff believes additional amenities are worth exploring outside the scope of the project. If the Committee is supportive of this, a formal recommendation should be made along with the concept plan to the Common Council.

Other Considerations

There was a discussion on the burial of the overhead wires along Port Washington Road. While the Committee felt that the price tag was too high to address as part of this project, there was consensus that burial of the wires should be considered in the future. The Committee should decide whether the burial of the wires should be part of the formal recommendation to the Common Council along with the concept plan.

Annual Maintenance:

Since the City will be making changes to the medians in Port Washington Road, the responsibility to maintain them will shift from Ozaukee County to the City of Mequon. Staff from the Department of Public Works has put together an estimate (see attached) that details what additional annual cost will be required due to the proposed improvements. Representatives from DPW will be available at the meeting to answer any questions.

Staff Summary

If the Committee, approves the final concept plan, it will be forwarded on to Ozaukee County for their review in February and final action by the Common Council in March with the intent to develop bid plans by April and construction starting in fall.

Attachments:

Port Wash Rd Streetscape - Concept Design (10-10-2022) (PDF)

Port Wash Rd Streetscape - Lighting Options (PDF)

Pole Fixt OptA (PDF)

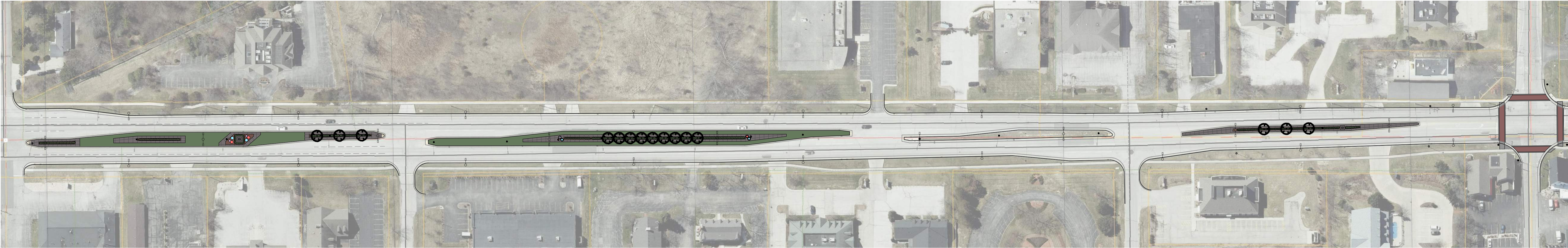
Pole Fixt OptB (PDF)

Port Wash Rd Streetscape - Opinion of Cost (01-24-2023) (PDF)

Colors (PDF)

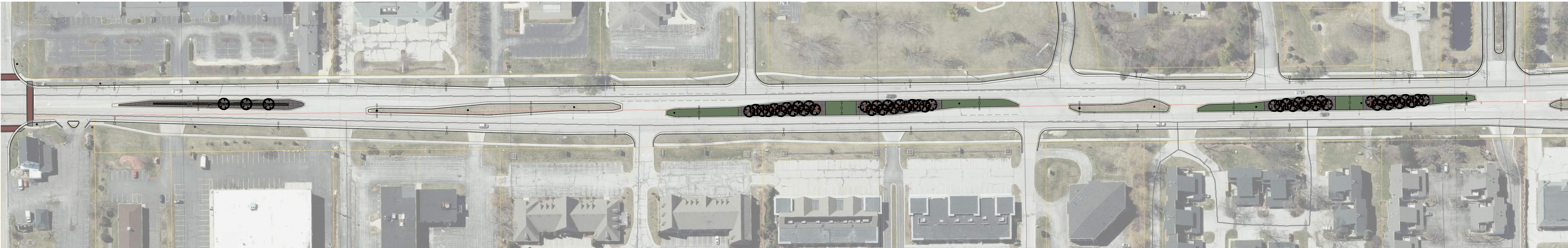
Maps (PDF)

PW Streetscape Maintenance_Gies (PDF)



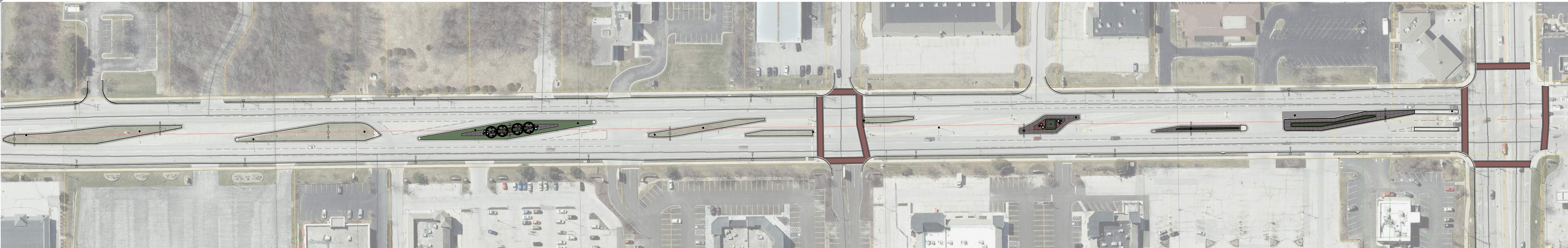
Overall Plan - South

Scale: 1" = 80'



Overall Plan - Mid

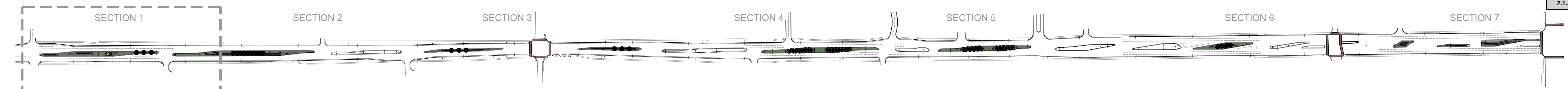
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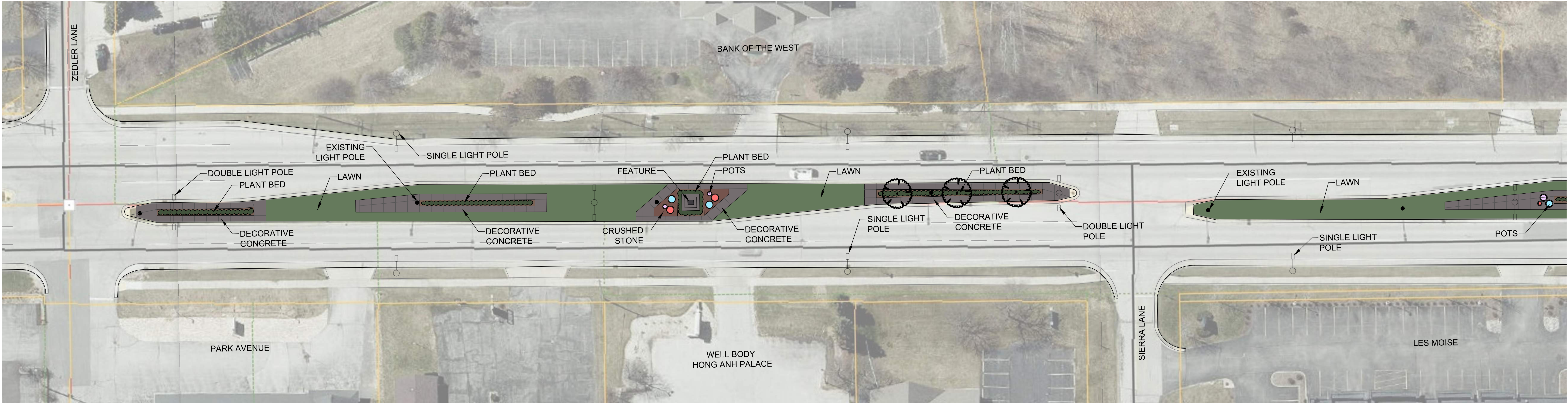
Overall Plan - North

Scale: 1" = 80'

Attachment: Port Wash Rd Streetscape - Concept Design (10-10-2022) (8088 - Port Washington Road Streetscape: Final Concept Plans)



Key Plan
Scale: NTS



Detailed Plan - Section 1
Scale: 1" = 30'



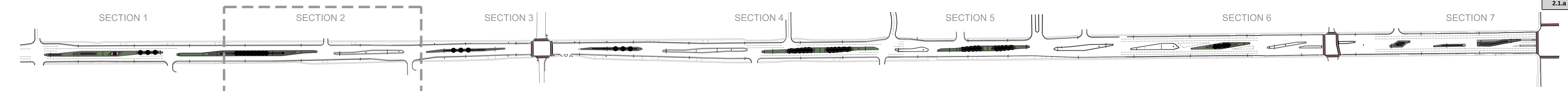
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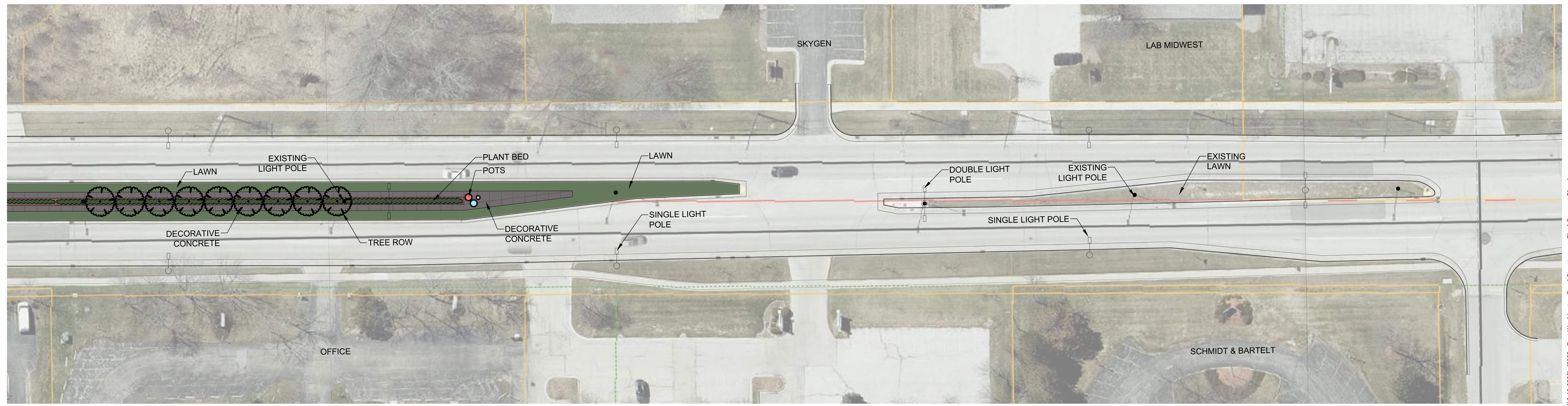
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Design Image
Scale: NTS



Key Plan
Scale: NTS



Detailed Plan - Section 2
Scale: 1" = 30'



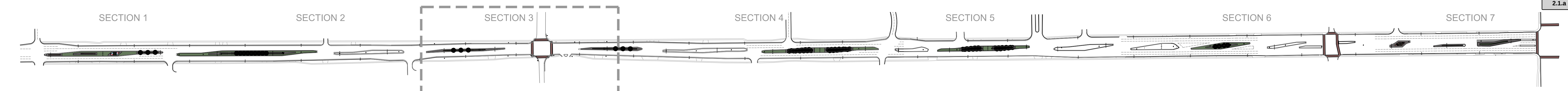
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Rendering
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Key Plan
Scale: NTS



Detailed Plan - Section 3
Scale: 1" = 30'



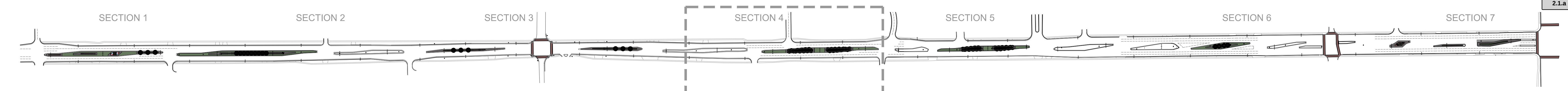
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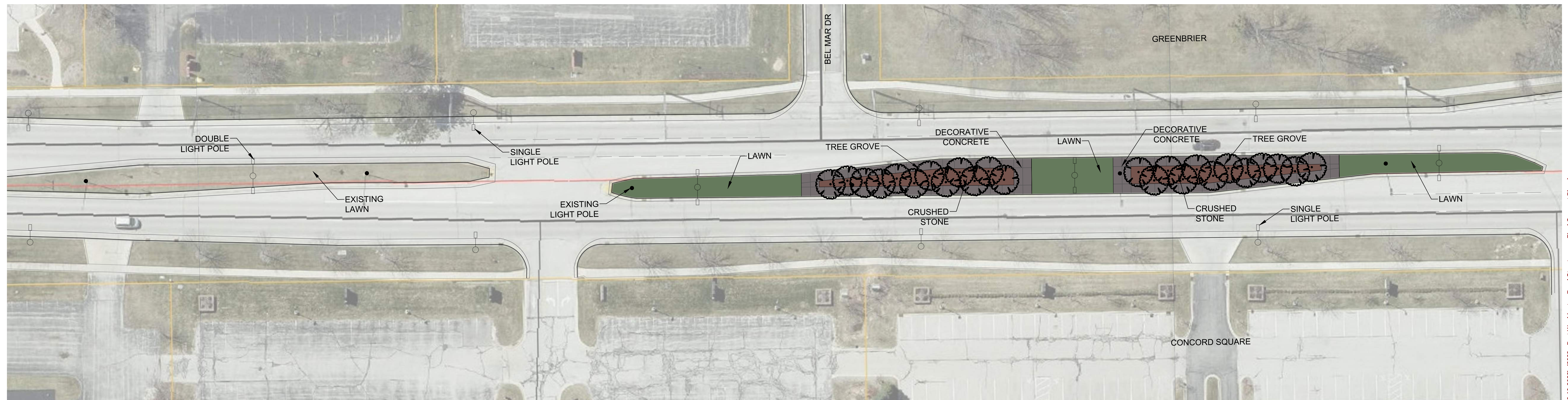
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Rendering
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Key Plan
Scale: NTS



Detailed Plan - Section 4
Scale: 1" = 30'



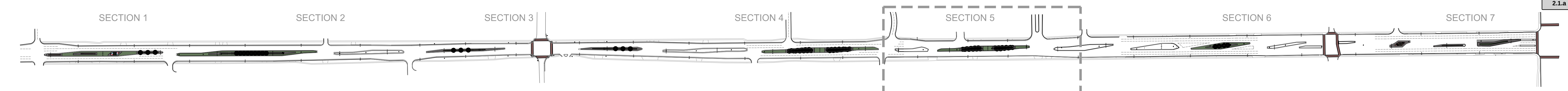
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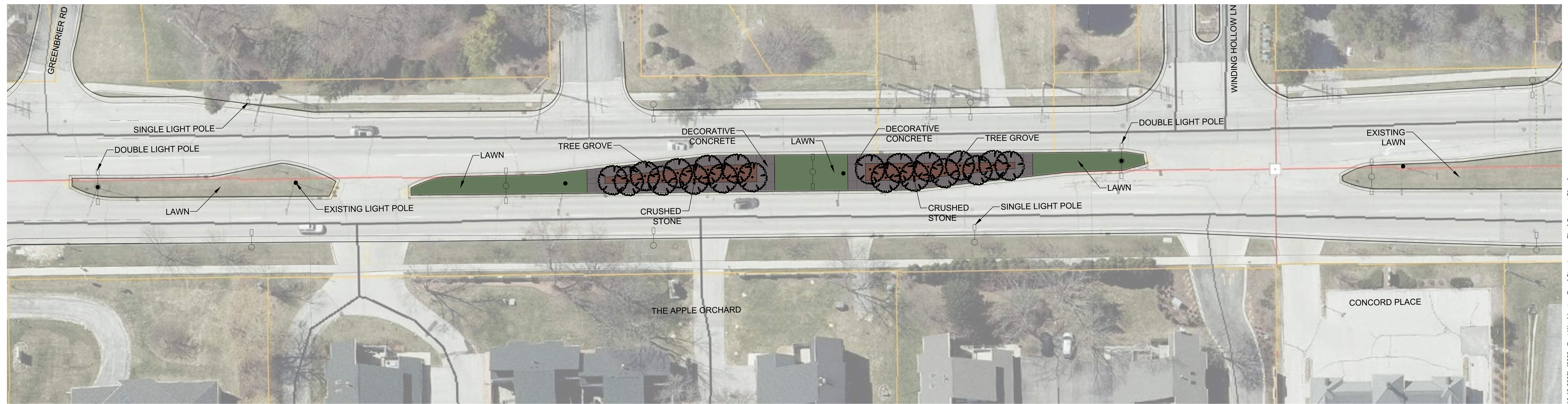
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Rendering
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Key Plan
Scale: NTS



Detailed Plan - Section 5
Scale: 1" = 30'



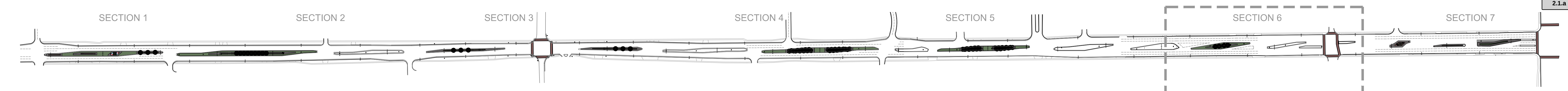
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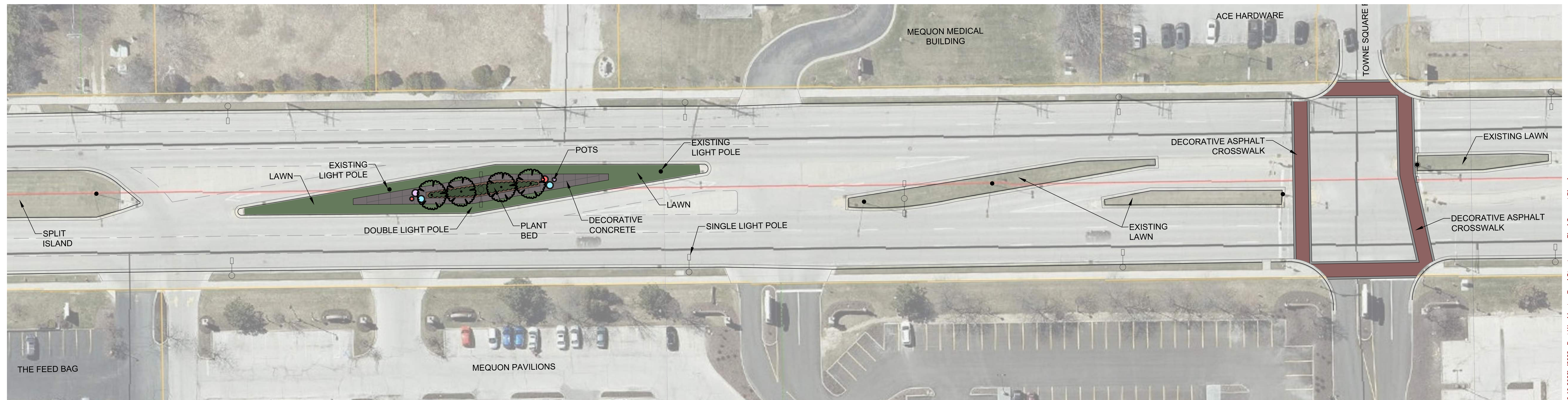
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Rendering
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Key Plan
Scale: NTS



Detailed Plan - Section 6
Scale: 1" = 30'



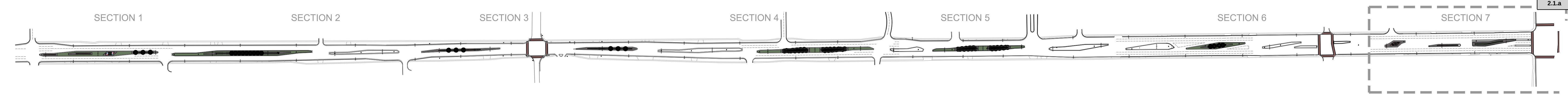
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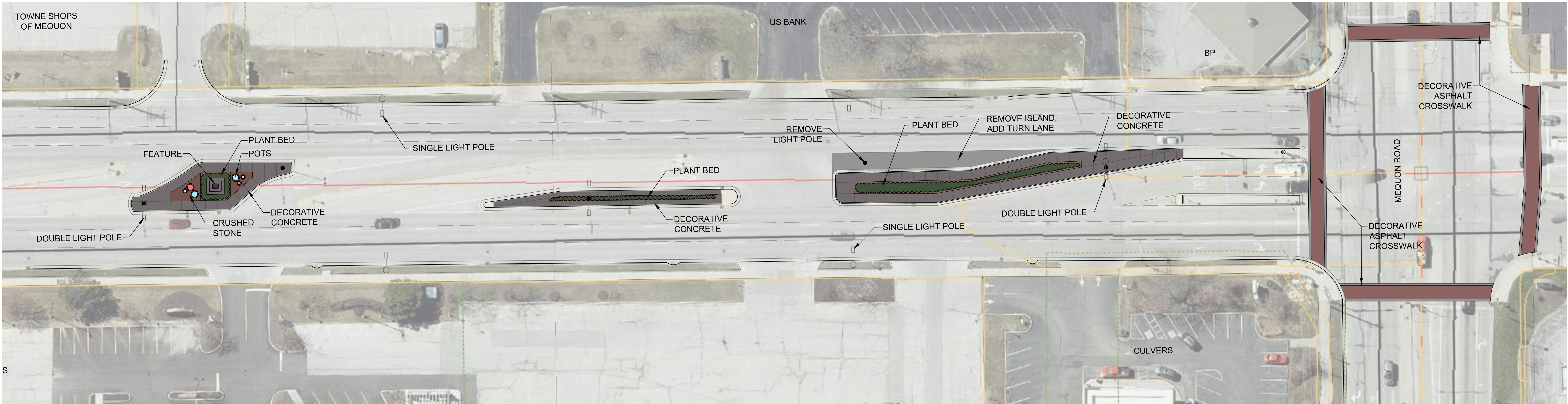
Rendering
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Rendering
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Key Plan
Scale: NTS



Detailed Plan - Section 7
Scale: 1" = 30'



Rendering
Scale: NTS



Rendering
Scale: NTS



Rendering
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Attachment: Port Wash Rd Streetscape - Concept Design (10-10-2022) (8098 - Port Washington Road Streetscape: Final Concept Plans)

Landscape Image Survey

City of Mequon TID #4 and #5 Public Improvements



Light Fixtures



Landscape Image Survey

City of Mequon TID #4 and #5 Public Improvements

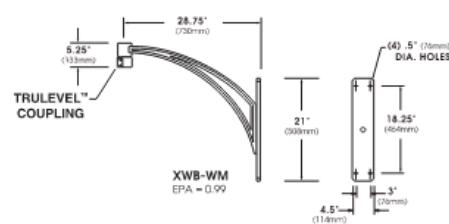
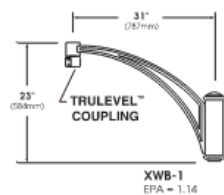
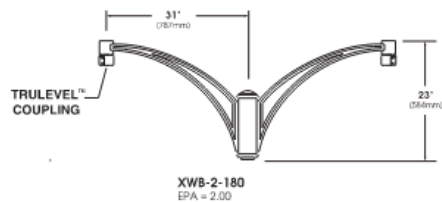
FEATURES

Arm

Heavy cast aluminum (A356 alloy, <0.2% copper) swept arm welded to an extruded aluminum hub with a domed pole cap. The mounting hub is designed for a 2 7/8" x 6" tenon and has 8 (4 x 2) recessed socket head leveling screws. All welds are blended to create a one-piece, unified appearance. Fixture mounting uses the pendant Trulevel mounting to allow for luminaire leveling in the field. A wiring harness is provided through the arm assembly terminating in the Trulevel hub with quick-connects. All hardware is stainless steel.

Finish

Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSI power wash at 140°F. Four step media blast and iron phosphate pretreatment for protection and paint adhesion. 400°F bake for maximum hardness and durability.



SCALE: 1/2"=1'

Light Pole Arms

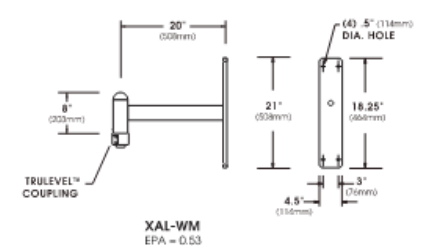
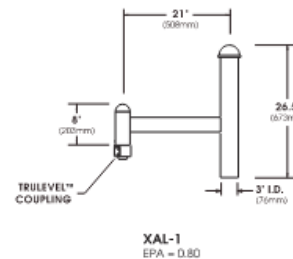
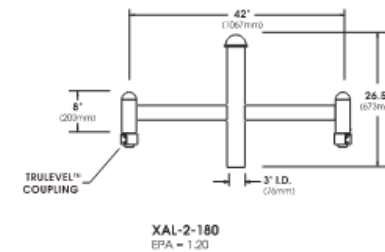
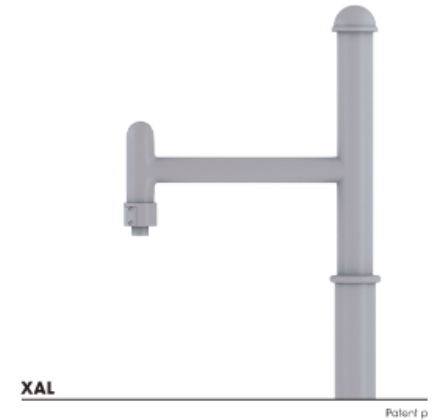
FEATURES

Arm

Durable corrosion resistant, cast aluminum construction.

Finish

Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSI power wash at 140°F. Four step media blast and iron phosphate pretreatment for protection and paint adhesion. 400°F bake for maximum hardness and durability.



SCALE: 1/2"=1'





HUBBELL RATIO SERIES



LUMARK PRV SERIES

Attachment: Pole Fixt OptA (8098 : Port wasnington road Streetscape: Final Concept Plans)



BEACON VIPER SERIES



KIM ALTITUDE SERIES



GARDCO PUREFORM SI



IES

City of Mequon

Port Washington Road Streetscape Improvements

Conceptual Phase - Probable Estimate of Construction (Based on Conceptual Site Plan Dated 10/10/2022)

January 24, 2023

DESCRIPTION	QUANTITY	UNIT	UNIT COST	SUBTOTALS	TOTAL
Existing Conditions					
Site Prep & Demo	1	ALLOW	\$10,000.00	\$10,000	
Strip Topsoil (12" Avg.)	10,000	CY	\$3.00	\$30,000	
					\$40,00
Site Utilities					
Storm	0	ALLOW	\$17,000.00	\$0	
Sanitary	0	ALLOW	\$30,000.00	\$0	
Water	0	ALLOW	\$36,000.00	\$0	
Gas	0	ALLOW	\$0.00	\$0	
Electric	1	ALLOW	\$30,000.00	\$30,000	
					\$30,00
Lighting					
30' Double Fixture Pole	28	EA	\$5,000.00	\$140,000	
20' Single Fixture Pole	52	EA	\$4,000.00	\$208,000	
					\$348,00
Decorative Paving					
Excavation / Grading	300	CY	\$4.50	\$1,350	
Gravel Base	400	TONS	\$35.00	\$14,000	
Concrete Pavement (4" Thick)	26,518	SF	\$8.00	\$212,144	
Asphalt Crosswalks	12,237	SF	\$5.00	\$61,185	
					\$288,67
Asphalt					
Excavation / Grading	25	CY	\$4.50	\$113	
Gravel Base	30	TONS	\$25.00	\$750	
Asphalt Paving (3.5" Thick)	1,310	SF	\$2.50	\$3,275	
					\$4,13
Exterior Improvements					
Landscaping (Trees & Shrubs)	1	ALLOW	\$60,000.00	\$60,000	
Moveable Pots	24	EA	\$300.00	\$7,200	
Entry Features	4	EA	\$5,000.00	\$20,000	
Crushed Stone (3" depth)	4,834	SF	\$4.50	\$21,753	
					\$108,95
Subtotal					\$819,77
4% CA					\$32,790.7
10% Contingency					\$81,97
Construction Total					\$934,53

Attachment: Port Wash Rd Streetscape - Opinion of Cost (01-24-2023) (8098 : Port Washington Road Streetscape: Final Concept Plans)

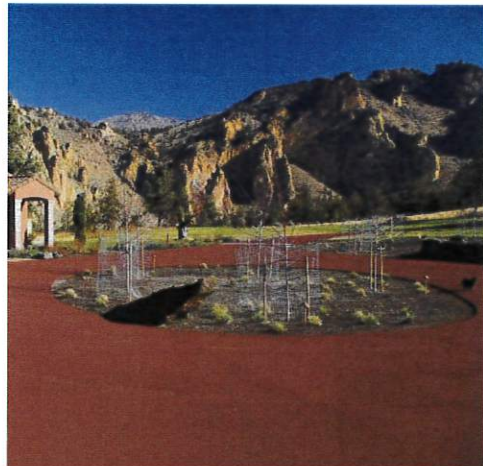
The color samples below may not match exactly their physical equivalents.
Always refer to physical samples before making your color choices.



Standard Colors



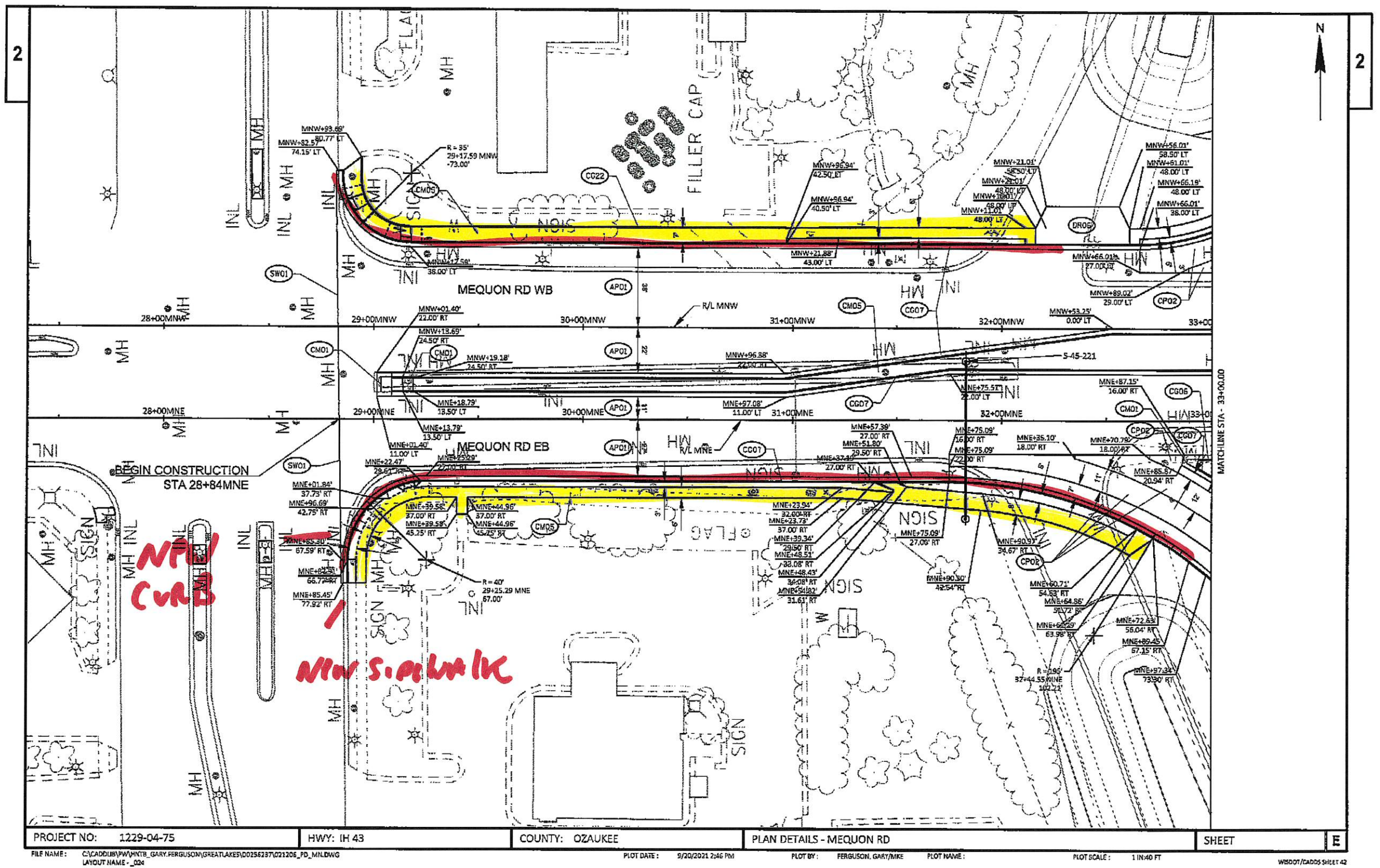
Accent Colors

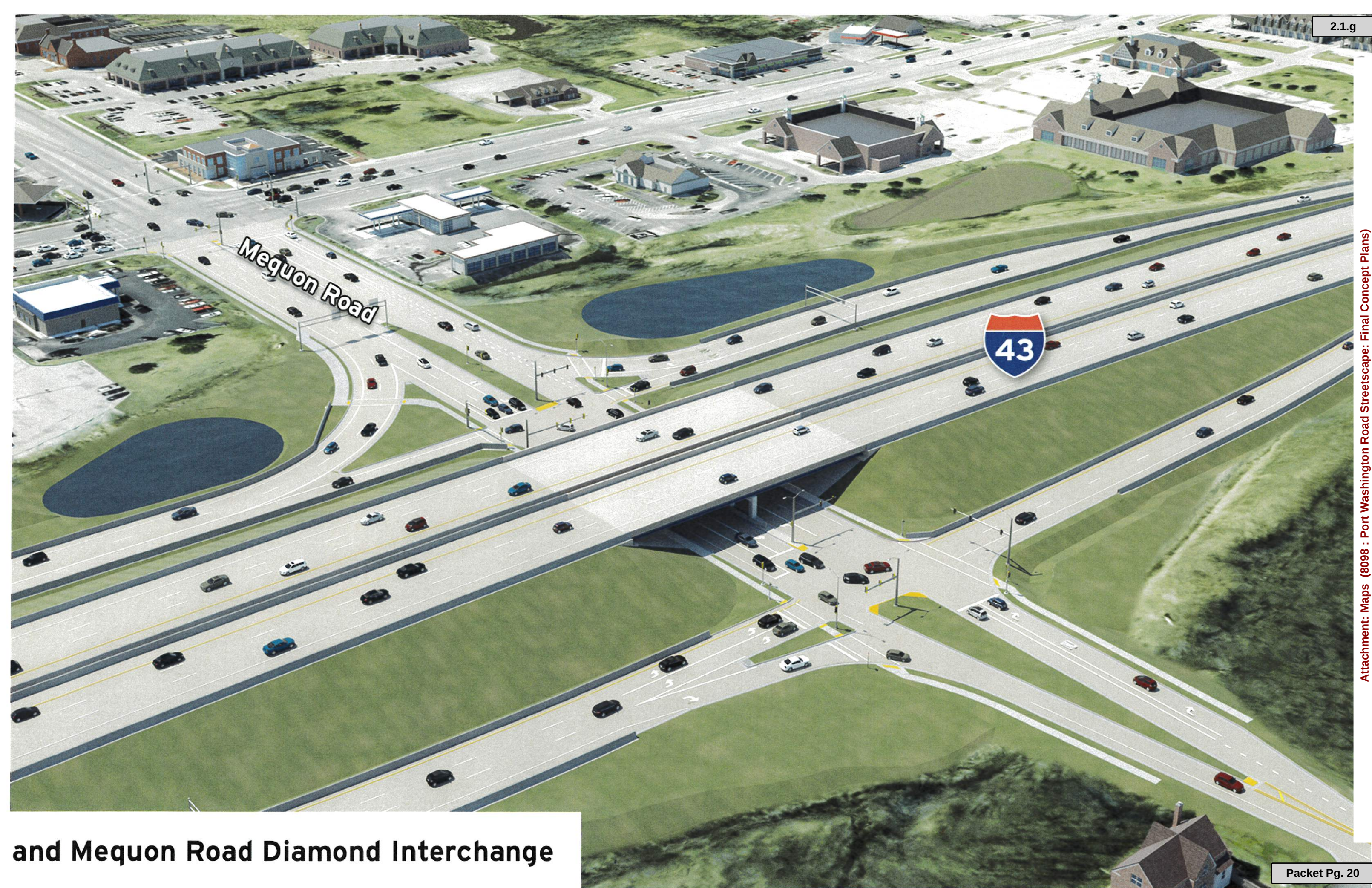


Designer Colors









and Mequon Road Diamond Interchange

Section	Design Element	Maintenance Requirement	Budget Impact	Budget Alternative	Considerations
1,7	Decorative stone mulch	Bi-annual top-dress 1-inch	Contracted- 2 ton of material \$600 every two years Contracted Service Maintenance Account 110474-683202	DPW does not have the specialized equipment required to perform this maintenance	
1,2,6,7	Features (4)	• Tuckpointing • Pressure washing • Life Cycle Replacement	20–30-year life cycle • \$1,000/year to Right-of-Way capital account for replacement		DPW Staff: 8 hours/year for pressure washing
1,2,6,7	Decorative Pots (24)	• Annual plant material replacement • Watering - three times per week • Life Cycle Replacement	• Contracted: Potting mix replacement and plantings annually \$600/pot x (24) = \$14,400/year • Contracted: \$7,000 annually for watering and pot maintenance – 23 weeks/year x 3 visits per week Contracted Service Maintenance Account 110474-683202 • 15-year life cycle \$2,400/year to the Right-of-Way capital account for replacement after 15 years	DPW Staff: • Potting mix replacement and plantings annually \$400/pot x 24 pots= \$9,600/year • Planting (24) pots- 2 hours/pot x 24 = 48 hours WORK SUPPLIES- Boulevard 110474-680340 • Plant material replacement: 4 hours x 2/year = 8 hours • Watering: 23 weeks/year x 3 visits per week x 23 weeks = 276 hours	Run dripline irrigation to all pots included in Port Road corridor, mitigating the need for yearly watering contract. Further operational funding needed for maintenance of irrigation system Existing staff levels do not support an additional 332 hours of maintenance; additional staff required.

All	Mowing and String Trimming - (18) Medians	24 mowing's annually	Contracted: \$17,000/year Contracted Service Maintenance Account 110474-683202	DPW Staff: • 18 hours/week x 24 weeks = 432 hours • Additional mower- \$18,000 to the Equipment Replacement capital account	Mowing, treatment, string trimming, and garbage picking; comparable to Mequon Road treatment. Existing staff levels do not support an additional 432 hours of mowing; additional staff required.
		Garbage picking		DPW Staff: 2 hours/week x 30 weeks = 60 hours/year	Existing staff levels do not support an additional 60 hours of maintenance; additional staff required.
	Weed Control - (18) Medians	Broadleaf treatment once in fall	Contracted- \$2,500/year Contracted Service Maintenance Account 110474-683202	DPW does not have the specialized equipment required to perform this maintenance	
		Bi-weekly-herbicide application as needed and manual removal	Contracted- \$750 x 11 visits/year= \$8,250/year Contracted Service Maintenance Account 110474-683202	DPW does not have the specialized equipment required to perform this maintenance	

Trees (62) and Shrubs (362)	• Pruning • Watering (once a week, only until establishment) • Staking (upon planting) • Replacement- 3/year (trees) • Replacement- 10/year (shrubs)	Contracted- \$3,000/year pruning and replacement • Watering contract for one season, twice weekly (trees and shrubs) and three times weekly for (pots), May-September, Monday and Thursdays (for trees and shrubs)- 22 weeks = \$6,000-\$7,000 Contracted Service Maintenance Account 110474-683202	DPW Staff: • Pruning – 16 hours annually • Tree replacement: 10 hours and 3x\$300/tree or \$900 annually to the Urban Forestry Capital Account • Shrub replacement: 3 hours and 10x\$36/shrub = \$360 annually to the Urban Forestry Capital Account • Watering: 2/week x 23 weeks x 5 hours = 230 hours	Existing staff levels do not support an additional 259 hours of maintenance; additional staff required.
Planting Beds with mulch (14)	Annual mulching 1" top-dress (spring)	Contracted- 15-20yds of mulch \$3,500-\$4,000	DPW Staff: • Mulch: 20 yds x \$32/yard = \$640 WORK SUPPLIES - Boulevard 110474-680340	
Streetlight	• Bulb/ballast replacement • Life Cycle Replacement	• \$10/fixture/month in electrical charges; to account: 110359-686115 • \$1,000/year to Right-of-Way capital account for replacement		City owned or We Energies owned? We Energies would be responsible for maintenance and repairs, if selection of a standard fixture was an option, similar to the Mequon Business Park.



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www.ci.mequon.wi.us

Office of Community Development

TO: Planning Commission
FROM: Kim Tollefson, Director of Community Development
DATE: January 24, 2023
SUBJECT: Next Meeting Date Selected: Design Guidebook Approval

Background

The Committee has considered and formalized much of the Ulao Creek Design Book. There are only a few remaining elements for review after which final approval could be provided. The Committee would forward its recommendation of the design book to the Planning Commission for adoption.

Next Steps

Staff would like to schedule final action by the Planning Commission on February 28th. Therefore, one to two Committee meetings should be scheduled prior to that meeting. The following dates are meeting dates for consideration:

Tuesday, February 7th: 10:00 am - noon or 1:00 – 3:00 pm

OR

Tuesday, February 14th: 10:00 am – noon or 1:00 – 3:00 pm

AND

Tuesday, February 21st: 10:00 am – noon or 1:00 – 3:00 pm